

DRIVING DIRECTIONS

DEPART 126 W GEMINI DR, TEMPE, AZ 85283:

HEAD EAST ON W. GEMINI DR. TOWARD S. MAPLE AVE., TURN RIGHT ONTO S. MAPLE AVE., TURN LEFT ONTO E. GUADALUPE RD. TURN LEFT ONTO S RURAL RD. TURN RIGHT TO MERGE ONTO US-60 E TOWARD GLOBE. CONTINUE TO TRAVEL ON US-60 E. TAKE EXIT 184 FOR VAL VISTA DR. TURN LEFT ONTO S VAL VISTA DR. TURN LEFT ONTO E BROW RD. TURN RIGHT AT THE 1ST CROSS STREET AT N MAYFAIR. TURN RIGHT AT THE PARKING LOT AND TURN LEFT AT THE END OF THE CORNER. SITE IS LOCATED ON THE LEFT.

GENERAL NOTES

THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT AS SET FORTH IN THE CONSTRUCTION DRAWINGS, CONTRACT DOCUMENTS AND THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF THE CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK UNLESS OTHERWISE DIRECTED.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2006 INTERNATIONAL BUILDING CODE (IBC) 2005 NATIONAL ELECTRICAL CODE (NEC)

2006 INTERNATIONAL FIRE CODE (IFC) ANSI/EIA-222-G STRUCTURAL STANDARDS FOR COMMUNICATION TOWERS

LOCAL BUILDING CODE(S) CITY AND/OR COUNTY ORDINANCES

JURISDICTION: CITY OF MESA

SPECIAL INSPECTIONS REQUIRED

DRILLED CAISSON: CONCRETE REINFORCING: YES (CONTINUÓUS) BOLTS IN CONCRETE: YES (CONTINUOUS) MASONRY CONSTRUCTION: YES (PERIODIC) STEEL CONSTRUCTION: N/A

FCC COMPLIANCE

ALL PROPOSED ANTENNAS SHALL BE IN COMPLIANCE WITH ALL FEDERAL COMMUNICATIONS COMMISSION (FCC) REGULATIONS, INCLUDING THOSE PROTECTING THE PUBLIC HEALTH AND THOSE PROTECTING HISTORIC DISTRICTS.

GENERAL COMPLIANCE

HVAC USED ON THIS STRUCTURE IS NOT INTENDED FOR HUMAN COMFORT ITS USE IS SOLELY FOR ELECTRONIC EQUIPMENT COOLING

DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. PROVIDE STREET ADDRESS IDENTIFICATION PER MUNICIPAL REQUIREMENTS.

THIS PROJECT DOES NOT REQUIRE WATER OR SEWER.

THIS PROJECT REQUIRES PERMANENT POWER AND TELEPHONE CONNECTION.

Verizon^{*}

PHO LECONTE 3520 E. BROWN ROAD MESA, AZ 85213 MARICOPA COUNTY APN: 141-13-006J

Two working days before you dig, CALL FOR THE BLUE STAKE! 1 (602) 263-1100 or

1 (800) STAKE-IT (782-5348) (OUTSIDE MARICOPA COUNTY)

CLIENT: VERIZON WIRELESS 126 WEST GEMINI DRIVE TEMPE, ARIZONA 85283

A&E DESIGN

MANAGEMENT FOUNTAIN HILLS, ARIZONA 85268 PROFESSIONAL:

FAX: (480) 836-1004

2035 E. GONDOLA LN. GILBERT, AZ 85234

CIVIL/STRUCTURAL PNP ENGINEERING INC. CONTACT: YOONG-JONG KANG, PE ENGINEERING

ELECTRICAL

CONTACT: TIM ALEXANDER, PE CONSULTANT: MOBILE: (602) 403-8368

PROJECT TEAM

CONTACT: RICK MIRANDA PHONE: (602) 390-9844

RF: SCOTT SANCHEZ RE: CHUCK LARSON

SIINO DESIGN

16747 EAST PARKVIEW AVE., SUITE #1 CONTACT: CHRISTOPHER M. SIINO, MBA, MST, PMP

PHONE: (480) 836-1701

INSITE INC. ACQUISITION:

CONTACT: CHRISTINE TUCKER PHONE: (480) 586-5180

CONSULTANT: PHONE: (949) 351-5020

JOYNGO, LLC ENGINEERING

PROJECT DESCRIPTION

INSTALLATION OF A NEW 65'-0" TOP OF MONOPALM WITH (12) NEW ANTENNAS, (12) DIPLEXERS, (12) RRHs, (2) J-BOXES, (1) SINGLE BAY CABINET WITHIN CMU WALLED ENCLOSURE, (2) LIVE PALM

ACCESSIBILITY DISCLAIMER

THE NEW PROJECT IS AN UNOCCUPIED TELECOMMUNICATIONS

SHEET

NO.

T-1 | TITLE SHEET

LS-1 | SITE SURVEY

LS-2 | SITE SURVEY

A-1 OVERALL SITE PLAN

A-2 | ENLARGED SITE PLAN

A-3 | ANTENNA CONFIGURATION & DETAILS

A-4 | ELEVATIONS & FROND SCHEDULE

OCCUPANCY GROUP: U (POLE) & S-2 (CABINET)

FACILITY AND IS NOT TO BE ACCESSED BY THE GENERAL PUBLIC. THIS FACILITY IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS PER IBC 1103.2 9 LISTED AS AN EQUIPMENT SPACE.

PROJECT INFORMATION

SITE PHOTO

SHEET INDEX

SHEET DESCRIPTION

TYPE OF CONSTRUCTION: V-B TOTAL LEASE AREA: 504 SQ. FT.

SURROUNDING ZONING AND USE

NORTH: RS-35 USE: RESIDENTIAL SINGLE FAMILY EAST: RS-35 USE: ORANGE GROVE SOUTH: OC USE: OFFICE COMMERCIAL WEST: AG USE: AGRICULTURAL

16747 EAST PARKVIEW AVENUE, SUITE #1 FOUNTAIN HILLS, ARIZONA 85268 PHONE: 480.836.1701 FAX: 480.836.1004 WWW.SIINODESIGN.COM

Siino Design

verizon

126 WEST GEMINI DRIVE TEMPE, ARIZONA 85293 PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL

ENGINEERING CONSULTANT:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JNGO CHECKED BY:

SCHEDULE OF REVISIONS DESCRIPTION 3 | 6/12/18 FINAL CD

2 01/31/18 PRELIM. ZD 11/28/17 NEW LOCATION

PHO LECONTE

0 07/03/17 ZONING DRAWING CMS

SITE NAME:

SITE ADDRESS: 3520 E. BROWN ROAD MESA, AZ 85213 MARICOPA COUNTY

SEAL:

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

UTILITY COMMITMENT TABLE N/A WATER N/A SEWER ELECTRICAL TELEPHONE CENTURY LINK POLICE CITY OF MESA POLICE DEPARTMENT FIRE CITY OF MESA FIRE DEPARTMENT

SITE LOCATION INFORMATION

LATITUDE: 33° 26' 19.73" N (NAD 83)

LONGITUDE: 111° 45' 17.54" W (NAD 83)

ELEVATION: 1309.8' (AMSL) (NAVD 88)

PHO LECONTE

MESA, AZ 85213

141-13-006J

3520 E. BROWN ROAD

AG – AGRICULTURAL

VERIZON WIRELESS

(602) 390-9844

126 WEST GEMINI DRIVE

TEMPE, ARIZONA 85283

LIVING WORD BIBLE CHURCH

PHONE: (480) 964-4463 EXT# 108

CONTACT: MATT EZOR

SITE NAME:

SITE ADDRESS:

APN NUMBER:

SITE COORDINATES:

CURRENT ZONING:

PROPERTY OWNER:

APPLICANT CONTACT: RICK MIRANDA

APPLICANT:

ADA COMPLIANCE

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXISTS SHALL COMPLY WITH THE APPLICABLE BUILDING CODE.

BASIS OF BEARINGS

BEARINGS SHOWED HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA CENTRAL ZONE, DETERMINED BY GPS OBSERVATIONS.

SURVEY DATE

6.14.17

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

BENCHMARK

ELEVATIONS WERE ESTABLISHED FROM PROCESSING GPS DATA WITH AND CONSTRAING TO NGS "CORS" STATIONS AND APPLYING GEOID12b SEPARATIONS AND ARE AT NAVD88 DATUM

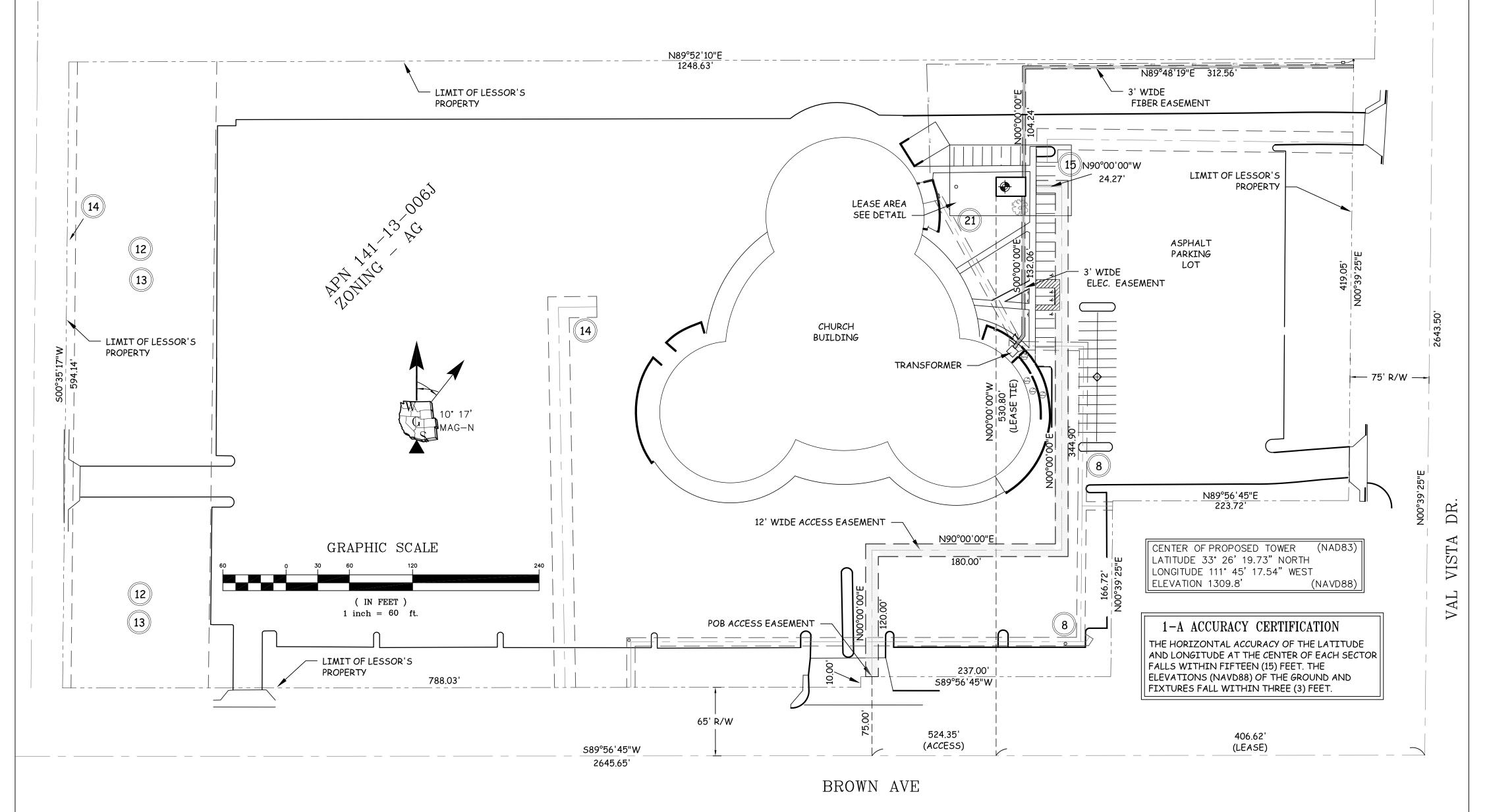
SURVEYOR'S NOTES

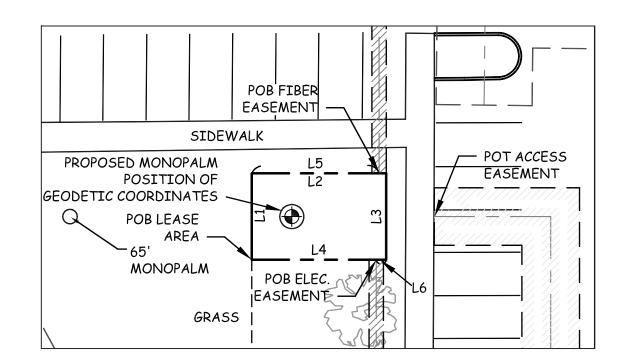
REFERENCE IS MADE TO THE TITLE REPORT ORDER #AZ-FWPY-IMP-N/A-1-17-C1704002, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, DATED

05/09/17.
ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED (EXCEPT FOR ROOFTOPS). SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #04013C2260L, DATED 06/16/2013





LINE TABLE							
LINE	LENGTH	BEARING					
L1	18.00	N00°00'00"E					
L2	28.00	N90°00'00"E					
L3	18.00	500°00'00"E					
L4	28.00	590°00'00"W					
L5	26.50	N90°00'00"E					
L6	2.08	N90°00'00"W					
L7	14.74	S37°26'03"W					

LEASE AREA LEGAL DESCRIPTION

ALL THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 56 MINUTES 45 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 406.62 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 530.80 FEET TO THE POINT OF BEGINNING;

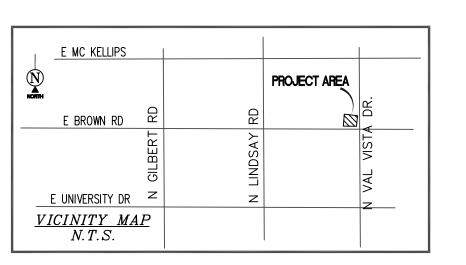
THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 18.00 FEET;

THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, 28.00 FEET;

THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 18.00 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS

WEST, 28.00 FEET TO THE POINT OF BEGINNING.

AN AREA CONTAINING 504 SQ. FT. MORE OR LESS.



	LEGEND									
CONC FC LP	EDGE OF CONG FACE OF CURB LIGHT POLE		*	POSITION OF GEODETIC COORDINATES SPOT ELEVATION						
	TREES		\bowtie	WATER CONTROL VALVE = CURBLINES						
				- CONCRETE LIMITS - EXISTING BUILDINGS						
				- WATER LINES						
		— E — E —	— E — E —	- ELECTRIC LINES - ADJACENT PROPERTY LINE						
		 	- —	- LEASE AREA LIMITS - MAJOR CONTOUR INTERVAL - MINOR CONTOUR INTERVAL						

verizon

CLIENT:

126 WEST GEMINI DRIVE TEMPE, ARIZONA 85283 PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:



16616 EAST PALISADES BLVD, SUITE 102 FOUNTAIN HILLS, ARIZONA 85268 PHONE: (480) 836-1701 FAX: (480) 836-1004

SURVEYING CONSULTANT:

Western

Geomatics

Services

2925 E Riggs Rd Suite 8-191 Chandler, AZ 85249 (480) 656-7912 office (480) 219-5195 fax

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: NC

CHECKED BY: JC

SCHEDULE OF REVISIONS

DATE DESCRIPTION BY

2 01/30/18 REVISED JC

1 01/11/18 TREE LOCATION JC

0 06/22/17 PRELIM SUBMITTAL JC

PHO LECONTE

SITE ADDRESS:

3520 E BROWN RD

MESA, AZ 85213

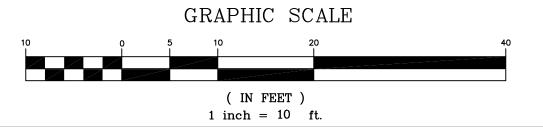
SEAL:



SHEET TITLE:

SITE SURVEY

SHEET NUMBER:



LESSOR'S LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF

ARIZONA, AND IS DESCRIBED AS FOLLOWS:

The South half of the Southeast quarter of the Southeast quarter of Section 8, Township 1 North, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona; EXCEPT the East 33 feet thereof; and

EXCEPT that part of the South 140.00 feet of the East 155.00 feet of the Southeast quarter of the Southeast quarter of Section 8, Township 1 North, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

COMMENCING at the Southeast corner of said Section 8;

Thence West along the South line of Section 8 (also monument line of Brown Road), a distance of 90.00 feet; Thence North and parallel to the East line of Section 8 (also monument line of Val Vista Drive), a distance of 33.00 feet to the POINT OF BEGINNING;

Thence Northeast, a distance of 80.61 feet to a point 90.00 feet North of the South line of Section 8 and 33.00 feet West

of the East line of Section 8; Thence South and parallel to the East line of Section 8, a distance of 57.00 feet to a point;

Thence West and parallel to the South line of Section 8, a distance of 57.00 feet to the POINT OF BEGINNING, as conveyed to the City of Mesa, a municipal corporation in instrument recorded January 15, 1990 in Recording No. 90-019839, records of Maricopa County, Arizona; and

EXCEPT any portion lying within the following described property;

COMMENCING at the Southeast corner of said Section 8;

Thence West along the South line of Section 8 (also monument line of Brown Road), a distance of 90.00 feet; Thence North and parallel to the East line of Section 8 (also monument line of Val Vista Drive), a distance of 33.00 feet to the POINT OF BEGINNING:

Thence West along a line parallel with the South line of Section 8, a distance of 208.71 feet;

Thence North along a line parallel with the East line of Section 8, a distance of 208.71 feet;

Thence East along a line parallel with the South line of Section 8 to a point on the East line of Section 8;

Thence South along the East line of Section 8, to the Southeast corner of said Section 8;

Thence West along the South line of Section 8, a distance of 90.00 feet; Thence North and parallel to the East line of Section 8, a distance of 33.00 feet to the POINT OF BEGINNING; and EXCEPT a strip of ground, 30.00 feet in width, being the West 30.00 feet of the South half of the Southeast guarter of the Southeast quarter of said Section 8, Except from this exception, the South 65.00 feet, as conveyed to the City of

Mesa, an Arizona municipal corporation in Warranty Deed in Recording No. 2001-0405535, Maricopa County Records; and EXCEPT a strip of ground, 42.00 feet wide, the East boundary of which is located 33.00 feet West of, and parallel to, and running the length of, the East boundary line of the South half of the Southeast quarter of the Southeast quarter

of said Section 8, Except from this exception, the South 241.71 feet, as conveyed to the City of Mesa, an Arizona municipal corporation in Warranty Deed in Recording No. 2001-0405539, Maricopa County Records; and EXCEPT COMMENCING at the Southeast corner of said Section 8;

Thence South 89 degrees 25 minutes 14 seconds West, along the South line of said Section 8, 298.71 feet; Thence North 00 degrees 07 minutes 45 seconds East, along a line which is parallel to the East line of said Section 8, 33.00 feet to the POINT OF BEGINNING;

Thence continuing North 00 degrees 07 minutes 45 seconds East, along a line which is parallel to the East line of said Section 8, 42.00 feet;

Thence South 89 degrees 25 minutes 14 seconds West, along a line which is parallel to the South line of said Section 8, 237.00 feet;

Thence South 00 degrees 07 minutes 45 seconds West, along a line which is parallel to the East line of said Section 8, 10.00 feet;

Thence South 89 degrees 25 minutes 14 seconds West, along a line which is parallel to the South line of said Section 8, 787.39 feet to a point on the West boundary line of said South half of the Southeast quarter of the Southeast quarter of Section 8;

Thence South 00 degrees 03 minutes 46 seconds West, along the West line of said South half of the Southeast quarter of the Southeast quarter of said Section 8, 32.00 feet to a point which is 33.00 feet North of the South line of said

Thence North 89 degrees 25 minutes 14 seconds East, along a line which is parallel to the South line of said section 8, 1,024.39 feet to the POINT OF BEGINNING, as conveyed to the City of Mesa, an Arizona municipal corporation, in Warranty Deed in Recording No. 2001-0405540, Maricopa County Records.

3' WIDE UTILITY LEGAL DESCRIPTION

A 3.00 FOOT WIDE UTILITY EASEMENT SITUATED IN THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 56 MINUTES 45 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 406.62

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 530.80 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 18.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, 28.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 18.00 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 2.08 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF SAID 3.00 FOOT WIDE EASEMENT, LYING 1.50 FEET OF EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 132.06 FEET; THENCE SOUTH 37 DEGREES 26 MINUTES 03 SECONDS WEST, 14.74 FEET TO THE POINT OF TERMINUS.

ACCESS EASEMENT LEGAL DESCRIPTION

A 12 FOOT WIDE ACCESS EASEMENT SITUATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 56 MINUTES 45 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 524.35 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 75.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF SAID ACCESS EASEMENT, LYING 6.00 FEET OF EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 120.00 FEET;

THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, 180.00 FEET;

344.90 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS

WEST, 24.27 FEET TO THE POINT OF TERMINUS.

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST,

SCHEDULE B EXCEPTIONS:

TITLE REPORT ORDER #AZ-FWPY-IMP-N/A-1-17-C1704002, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, DATED 5/09/17.

Reservations contained in the Patent From: The United States of America To: Ernest Ellsworth Recording Date: April 3, 1922

Recording No: Book 166 of Maps, page 343 (NO AFFECT ON LEASE AREA OR EASEMENTS)

Right of Way for roadway shown on map: Recording No.: Book 1 of Road Maps, page 60 (NO AFFECT ON LEASE AREA OR EASEMENTS)

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Communication and other facilities Recording Date: June 26, 1979

Recording No: Docket 13723, page 1149 (LIES WITHIN EXISTING RIGHT OF WAY, NO AFFECT)

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Sewer Line

Recording Date: November 14, 1983 Recording No: 83-456668

(LIES WITHIN EXISTING RIGHT OF WAY, NO AFFECT)

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Underground Power Recording Date: November 7, 2000 Recording No: 2000-0855390

(PLOTTED) Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: Transmission and distribution of electricity and communication purposes

Recording Date: January 30, 2001 Recording No: 2001-0065539 (LIES WITHIN EXISTING R/W)

- Any action that may be taken by the Flood Control District of Maricopa County to acquire property or rights of way for flood control, as disclosed by Resolution FCD 2001R003 recorded April 2, 2001 in Recording No. 2001-0264396. (NOT PLOTTABLE)
- Matters disclosed by Falcon Field Airport Sound Contours and Primary Flight Track recorded April 10, 2001 in Recording No. 2001-0285395. (NO AFFECT, SITE FALLS WITHIN SOUND CONTOUR)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Drainage

Recording Date: May 10, 2001 Recording No: 2001-0390634 (PLOTTED, NO AFFECT)

Covenant Running With The Land recorded May 10, 2001 in Recording No. 2001-0390635. (RELATED TO ITEM #12)

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Public Utilities and Facilities

Recording Date: May 15, 2001 Recording No: 2001-0405536 (PLOTTED, NO AFFECT)

3' WIDE FIBER EASEMENT LEGAL DESCRIPTION

A 3 FOOT WIDE FIBER OPTIC UTILITY EASEMENT SITUATED

IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8,

TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT

RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

ALL THAT PORTION OF THE SOUTHEAST QUARTER OF

SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE

GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA

COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS

SECTION 8; THENCE SOUTH 89 DEGREES 56 MINUTES 45

SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST,

THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST,

CENTERLINE OF SAID FIBER EASEMENT, LYING 1.50 FEET OF

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST,

THENCE NORTH 89 DEGREES 48 MINUTES 19 SECONDS EAST,

EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

00 MINUTES 00 SECONDS EAST, A DISTANCE OF 530.80

COMMENCING AT THE SOUTHEAST CORNER OF SAID

SECONDS WEST, ALONG THE SOUTH LINE OF THE

26.50 FEET TO THE POINT OF BEGINNING OF THE

312.56 FEET TO THE POINT OF TERMINUS.

MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOLLOWS:

406.62 FEET;

18.00 FEET;

104.24 FEET;

(#) SCHEDULE B EXCEPTION NUMBER PER TITLE REPORT

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Public Utilities Recording Date: May 15, 2001 Recording No: 2001-0405537 (PLOTTED, NO AFFECT)

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Public Utilities Recording Date: May 15, 2001 Recording No: 2001-0405538 (PLOTTED, NO AFFECT)

Matters contained in that certain document Entitled: Agreement Between Lienholders Recording Date: October 31, 2001 Recording No: 20011012630 (NOT SURVEY RELATED)

- The effect of the document set forth below, which states that the Land is located within territory in the vicinity of an airport and may be subject to increased noise and accident potential. Recording Date: May 12, 2005 Recording No: 2005-0623148 (NO AFFECT TO LEASE)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Power Distribution Recording Date: March 14, 2011 Recording No: 20110217990 (PLOTTED)
 - provisions set forth therein as disclosed by the document Entitled: Memorandum of Lease Lessor: Living Word Bible Church, an Arizona non profit Lessee: T-Mobile West Corporation, a Delaware corporation Recording Date: March 23, 2011 Recording No: 2011-0248871 Assignment and Assumption of Lease and/or Rents recorded December 21, 2011 in Recording No. 20111050465 Subordination, Non-Disturbance and Attornment Agreement recorded December 21, 2011 in Recording No. 20111050466 Subordination, Non-Disturbance and Attornment Agreement recorded December 21, 2011 in Recording No. 20111050467 (PLOTTED)

An unrecorded lease with certain terms, covenants, conditions and

- Matters contained in that certain document Entitled: Telecommunication Easement Recording Date: December 21, 2011 Recording No: 20111050462 (NOT PLOTTABLE, TIED TO EXIST. UTILITIES, COMPOUND DESCRIPTION LACKING)
- An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document Entitled: Memorandum of Master Prepaid Lease and Management Lessor: Living World Bible Church Lessee: T-Mobile West Corporation Recording Date: November 21, 2013 Recording No: 20131004491 (NOT PLOTTABLE, REFER TO ITEM 22 FOR

PLACEMENT, LEASE DOES NOT INCLUDE EXIST, MONOPALM.)

TEMPE, ARIZONA 85283 PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:



126 WEST GEMINI DRIVE

16616 EAST PALISADES BLVD, SUITE 102 FOUNTAIN HILLS, ARIZONA 85268 PHONE: (480) 836-1701 FAX: (480) 836-1004



2925 E Riggs Rd Suite 8-191 Chandler, AZ 85249 (480) 656-7912 office (480) 219-5195 fax

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY:

CHECKED BY:

SCHEDULE OF REVISIONS DATE DESCRIPTION

REVISED TREE LOCATION 01/11/18

06/22/17 | PRELIM SUBMITTAL | JC SITE NAME:

PHO LECONTE

SITE ADDRESS: 3520 E BROWN RD MESA, AZ 85213

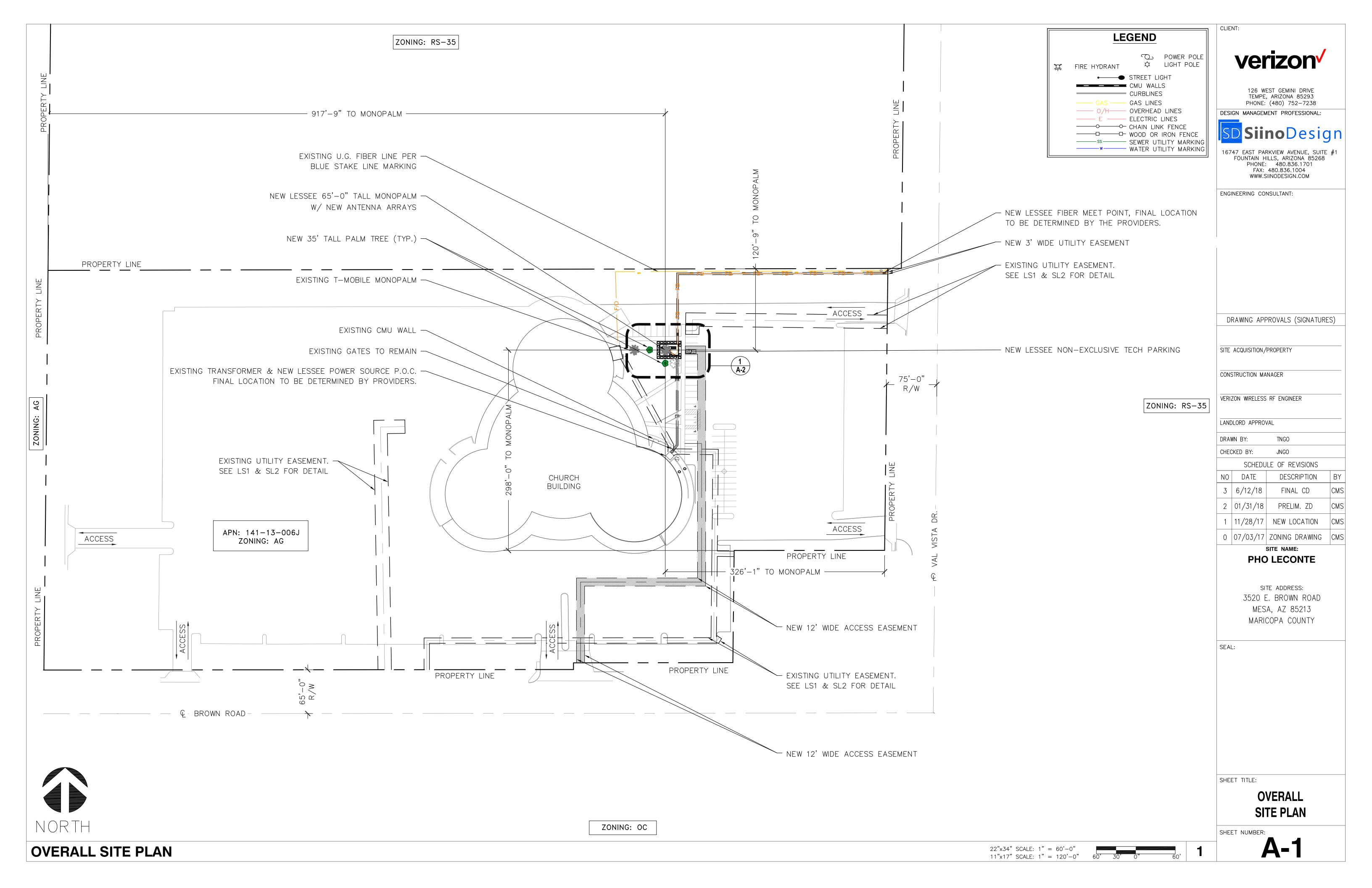
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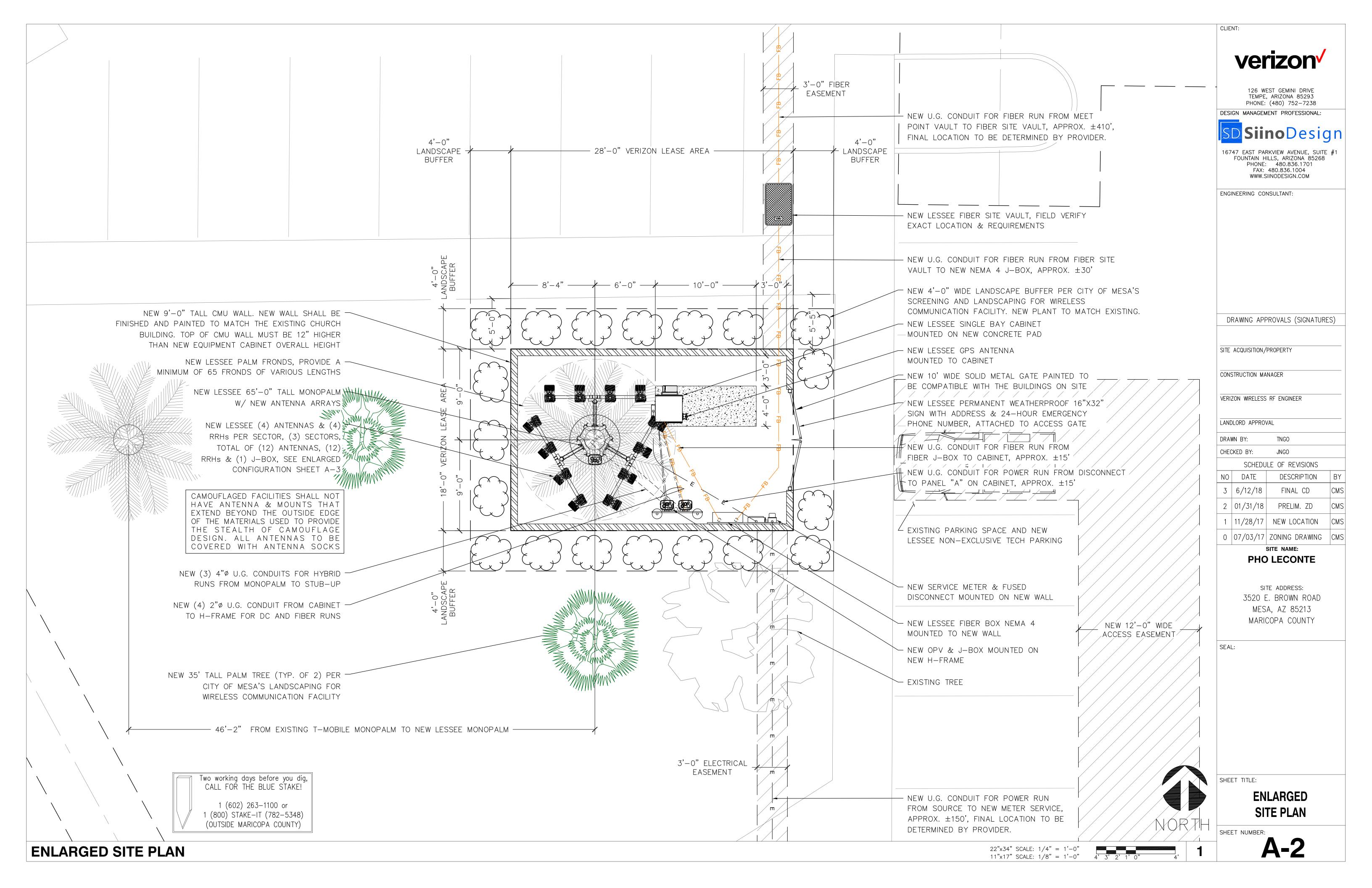


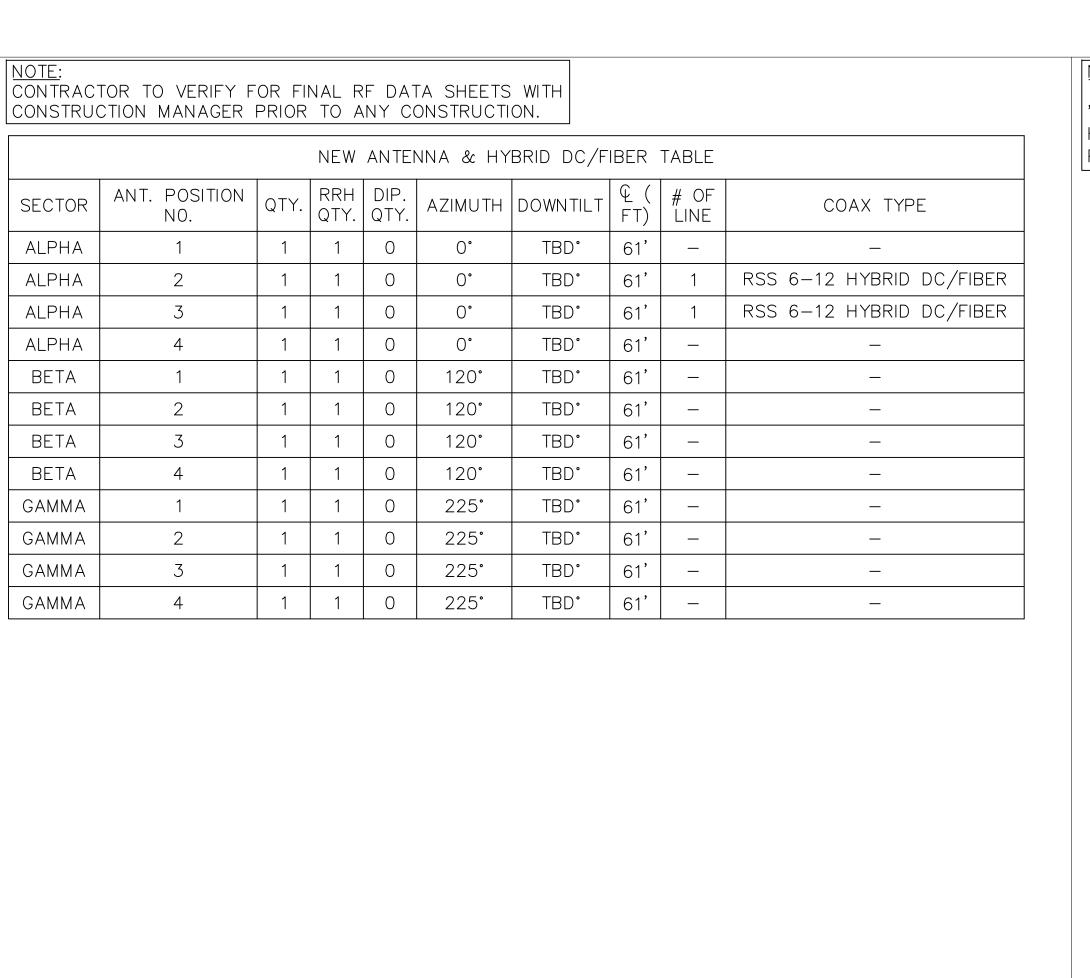
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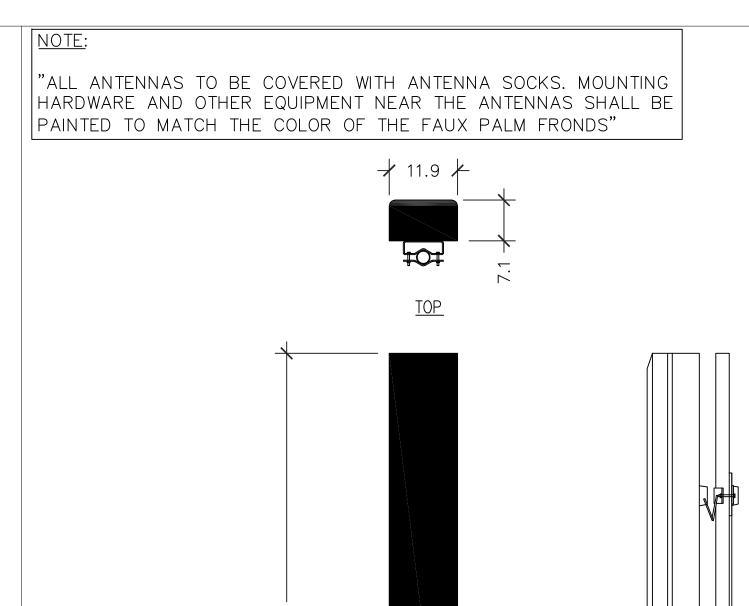
SITE SURVEY

SHEET NUMBER:









10.25" <u>FRONT</u> <u>SIDE</u> ---- 15.73**"** ----

<u>TOP</u>

11.8"

<u>FRONT</u>

RRH (3)

verizon 126 WEST GEMINI DRIVE TEMPE, ARIZONA 85293 PHONE: (480) 752-7238 DESIGN MANAGEMENT PROFESSIONAL:

Siino Design

16747 EAST PARKVIEW AVENUE, SUITE #1 FOUNTAIN HILLS, ARIZONA 85268 PHONE: 480.836.1701 FAX: 480.836.1004 WWW.SIINODESIGN.COM

ENGINEERING CONSULTANT:

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LANDLORD APPROVAL

SCALE: N.T.S. 3 JNGO SCHEDULE OF REVISIONS DESCRIPTION FINAL CD

2 01/31/18 PRELIM. ZD 1 | 11/28/17 | NEW LOCATION

> 0 07/03/17 ZONING DRAWING CMS SITE NAME:

> > PHO LECONTE

SITE ADDRESS: 3520 E. BROWN ROAD MESA, AZ 85213 MARICOPA COUNTY

ANTENNA CONFIGURATION & DETAILS

A-3

ANTENNA DETAIL SCALE: N.T.S.

NEW LESSEE (4) ANTENNAS

PER SECTOR, (3) SECTORS,

TOTAL (12) ANTENNAS, ALL

ANTENNAS TO BE COVERED

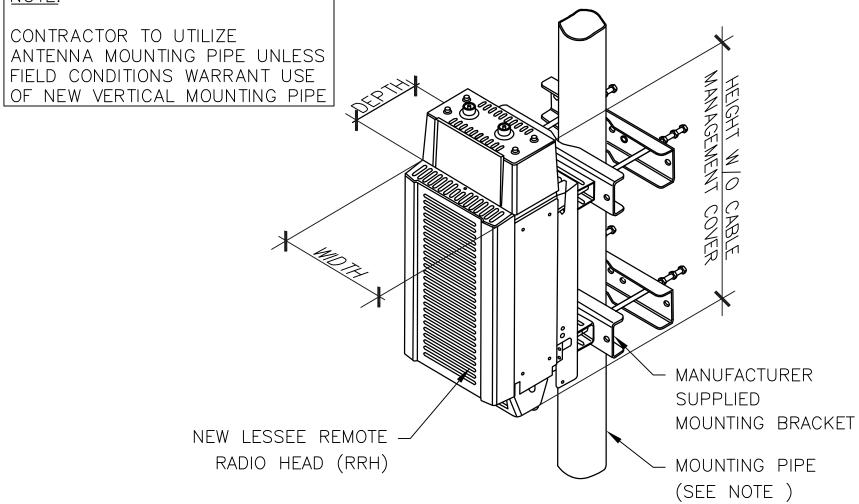
NEW LESSEE MOUNTING KIT,

/ TYP. (3) SECTORS BY MANUFACTURER SPECS

BETA 120.

WITH ANTENNA SOCKS

NEW LESSEE MONOPALM



		RRH SPECIFICATIONS						
	POSITION	RRH	WIDTH	DEPTH	HEIGHT W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET		
	1	RRH	12.75"	8.2"	16.85"	35.3 LBS. (W/O MOUNTING BRACKET)		
	2	RRH	12"	7.2"	21.2"	53 LBS. (W/O MOUNTING BRACKET)		
	3	RRH	11.8"	7.5"	20.9"	55.6 LBS. (W/O MOUNTING BRACKET)		
	4	RRH	11.8"	7.2"	25.8"	56.8 LBS. (W/O MOUNTING BRACKET)		
IDDIL NOTE DIMENCIONO INCLUDE MOLINITINO DE ACIVET COLAD CUIELD AND CONNECTORO								

<u>RRH NOTE:</u> DIMENSIONS INCLUDE MOUNTING BRACKET, SOLAR SHIELD AND CONNECTORS.

5 RRH DETAILS

ANTENNA CONFIGURATION

ANTENNA & COAXIAL CABLE TABLE

LINE OF FRONDS

NEW (4) RRHs PER

SECTOR, (12) RRHs

CIRCLE

TOTAL

SCALE: N.T.S. 4 RRH MOUNTING DETAILS & SPECS.

SCALE: N.T.S. 2 J-BOX DETAIL

/ 12.75" →

<u>FRONT</u>

RRH (1)

<u>FRONT</u>

RRH (2)

<u>TOP</u>

SCALE: N.T.S. 6

<u>TOP</u>

11.8"

<u>FRONT</u>

RRH (4)

- STRUCTURAL ANALYSIS, DESIGN OF NEW MONOPALM & ITS FOUNDATION ARE PROVIDED BY OTHERS
- 2. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOPALM
- 3. NEW ANTENNAS MUST BE FULLY SCREENING WITH ANTENNA SOCKS AND MATCH PALM FROND COLOR
- 4. THE WIRELESS COMMUNICATION FACILITY SHALL UTILIZE A FAUX DATE PALM DESIGN WITH A MINIMUM OF 65 PALM FRONDS OF THE 65 PALM FRONDS USED, 20% (13) OF THE FRONDS MUST BE 96" (8'), 40% (26) OF THE FRONDS MUST

BE 108" (9'), AND 40% (26) OF THE FRONDS MUST BE 120" (10'). EXISTING T-MOBILE MONOPALM NEW PALM FRONDS, PROVIDE A MINIMUM OF 65 FRONDS OF VARIOUS LENGTHS NEW LESSEE (4) ANTENNAS & (4) RRHs PER SECTOR, (3) SECTORS, TOTAL OF (12) ANTENNAS

NOTES:

- STRUCTURAL ANALYSIS, DESIGN OF NEW MONOPALM & ITS FOUNDATION ARE PROVIDED BY OTHERS
- 2. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOPALM 3. NEW ANTENNAS MUST BE FULLY SCREENING WITH ANTENNA SOCKS AND MATCH PALM FROND COLOR
- 4. THE WIRELESS COMMUNICATION FACILITY SHALL UTILIZE A FAUX DATE PALM DESIGN WITH A MINIMUM OF 65 PALM FRONDS OF THE 65 PALM FRONDS USED, 20% (13) OF THE FRONDS MUST BE 96" (8'), 40% (26) OF THE FRONDS MUST BE 108" (9'), AND 40% (26) OF THE FRONDS MUST BE 120" (10').

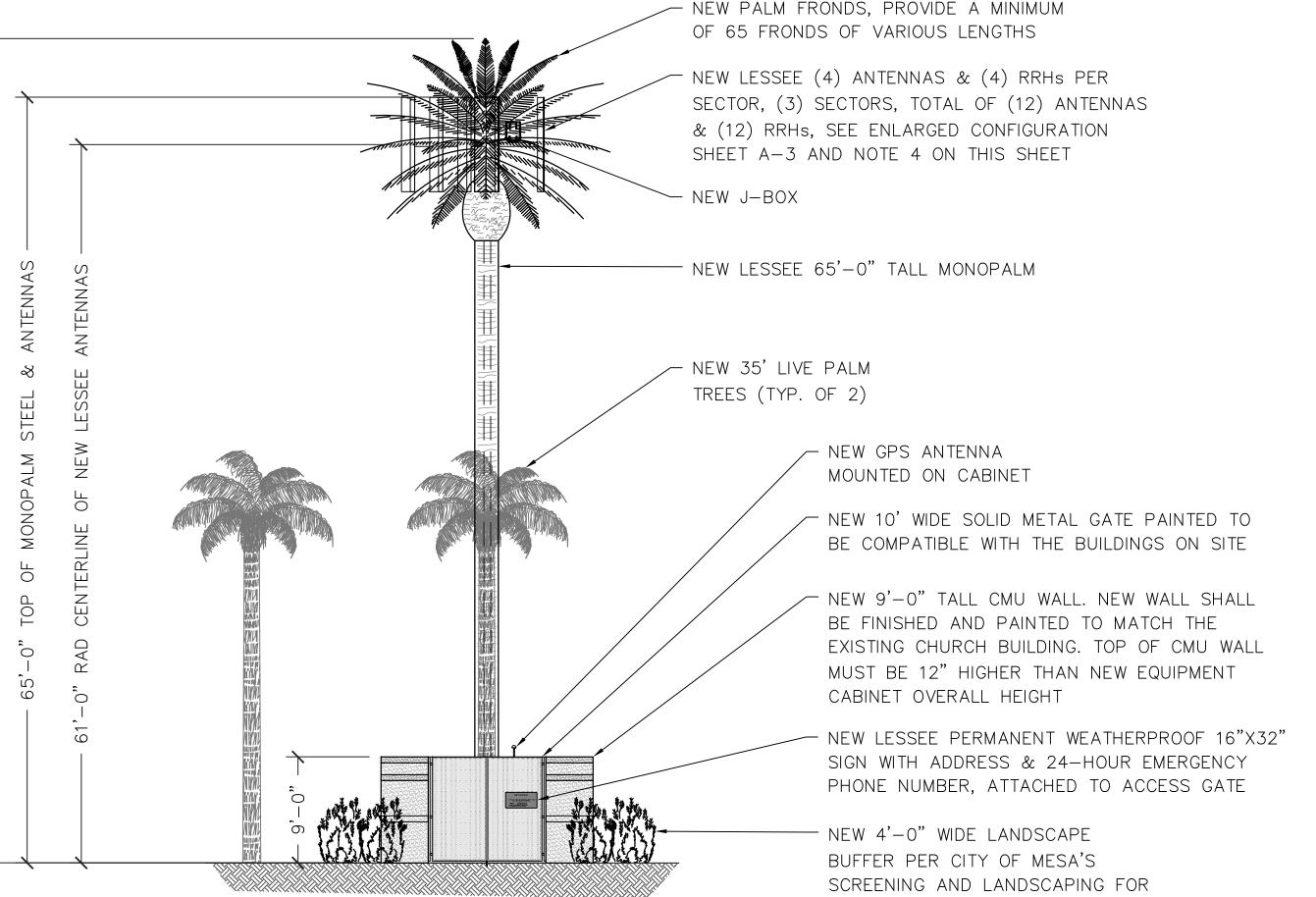
verizon^v

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LANDLORD APPROVAL DRAWN BY: JNGO CHECKED BY: SCHEDULE OF REVISIONS NO DATE DESCRIPTION FINAL CD 2 01/31/18 PRELIM. ZD 1 | 11/28/17 | NEW LOCATION

> SITE NAME: PHO LECONTE

0 07/03/17 ZONING DRAWING CMS

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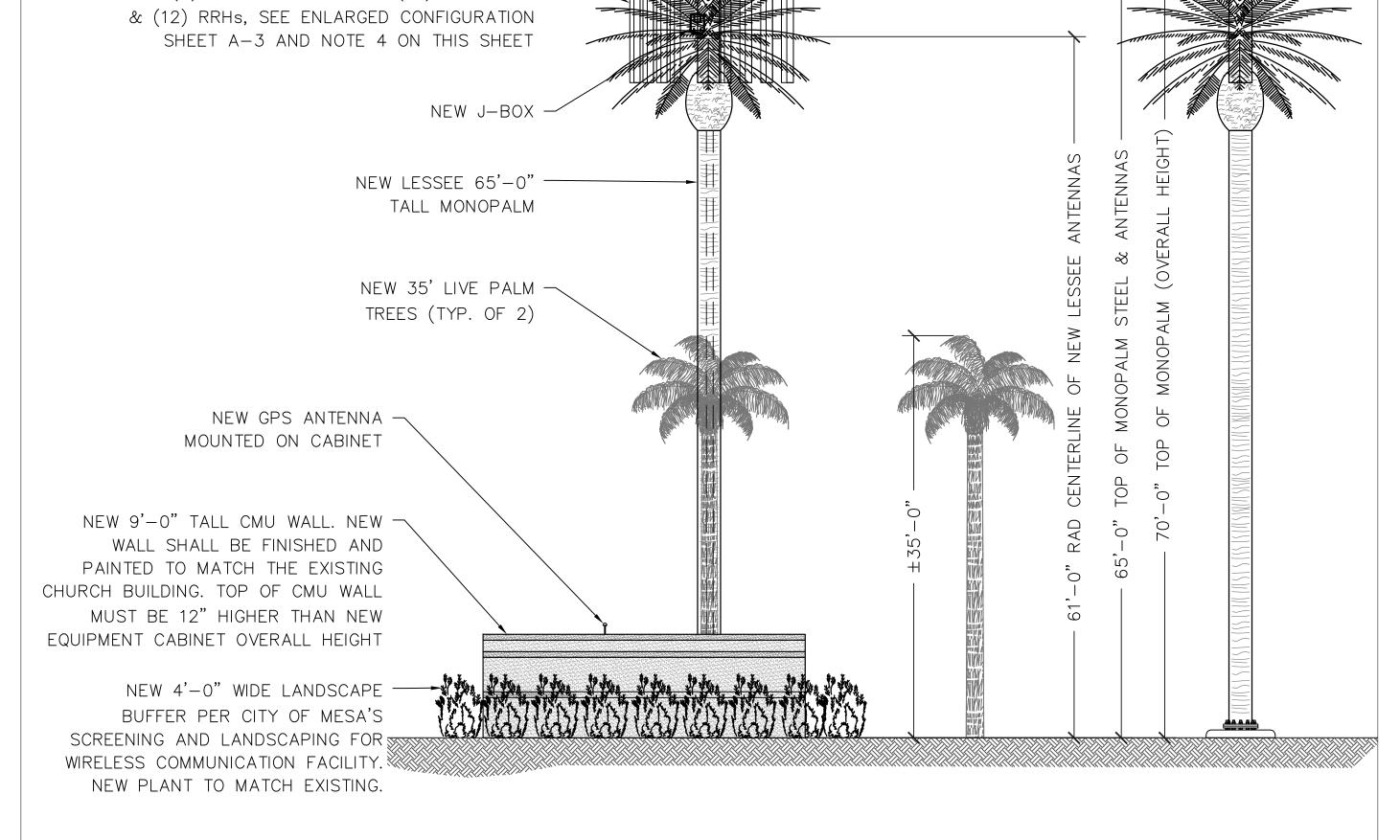
2

SHEET TITLE:

ELEVATIONS & FROND SCHEDULE

SHEET NUMBER:

A-4



22"x34" SCALE: 1/8" = 1'-0" 11"x17" SCALE: 1/16" = 1'-0" **EAST ELEVATION**

MONOPALM FROND LAYOUT 0/1|20/2|40/3|60/4|80/5|100/6|120/7|140/8|160/9|180/10|200/11|220/12|240/13|260/14|280/15|300/15|320/17|340/18|DISTANCE FROM TOP IN INCHES| HORIZONTAL DEGREE/FLAT _ENGTH (FT.) & QUANTITY COLOR CODE 12 15 18 26 21 10-26 24 150 N/A N/A 27 130 160 160 N/A N/A VERTICAL DEGREE OF THE 30 120 N/A N/A DATE FROND 33 110 120 150 N/A 110 N/A 100 36 100 | 110 100 110 N/A N/A 39 80 N/A N/A 42 N/A N/A 45 N/A N/A 48 N/A N/A

TOTAL OF 65 DATE PALM BRANCHES. ALL NEW ANTENNAS, RRHs AND ITS HARDWARE SHALL NOT EXTEND BEYOND THE OUTSIDE EDGE OF THE FRONDS, NO EXCEPTION.

FLAT NUMBERING:

FROND SCHEDULE

NORTH ELEVATION

SCALE: N.T.S.

WIRELESS COMMUNICATION FACILITY.

NEW PLANT TO MATCH EXISTING.

22"x34" SCALE: 1/8" = 1'-0" 11"x17" SCALE: 1/16" = 1'-0"