

BEARINGS SHOWN HEREON ARE BASED UPON
U.S. STATE PLANE NAD83 COORDINATE SYSTEM
ARIZONA CENTRAL ZONE, DETERMINED BY GPS
OBSERVATIONS.

6.14.17

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

ELEVATIONS WERE ESTABLISHED FROM PROCESSING GPS DATA WITH AND CONSTRAINING TO NGS "CORS" STATIONS AND APPLYING GEOID12b SEPARATIONS AND ARE AT NAVD88 DATUM

REFERENCE IS MADE TO THE TITLE REPORT ORDER
#A-FWPY-IMP-N/A-17-C1704002, ISSUED BY
CHICAGO TITLE INSURANCE COMPANY, DATED
05/09/17.

ALL EASEMENTS CONTAINED WITHIN SAID TITLE
REPORT AFFECTING THE IMMEDIATE AREA
SURROUNDING THE LEASE HAVE BEEN PLOTTED
(EXCEPT FOR ROOFTOPS). SURVEYOR HAS NOT
PERFORMED A SEARCH OF PUBLIC RECORDS TO
DETERMINE ANY DEFECT IN TITLE ISSUED.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM
RECORD INFORMATION AND DOES NOT CONSTITUTE
A BOUNDARY SURVEY OF THE PROPERTY.

THIS PROJECT APPEARS TO BE LOCATED WITHIN
FLOOD ZONE "X" AREAS DETERMINED TO BE
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT
AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID
#04013C2260L, DATED 06/16/2013



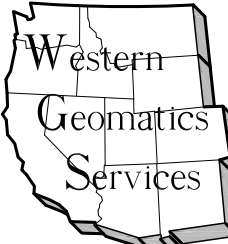
126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85283
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:



16616 EAST PALISADES BLVD, SUITE 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.sdllc.bz

SURVEYING CONSULTANT:



2925 E Riggs Rd Suite 8-191
Chandler, AZ 85249
(480) 656-7912 office
(480) 219-5195 fax

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL _____

DRAWN BY: NC

CHECKED BY: JC

SCHEDULE OF REVISIONS			
	DATE	DESCRIPTION	BY
2	01/30/18	REVISED	JC
1	01/11/18	TREE LOCATION	JC
0	06/22/17	PRELIM SUBMITTAL	JC

SITE NAME:

PHO LECONTE

SITE ADDRESS:

3520 E BROWN RD
MESA, AZ 85213

SEAL:



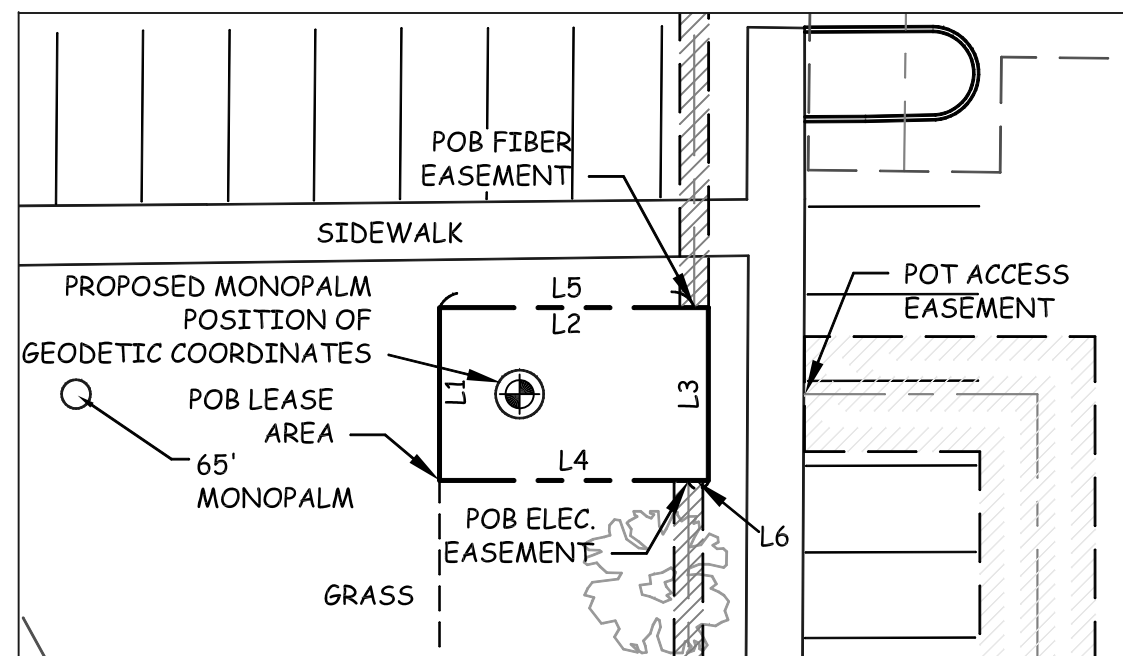
EXPIRES: 3/31/2019

SHEET TITLE:

SITE SURVEY

SHEET NUMBER

LS-1



LINE TABLE		
LINE	LENGTH	BEARING
L1	18.00	N00°00' 00"E
L2	28.00	N90°00' 00"E
L3	18.00	S00°00' 00"E
L4	28.00	S90°00' 00"W
L5	26.50	N90°00' 00"E
L6	2.08	N90°00' 00"W
L7	14.74	S37°26' 03"W

LEASE AREA LEGAL DESCRIPTION

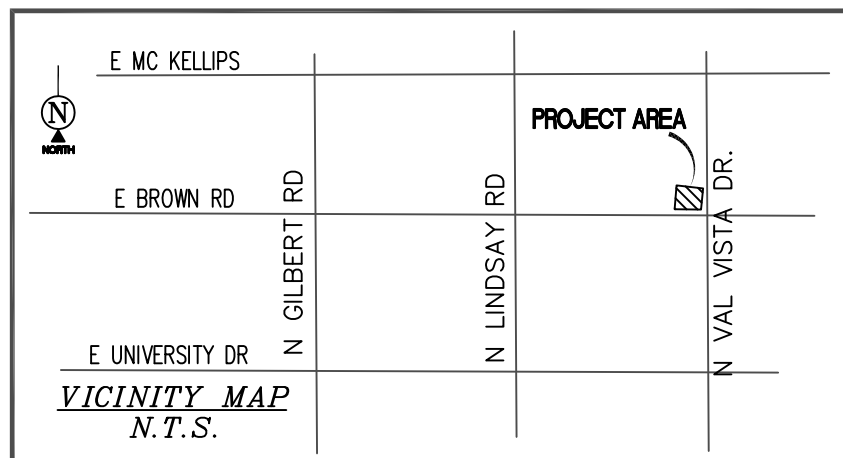
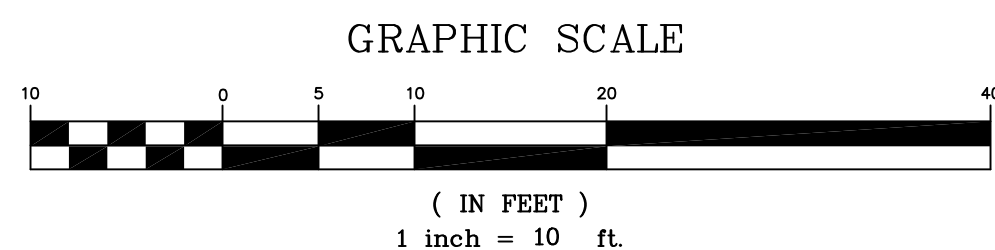
ALL THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:



COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 56 MINUTES 45 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 406.62 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 530.80 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST,
18.00 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST,
28.00 FEET;
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST,
18.00 FEET;
THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS
WEST, 28.00 FEET TO THE POINT OF BEGINNING.

AN AREA CONTAINING 504 SQ. FT. MORE OR LESS



CONC		FACE OF CONCRETE		POSITION OF	
FC		FACE OF CURB		GEODETIC COORDINATES	
LP		LIGHT POLE		SPOT ELEVATION	
		TREES			
<hr/>		<hr/>		WATER CONTROL VALVE	
<hr/>		<hr/>		CURBLINES	
<hr/>		<hr/>		CONCRETE LIMITS	
<hr/>		<hr/>		EXISTING BUILDINGS	
<hr/>		<hr/>		WATER LINES	
<hr/>		<hr/>		GAS LINES	
<hr/>		<hr/>		ELECTRIC LINES	
<hr/>		<hr/>		ADJACENT PROPERTY LINE	
<hr/>		<hr/>		EASEMENT LINES	
<hr/>		<hr/>		TIE LINES	
<hr/>		<hr/>		LEASE AREA LIMITS	
<hr/>		<hr/>		MAJOR CONTOUR INTERVAL	
<hr/>		<hr/>		MINOR CONTOUR INTERVAL	

LESSOR'S LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:
The South half of the Southeast quarter of the Southeast quarter of Section 8, Township 1 North, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;
EXCEPT the East 33 feet thereof; and
EXCEPT that part of the South 140.00 feet of the East 155.00 feet of the Southeast quarter of the Southeast quarter of Section 8, Township 1 North, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:
COMMENCING at the Southeast corner of said Section 8;
Thence West along the South line of Section 8 (also monument line of Brown Road), a distance of 90.00 feet;
Thence North and parallel to the East line of Section 8 (also monument line of Val Vista Drive), a distance of 33.00 feet to the POINT OF BEGINNING;
Thence Northeast, a distance of 80.61 feet to a point 90.00 feet North of the South line of Section 8 and 33.00 feet West of the East line of Section 8;
Thence South and parallel to the East line of Section 8, a distance of 57.00 feet to a point;
Thence West and parallel to the South line of Section 8, a distance of 57.00 feet to the POINT OF BEGINNING, as conveyed to the City of Mesa, a municipal corporation in instrument recorded January 15, 1990 in Recording No. 90-019839, records of Maricopa County, Arizona; and
EXCEPT any portion lying within the following described property:
COMMENCING at the Southeast corner of said Section 8;
Thence West along the South line of Section 8 (also monument line of Brown Road), a distance of 90.00 feet;
Thence North and parallel to the East line of Section 8 (also monument line of Val Vista Drive), a distance of 33.00 feet to the POINT OF BEGINNING;
Thence West along a line parallel with the South line of Section 8, a distance of 208.71 feet;
Thence North along a line parallel with the East line of Section 8, a distance of 208.71 feet;
Thence East along a line parallel with the South line of Section 8 to a point on the East line of Section 8;
Thence South along the East line of Section 8, to the Southeast corner of said Section 8;
Thence West along the South line of Section 8, a distance of 90.00 feet;
Thence North and parallel to the East line of Section 8, a distance of 33.00 feet to the POINT OF BEGINNING; and
EXCEPT a strip of ground, 30.00 feet in width, being the West 30.00 feet of the South half of the Southeast quarter of the Southeast quarter of said Section 8, Except from this exception, the South 65.00 feet, as conveyed to the City of Mesa, an Arizona municipal corporation in Warranty Deed in Recording No. 2001-0405535, Maricopa County Records; and
EXCEPT a strip of ground, 42.00 feet wide, the East boundary of which is located 33.00 feet West of, and parallel to, and running the length of, the East boundary line of the South half of the Southeast quarter of the Southeast quarter of said Section 8, Except from this exception, the South 241.71 feet, as conveyed to the City of Mesa, an Arizona municipal corporation in Warranty Deed in Recording No. 2001-0405539, Maricopa County Records; and
EXCEPT COMMENCING at the Southeast corner of said Section 8;
Thence South 89 degrees 25 minutes 14 seconds West, along the South line of said Section 8, 298.71 feet;
Thence North 00 degrees 07 minutes 45 seconds East, along a line which is parallel to the East line of said Section 8, 33.00 feet to the POINT OF BEGINNING;
Thence continuing North 00 degrees 07 minutes 45 seconds East, along a line which is parallel to the East line of said Section 8, 42.00 feet;
Thence South 89 degrees 25 minutes 14 seconds West, along a line which is parallel to the South line of said Section 8, 237.00 feet;
Thence South 00 degrees 07 minutes 45 seconds West, along a line which is parallel to the East line of said Section 8, 10.00 feet;
Thence South 89 degrees 25 minutes 14 seconds West, along a line which is parallel to the South line of said Section 8, 787.39 feet to a point on the West boundary line of said South half of the Southeast quarter of the Southeast quarter of Section 8;
Thence South 00 degrees 03 minutes 46 seconds West, along the West line of said South half of the Southeast quarter of the Southeast quarter of said Section 8, 32.00 feet to a point which is 33.00 feet North of the South line of said Section 8;
Thence North 89 degrees 25 minutes 14 seconds East, along a line which is parallel to the South line of said section 8, 1,024.39 feet to the POINT OF BEGINNING, as conveyed to the City of Mesa, an Arizona municipal corporation, in Warranty Deed in Recording No. 2001-0405540, Maricopa County Records.

3' WIDE UTILITY LEGAL DESCRIPTION

A 3.00 FOOT WIDE UTILITY EASEMENT SITUATED IN THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 56 MINUTES 45 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 406.62 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 530.80 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 18.00 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, 28.00 FEET;
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 18.00 FEET;
THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 2.08 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF SAID 3.00 FOOT WIDE EASEMENT, LYING 1.50 FEET OF EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;
THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 132.06 FEET;
THENCE SOUTH 37 DEGREES 26 MINUTES 03 SECONDS WEST, 14.74 FEET TO THE POINT OF TERMINUS.

ACCESS EASEMENT LEGAL DESCRIPTION

A 12 FOOT WIDE ACCESS EASEMENT SITUATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE SOUTH 89 DEGREES 56 MINUTES 45 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 524.35 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 75.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF SAID ACCESS EASEMENT, LYING 6.00 FEET OF EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 120.00 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, 180.00 FEET;
THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 344.90 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 24.27 FEET TO THE POINT OF TERMINUS.

SCHEDULE B EXCEPTIONS:

TITLE REPORT ORDER #AZ-FWPY-IMP-N/A-1-17-C1704002, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, DATED 5/09/17.

3.

Reservations contained in the Patent From: The United States of America To: Ernest Ellsworth Recording Date: April 3, 1922 Recording No: Book 166 of Maps, page 343 (NO AFFECT ON LEASE AREA OR EASEMENTS)
5.

Right of Way for roadway shown on map: Recording No.: Book 1 of Road Maps, page 60 (NO AFFECT ON LEASE AREA OR EASEMENTS)
6.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Communication and other facilities Recording Date: June 26, 1979 Recording No: Docket 13723, page 1149 (LIES WITHIN EXISTING RIGHT OF WAY, NO AFFECT)
7.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Sewer Line Recording Date: November 14, 1983 Recording No: 83-456668 (LIES WITHIN EXISTING RIGHT OF WAY, NO AFFECT)
8.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Underground Power Recording Date: November 7, 2000 Recording No: 2000-0855390 (PLOTTED)
9.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Transmission and distribution of electricity and communication purposes Recording Date: January 30, 2001 Recording No: 2001-0065539 (LIES WITHIN EXISTING R/W)
10.

Any action that may be taken by the Flood Control District of Maricopa County to acquire property or rights of way for flood control, as disclosed by Resolution FCB 2001R003 recorded April 2, 2001 in Recording No. 2001-0264396. (NOT PLOTTABLE)
11.

Matters disclosed by Falcon Field Airport Sound Contours and Primary Flight Track recorded April 10, 2001 in Recording No. 2001-0285395. (NO AFFECT, SITE FALLS WITHIN SOUND CONTOUR)
12.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Drainage Recording Date: May 10, 2001 Recording No: 2001-0390634 (PLOTTED, NO AFFECT)
13.

Covenant Running With The Land recorded May 10, 2001 in Recording No. 2001-0390635. (RELATED TO ITEM #12)
14.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Public Utilities and Facilities Recording Date: May 15, 2001 Recording No: 2001-0405536 (PLOTTED, NO AFFECT)
- #

SCHEDULE B EXCEPTION NUMBER PER TITLE REPORT

15.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Public Utilities Recording Date: May 15, 2001 Recording No: 2001-0405537 (PLOTTED, NO AFFECT)
16.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Public Utilities Recording Date: May 15, 2001 Recording No: 2001-0405538 (PLOTTED, NO AFFECT)
17.

Matters contained in that certain document Entitled: Agreement Between Lienholders Recording Date: October 31, 2001 Recording No: 20011012630 (NOT SURVEY RELATED)
19.

The effect of the document set forth below, which states that the Land is located within territory in the vicinity of an airport and may be subject to increased noise and accident potential. Recording Date: May 12, 2005 Recording No: 2005-0623148 (NO AFFECT TO LEASE)
21.

Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Power Distribution Recording Date: March 14, 2011 Recording No: 20110217990 (PLOTTED)
22.

An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document Entitled: Memorandum of Lease Lessor: Living Word Bible Church, an Arizona non profit Lessee: T-Mobile West Corporation, a Delaware corporation Recording Date: March 23, 2011 Recording No: 2011-0248871 Assignment and Assumption of Lease and/or Rents recorded December 21, 2011 in Recording No. 20111050465 Subordination, Non-Disturbance and Attornment Agreement recorded December 21, 2011 in Recording No. 20111050466 Subordination, Non-Disturbance and Attornment Agreement recorded December 21, 2011 in Recording No. 20111050467 (PLOTTED)
25.

Matters contained in that certain document Entitled: Telecommunication Easement Recording Date: December 21, 2011 Recording No: 20111050462 (NOT PLOTTABLE, TIED TO EXIST. UTILITIES, COMPOUND DESCRIPTION LACKING)
28.

An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document Entitled: Memorandum of Master Prepaid Lease and Management Agreement Lessor: Living World Bible Church Lessee: T-Mobile West Corporation Recording Date: November 21, 2013 Recording No: 20131004491 (NOT PLOTTABLE, REFER TO ITEM 22 FOR PLACEMENT, LEASE DOES NOT INCLUDE EXIST. MONOPALM.)

CLIENT:



126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85283
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:



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www.sdllc.biz

SURVEYING CONSULTANT:



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Chandler, AZ 85249
(480) 656-7912 office
(480) 219-5195 fax

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: NC

CHECKED BY: JC

SCHEDULE OF REVISIONS			
	DATE	DESCRIPTION	BY
2	01/30/18	REVISED	JC
1	01/11/18	TREE LOCATION	JC
0	06/22/17	PRELIM SUBMITTAL	JC

SITE NAME:

PHO LECONTE

SITE ADDRESS:

3520 E BROWN RD
MESA, AZ 85213

SEAL:



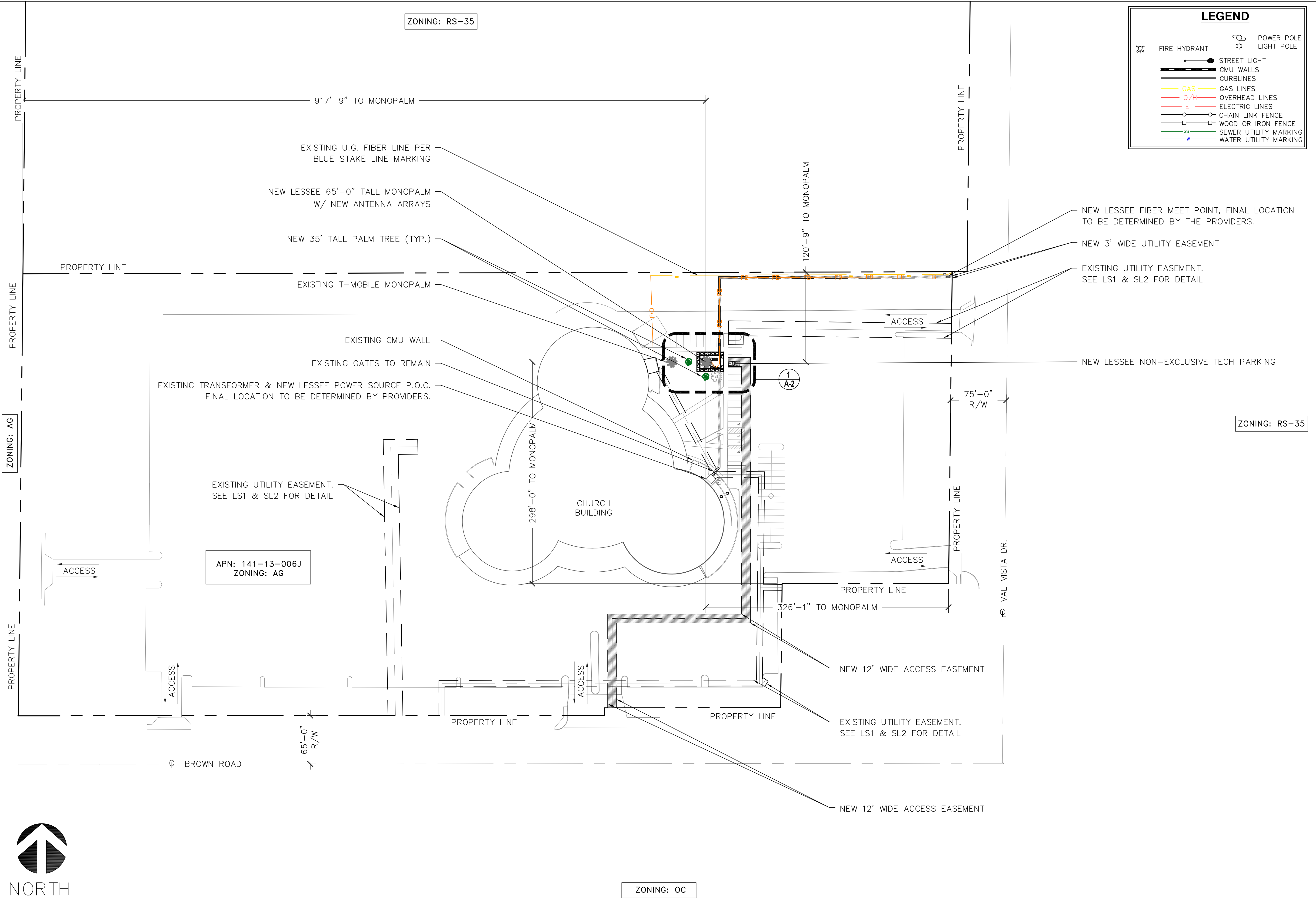
EXPIRES: 3/31/2019

SHEET TITLE:

SITE SURVEY

SHEET NUMBER:

LS-2



CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85293
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SDSiinoDesign

16747 EAST PARKVIEW AVENUE, SUITE #1
FOUNTAIN HILLS, ARIZONA 85268
PHONE: 480.836.1701
FAX: 480.836.1004
WWW.SINODESIGN.COM

ENGINEERING CONSULTANT:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: TNGO

CHECKED BY: JNGO

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	6/12/18	FINAL CD	CMS
2	01/31/18	PRELIM. ZD	CMS
1	11/28/17	NEW LOCATION	CMS
0	07/03/17	ZONING DRAWING	CMS

SITE NAME:

PHO LECONTE

SITE ADDRESS:

3520 E. BROWN ROAD
MESA, AZ 85213
MARICOPA COUNTY

SEAL:

SHEET TITLE:

OVERALL
SITE PLAN

SHEET NUMBER:

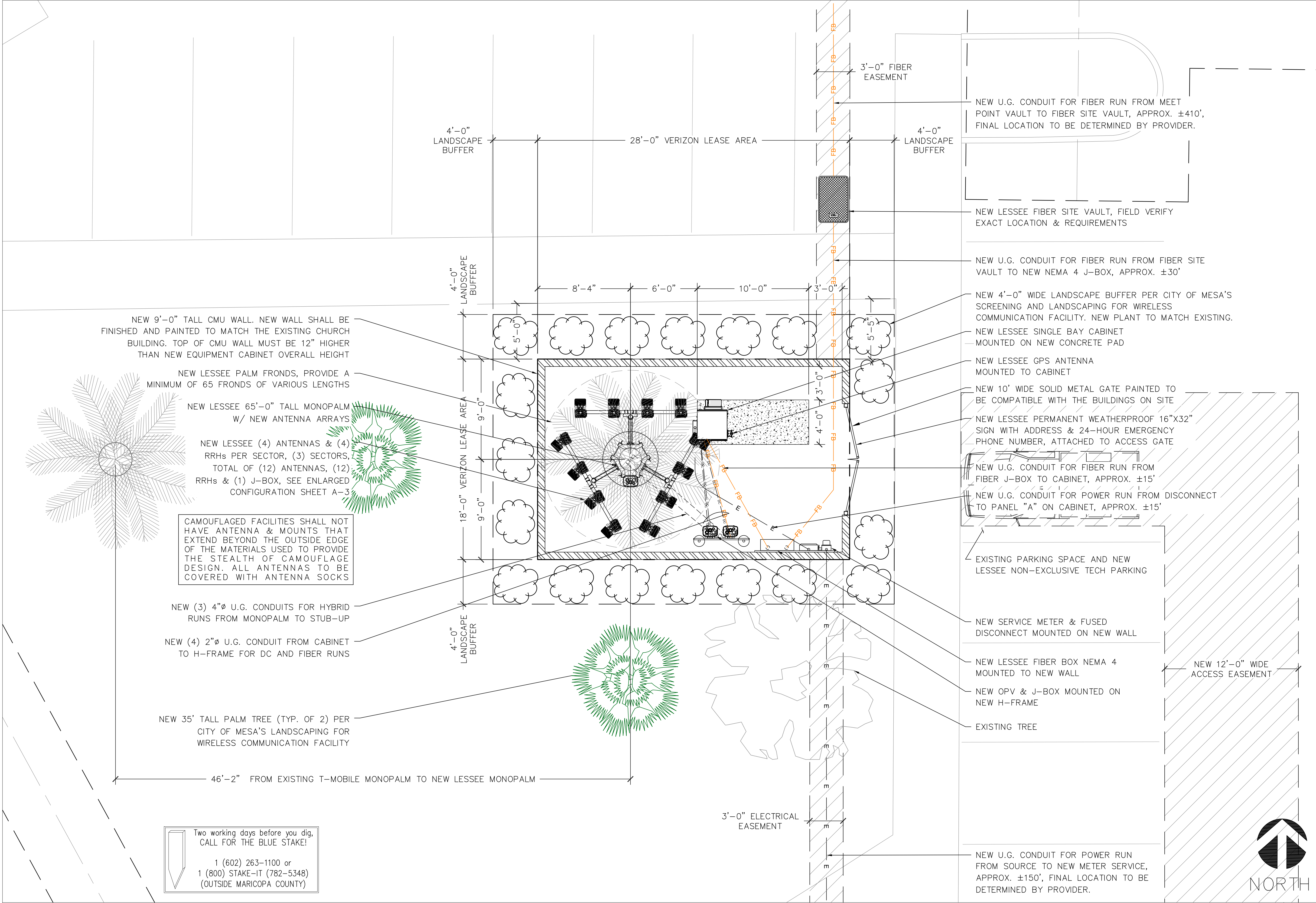
A-1

OVERALL SITE PLAN

ZONING: OC

22"x34" SCALE: 1" = 60'-0"
11"x17" SCALE: 1" = 120'-0"

1



CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85293
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SD

SiinoDesign

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ENGINEERING CONSULTANT:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: TNGO

CHECKED BY: JNGO

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	6/12/18	FINAL CD	CMS
2	01/31/18	PRELIM. ZD	CMS
1	11/28/17	NEW LOCATION	CMS
0	07/03/17	ZONING DRAWING	CMS

SITE NAME:

PHO LECONTE

SITE ADDRESS:
3520 E. BROWN ROAD
MESA, AZ 85213
MARICOPA COUNTY

SEAL:

SHEET TITLE:

ENLARGED
SITE PLAN

SHEET NUMBER:

A-2

ENLARGED SITE PLAN

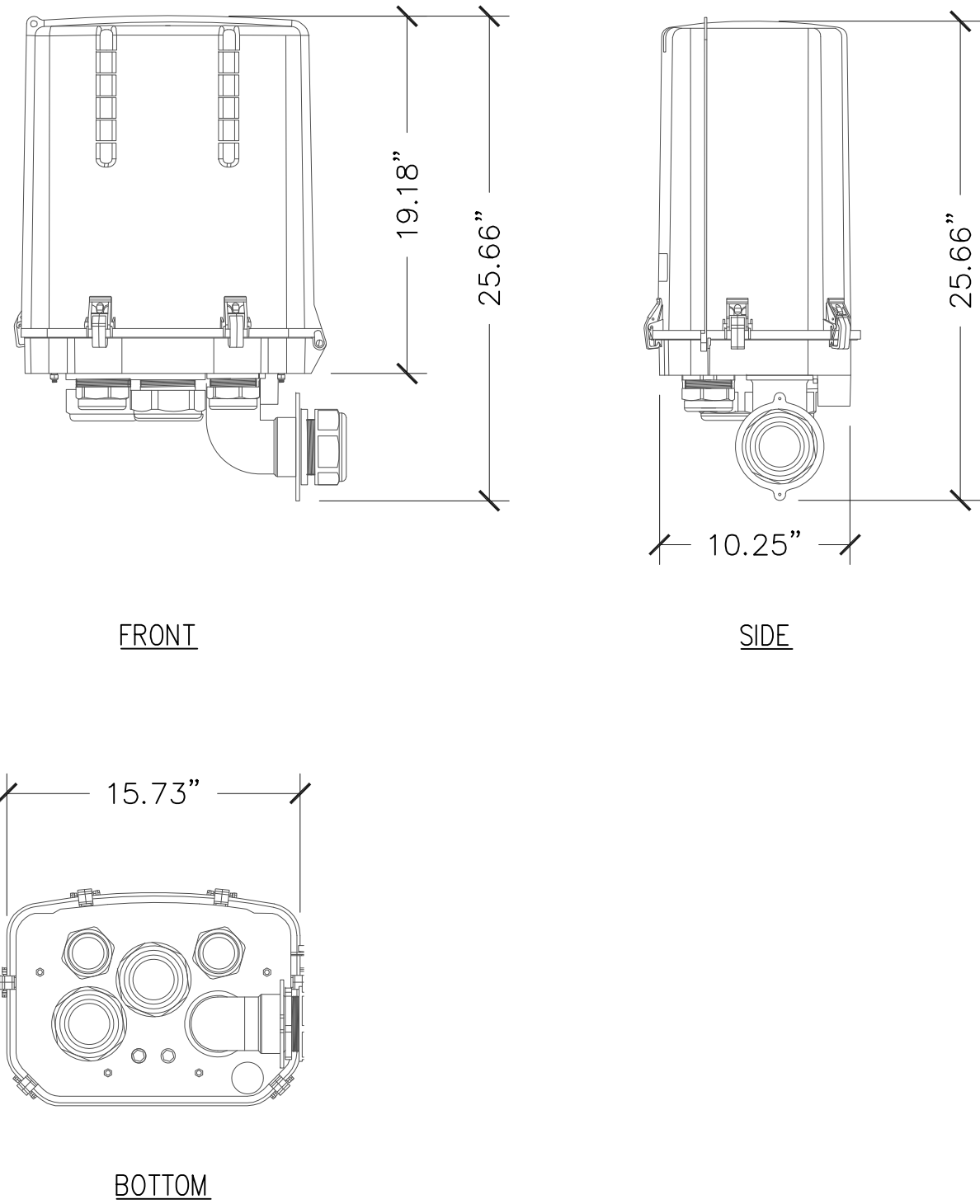
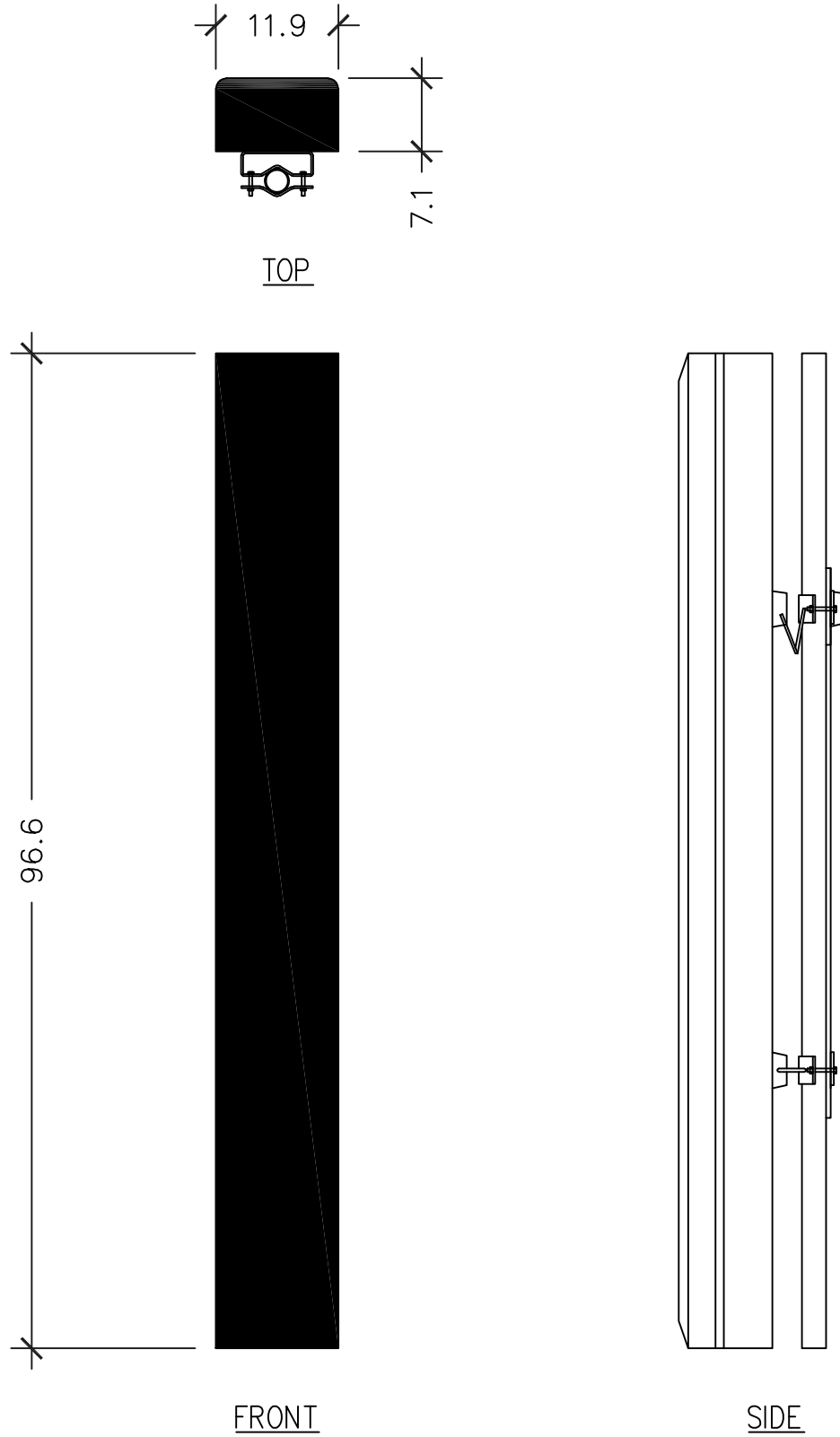
22"x34" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"
4' 3' 2' 1' 0' 4' 1

NOTE:
CONTRACTOR TO VERIFY FOR FINAL RF DATA SHEETS WITH
CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION.

NEW ANTENNA & HYBRID DC/FIBER TABLE									
SECTOR	ANT. POSITION NO.	QTY.	RRH QTY.	DIP. QTY.	AZIMUTH	DOWNTILT	CL (FT)	# OF LINE	COAX TYPE
ALPHA	1	1	1	0	0°	TBD°	61’	—	—
ALPHA	2	1	1	0	0°	TBD°	61’	1	RSS 6–12 HYBRID DC/FIBER
ALPHA	3	1	1	0	0°	TBD°	61’	1	RSS 6–12 HYBRID DC/FIBER
ALPHA	4	1	1	0	0°	TBD°	61’	—	—
BETA	1	1	1	0	120°	TBD°	61’	—	—
BETA	2	1	1	0	120°	TBD°	61’	—	—
BETA	3	1	1	0	120°	TBD°	61’	—	—
BETA	4	1	1	0	120°	TBD°	61’	—	—
GAMMA	1	1	1	0	225°	TBD°	61’	—	—
GAMMA	2	1	1	0	225°	TBD°	61’	—	—
GAMMA	3	1	1	0	225°	TBD°	61’	—	—
GAMMA	4	1	1	0	225°	TBD°	61’	—	—

NOTE:

"ALL ANTENNAS TO BE COVERED WITH ANTENNA SOCKS. MOUNTING
HARDWARE AND OTHER EQUIPMENT NEAR THE ANTENNAS SHALL BE
PAINTED TO MATCH THE COLOR OF THE FAUX PALM FRONDS"



CLIENT:

verizon

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PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SD SiinoDesign

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ENGINEERING CONSULTANT:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: TNGO

CHECKED BY: JNGO

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	6/12/18	FINAL CD	CMS
2	01/31/18	PRELIM. ZD	CMS
1	11/28/17	NEW LOCATION	CMS
0	07/03/17	ZONING DRAWING	CMS

SITE NAME:
PHO LECONTE

SITE ADDRESS:
3520 E. BROWN ROAD
MESA, AZ 85213
MARICOPA COUNTY

SEAL:

SHEET TITLE:

**ANTENNA
CONFIGURATION &
DETAILS**

SHEET NUMBER:

A-3

ANTENNA & COAXIAL CABLE TABLE

SCALE: N.T.S.

1

ANTENNA DETAIL

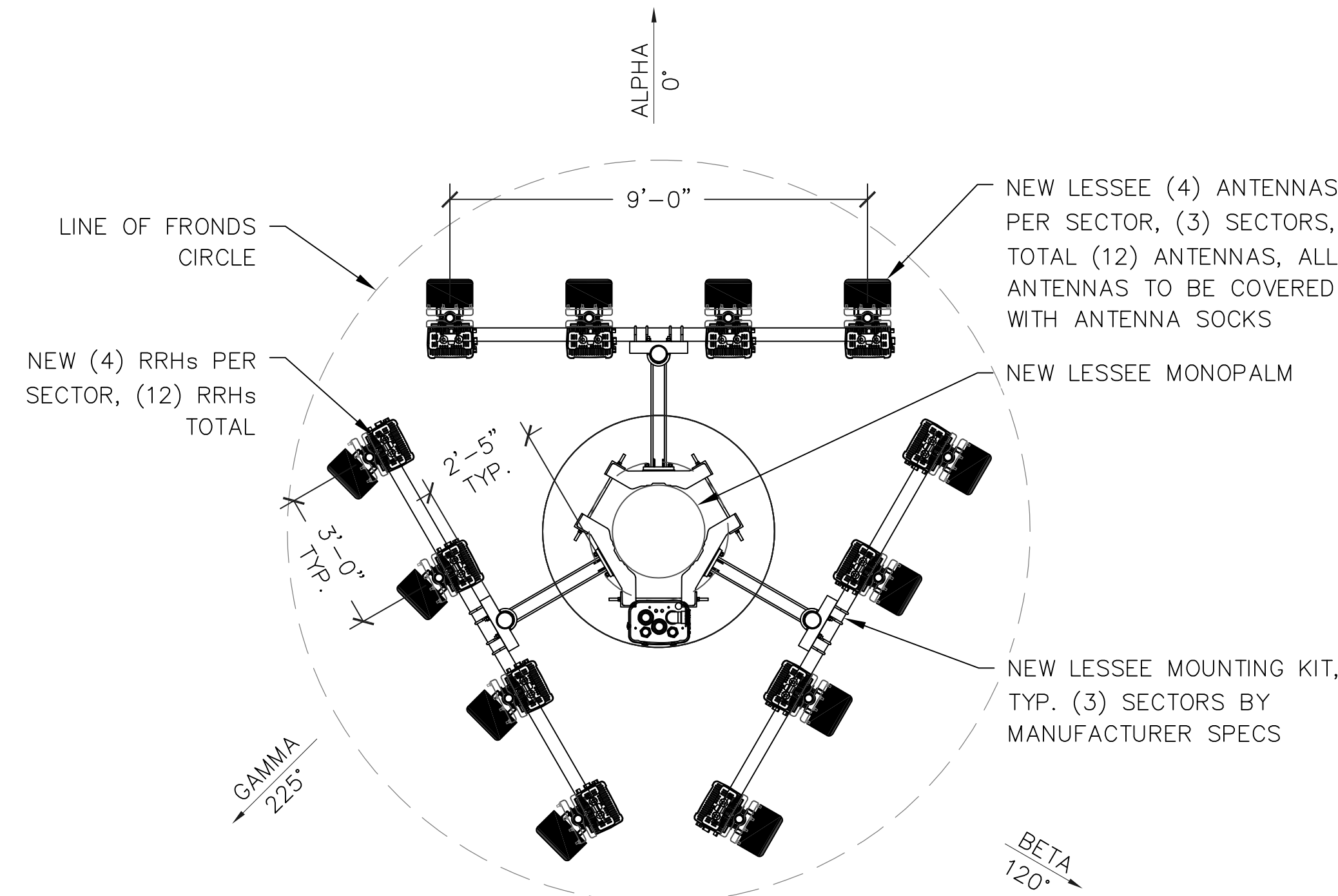
SCALE: N.T.S.

2

J-BOX DETAIL

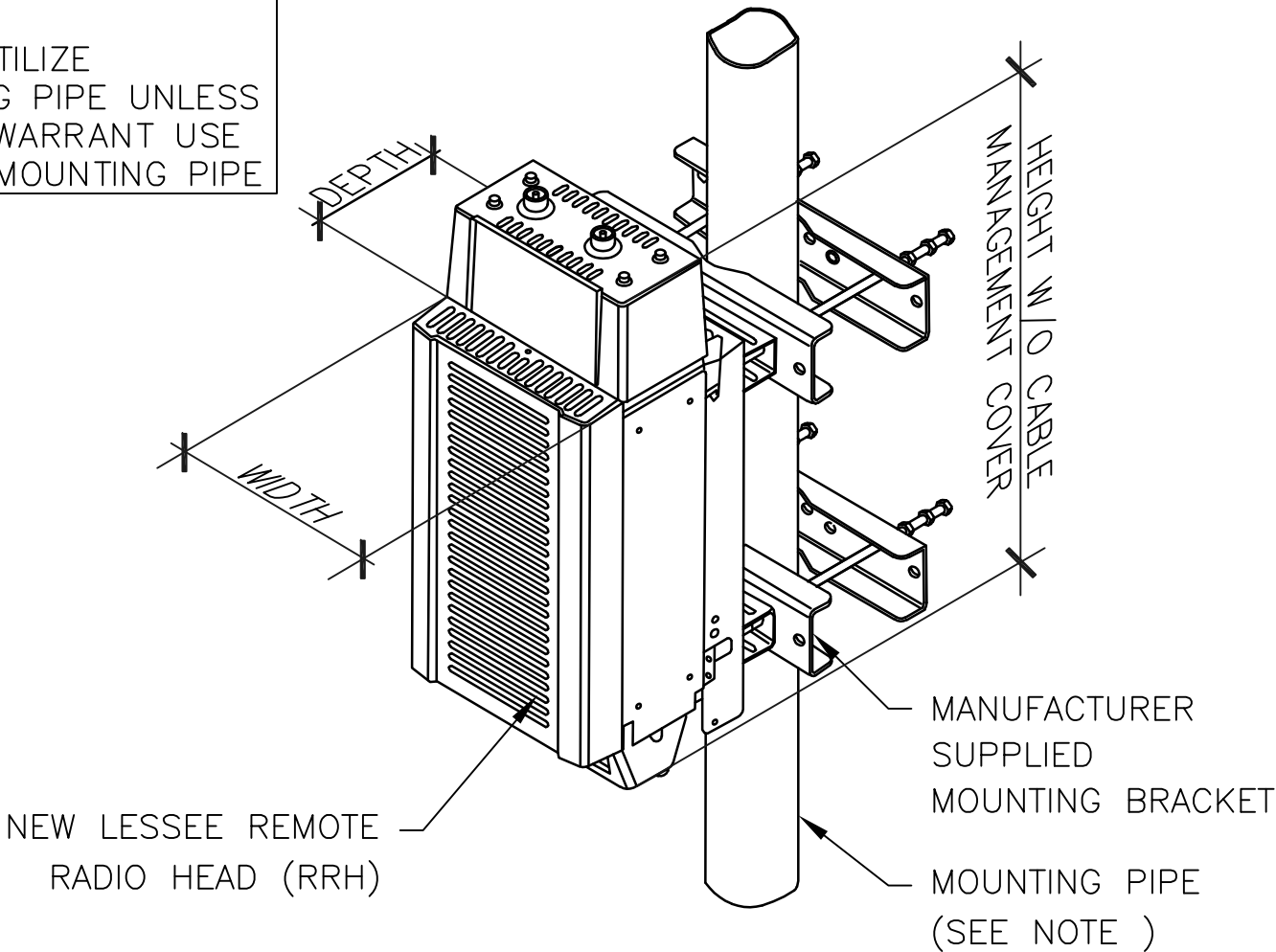
SCALE: N.T.S.

3



NOTE:

CONTRACTOR TO UTILIZE
ANTENNA MOUNTING PIPE UNLESS
FIELD CONDITIONS WARRANT USE
OF NEW VERTICAL MOUNTING PIPE



RRH SPECIFICATIONS					
POSITION	RRH	WIDTH	DEPTH	HEIGHT W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET
1	RRH	12.75"	8.2"	16.85"	35.3 LBS. (W/O MOUNTING BRACKET)
2	RRH	12"	7.2"	21.2"	53 LBS. (W/O MOUNTING BRACKET)
3	RRH	11.8"	7.5"	20.9"	55.6 LBS. (W/O MOUNTING BRACKET)
4	RRH	11.8"	7.2"	25.8"	56.8 LBS. (W/O MOUNTING BRACKET)
RRH NOTE: DIMENSIONS INCLUDE MOUNTING BRACKET, SOLAR SHIELD AND CONNECTORS.					

ANTENNA CONFIGURATION

SCALE: N.T.S.

4

RRH MOUNTING DETAILS & SPECS.

SCALE: N.T.S.

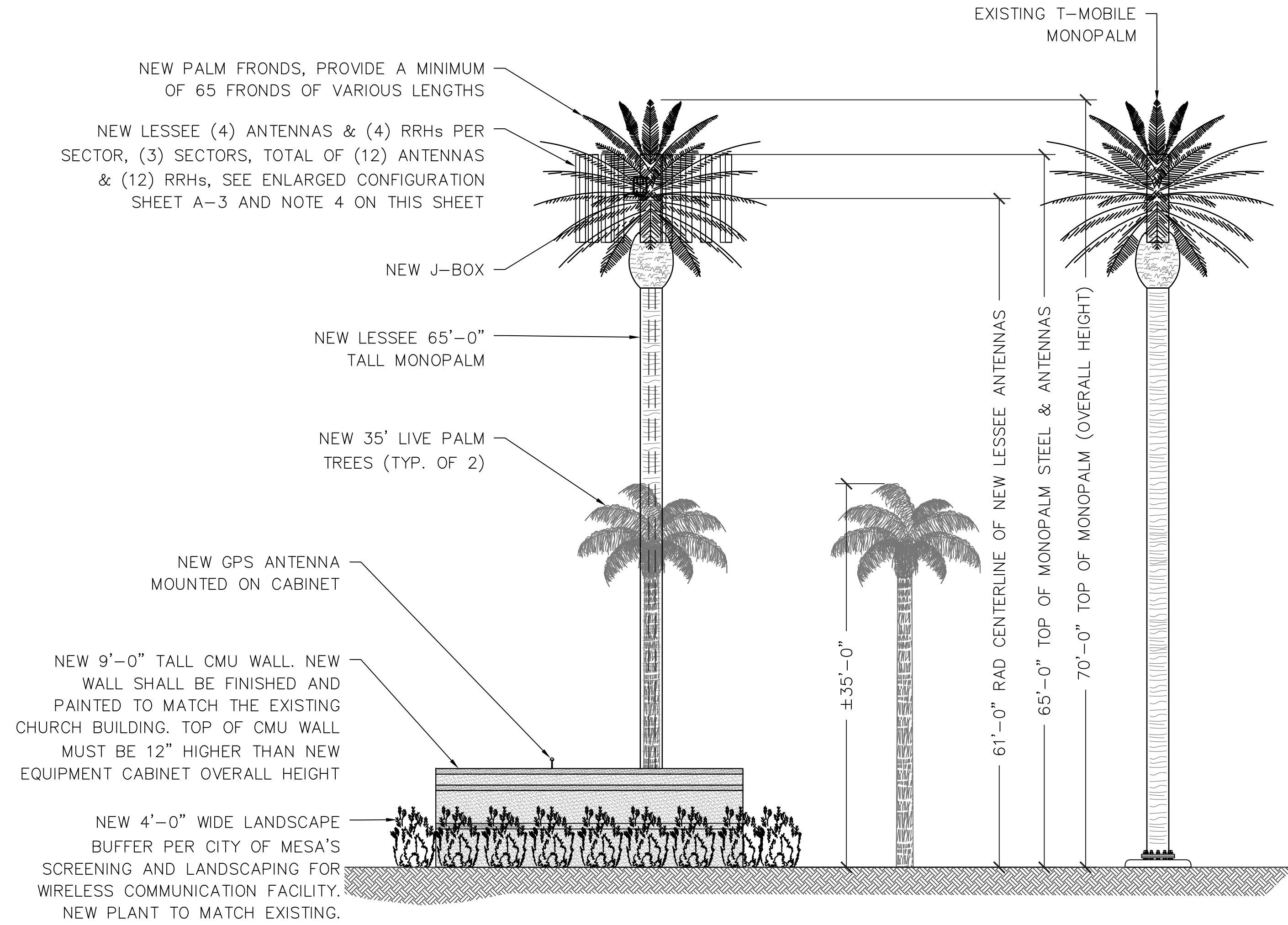
5

RRH DETAILS

SCALE: N.T.S.

6

- NOTES:
1. STRUCTURAL ANALYSIS, DESIGN OF NEW MONOPALM & ITS FOUNDATION ARE PROVIDED BY OTHERS
 2. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOPALM
 3. NEW ANTENNAS MUST BE FULLY SCREENING WITH ANTENNA SOCKS AND MATCH PALM FROND COLOR
 4. THE WIRELESS COMMUNICATION FACILITY SHALL UTILIZE A FAUX DATE PALM DESIGN WITH A MINIMUM OF 65 PALM FRONDS OF THE 65 PALM FRONDS USED, 20% (13) OF THE FRONDS MUST BE 96" (8'), 40% (26) OF THE FRONDS MUST BE 108" (9'), AND 40% (26) OF THE FRONDS MUST BE 120" (10').

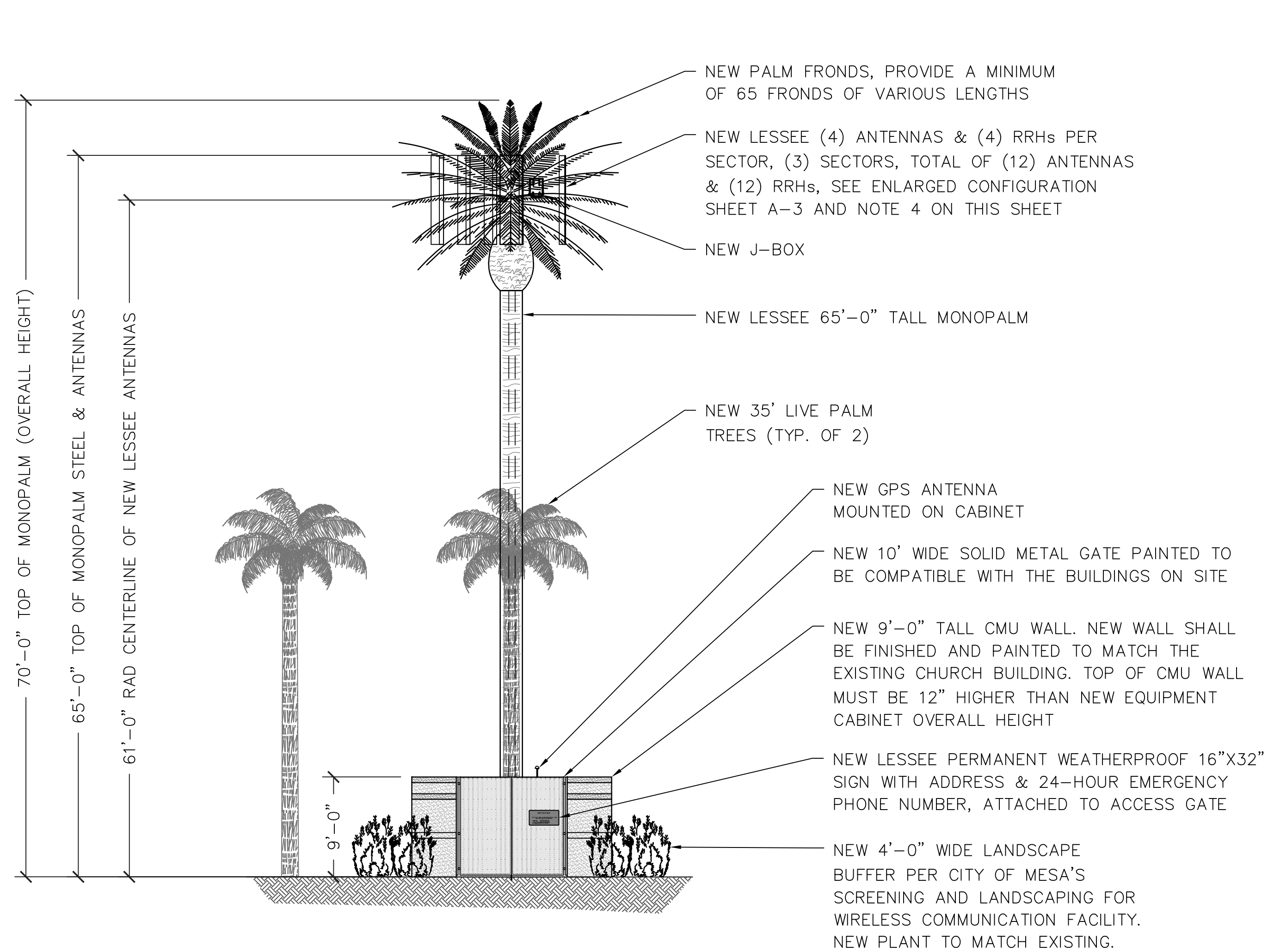


NORTH ELEVATION

22"x34" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

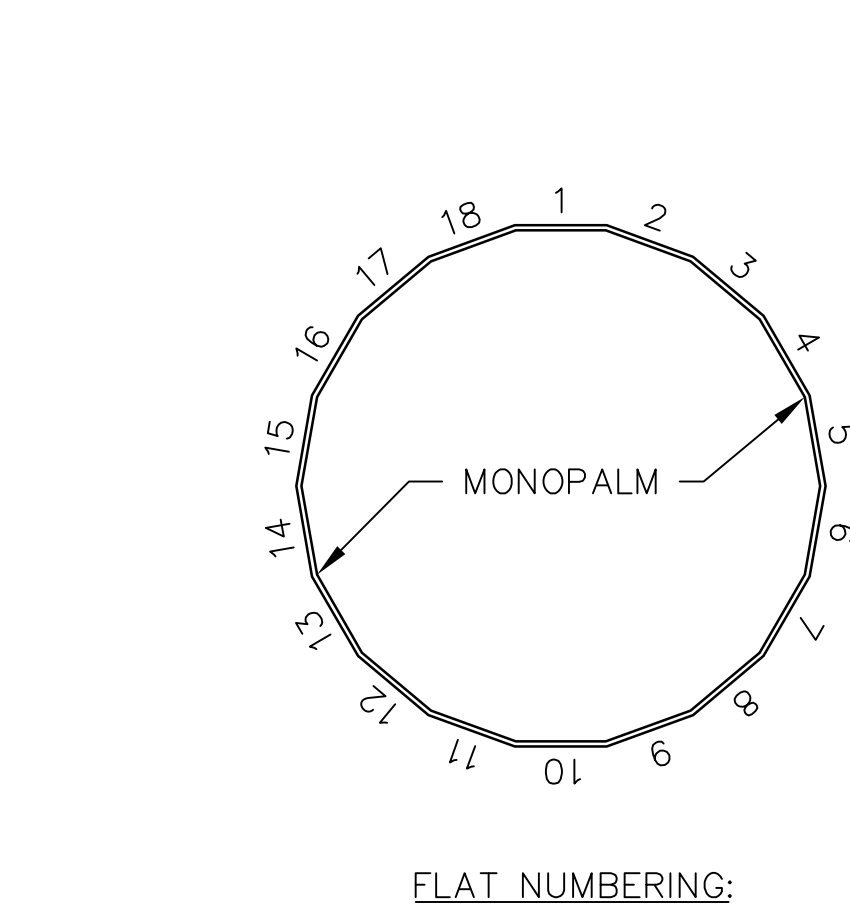
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EAST ELEVATION



22"x34" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

2



FROND SCHEDULE

MONOPALM FROND LAYOUT																					
HORIZONTAL DEGREE/FLAT	0/1	20/2	40/3	60/4	80/5	100/6	120/7	140/8	160/9	180/10	200/11	220/12	240/13	260/14	280/15	300/15	320/17	340/18	DISTANCE FROM TOP IN INCHES	LENGTH (FT.) & COLOR CODE	QUANTITY
VERTICAL DEGREE OF THE DATE FROND				160			160			160						160			12		
						160						160						160	15	8	13
		130						130						130					18	9	26
			140		150						150				140				21	10	26
				140						150						130			24	N/A	N/A
	110		130				130		160				150				160		27	N/A	N/A
				140	150					130						120			30	N/A	N/A
	110		120				110		120		150		110		120		150		33	N/A	N/A
				100	110				100	100	110				100	100	110		36	N/A	N/A
	90		100				90		80				90		80				39	N/A	N/A
			80		60						70						80	70	42	N/A	N/A
	70		70				70		70					70		70			45	N/A	N/A
				60		60				60		60				60		60	48	N/A	N/A
TOTAL OF 65 DATE PALM BRANCHES. ALL NEW ANTENNAS, RRHs AND ITS HARDWARE SHALL NOT EXTEND BEYOND THE OUTSIDE EDGE OF THE FRONDS, NO EXCEPTION.																					

SCALE: N.T.S.

3

CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85293
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SD SiinoDesign

16747 EAST PARKVIEW AVENUE, SUITE #1
FOUNTAIN HILLS, ARIZONA 85268
PHONE: 480.836.1701
FAX: 480.836.1004
WWW.SIINODESIGN.COM

ENGINEERING CONSULTANT:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: TNGO

CHECKED BY: JNGO

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	6/12/18	FINAL CD	CMS
2	01/31/18	PRELIM. ZD	CMS
1	11/28/17	NEW LOCATION	CMS
0	07/03/17	ZONING DRAWING	CMS

SITE NAME:
PHO LECONTE

SITE ADDRESS:
3520 E. BROWN ROAD
MESA, AZ 85213
MARICOPA COUNTY

SEAL:

SHEET TITLE:

**ELEVATIONS &
FROND SCHEDULE**

SHEET NUMBER:

A-4