

## Parking Calculations

EXISTING SHOPPING CENTER PARKING:

LOT A: (WAL-MART) PER CITY OF MESA STANDARDS

STANDARD PARKING REQUIRED:	39,690 SF / 375	=	106 SPACES
STANDARD PARKING PROVIDED:	213 SPACES		
ACCESSIBLE PARKING REQUIRED:	2% OF TOTAL	=	4 SPACES
ACCESSIBLE PARKING PROVIDED:			7 SPACES

LOT C: (PAD A) PER CC&Rs

STANDARD PARKING REQUIRED:	6,150 SF 5 / 1000	=	31 SPACES
STANDARD PARKING PROVIDED:			82 SPACES
ACCESSIBLE PARKING REQUIRED:	2% OF TOTAL	=	2 SPACES
ACCESSIBLE PARKING PROVIDED:			2 SPACES

LOT D: (SHOPS A&B) PER CC&Rs

STANDARD PARKING REQUIRED:	29,262 SF 5 / 1000	=	147 SPACES
STANDARD PARKING PROVIDED:			165 SPACES
ACCESSIBLE PARKING REQUIRED:	2% OF TOTAL	=	4 SPACES
ACCESSIBLE PARKING PROVIDED:			6 SPACES

FOR THIS PROJECT: PER CITY STANDARDS

PARKING REQUIRED:

EATING ESTABLISHMENTS (WITH DRIVE-THRU)	
INDOOR AREA:	3237 / 100 = 32.37 USE 32
OUTDOOR AREA:	507 / 200 = 2.53 USE 3

TOTAL: 32.37 USE 35

PARKING PROVIDED:

SPACES ON-SITE:	37
ACCESSIBLE SPACES ON-SITE:	2
TOTAL:	39 SPACES

ACCESSIBLE PARKING REQUIRED:	2 SPACES
ACCESSIBLE PARKING PROVIDED:	2 SPACES

FOR THIS PROJECT: PER WAL-MART ECR

PARKING REQUIRED:

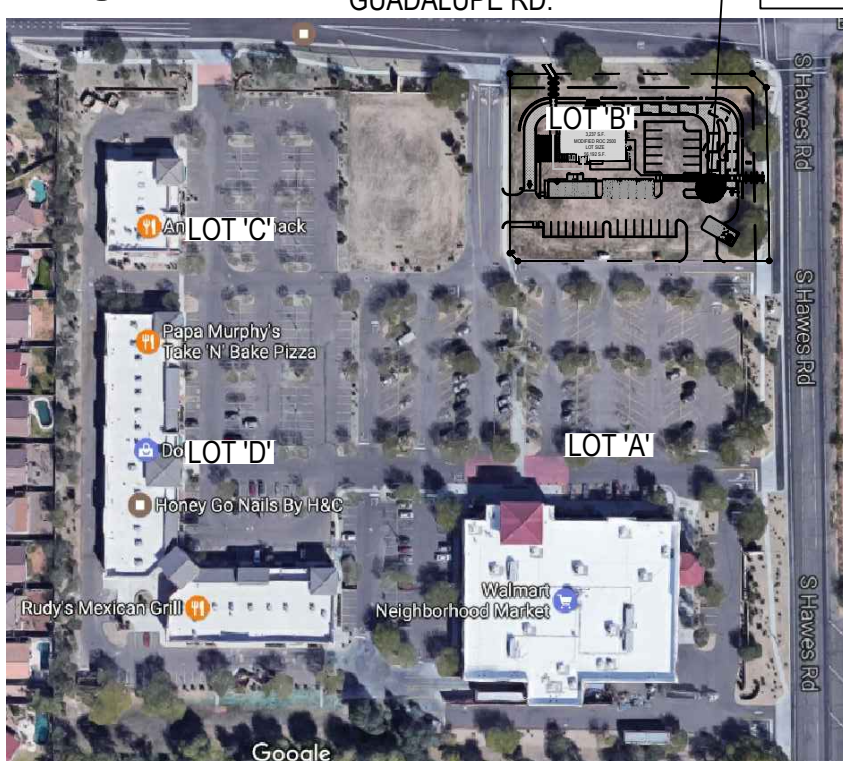
15 SPACES PER 1,000 SF OF BUILDING:	
INDOOR AREA:	3237 / 1000 3,237 X 15 = 48.5
TOTAL:	USE 49

PARKING PROVIDED:

12 SPACES PER 1,000 SF OF BUILDING:	
SPACES ON-SITE:	37
ACCESSIBLE SPACES ON-SITE:	2
TOTAL:	39 SPACES

ACCESSIBLE PARKING REQUIRED:	2 SPACES
ACCESSIBLE PARKING PROVIDED:	2 SPACES

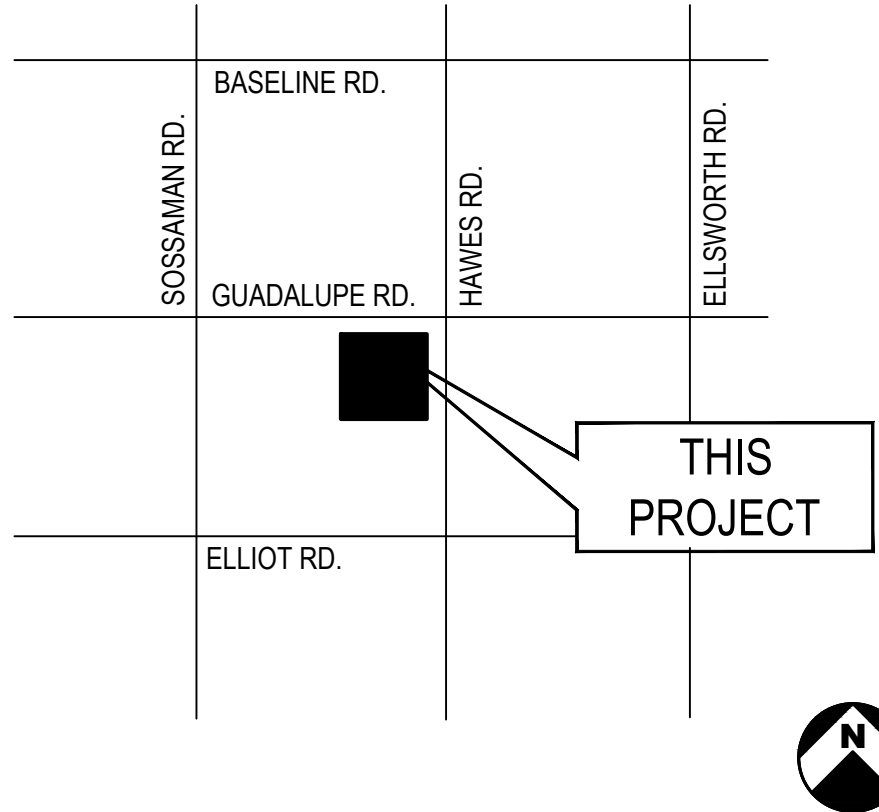
## Key Plan



## Site Plan Keynotes

1. PROVIDE LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS.
2. EXISTING LANDSCAPE TO REMAIN.
3. PROVIDE BLACK CONCRETE PAVING (HATCHED AREA), SEE CIVIL DRAWINGS.
4. PROVIDE CONCRETE SIDEWALK, SEE CIVIL DRAWINGS.
5. PROVIDE PARKING STRIPING PER CITY STANDARDS, TYPICAL.
6. EXISTING SIDEWALK TO REMAIN.
7. DRIVE-THRU QUEUING LANE.
8. CMU TRASH ENCLOSURE PER CITY STANDARDS. TO MATCH BUILDING FINISH 'P'.
9. ACCESSIBLE PARKING PER A.D.A.
10. PROVIDE CONCRETE SIDEWALK RAMP TO MEET ADAAG ACCESSIBLE GUIDELINES.
11. PROVIDE DETECTABLE WARNING STRIPS PER ADAAG 4.29.5. PROVIDE TEK-WAY DOME BRICK RED.
12. PROVIDE DECORATIVE STAMPED CONCRETE AT DRIVE-THRU (HATCHED AREA), SEE CIVIL DRAWINGS.
13. CO2 TANK ON 40" SQUARE x 4" THICK CONCRETE PAD. PROVIDE 20 GA. METAL STUD ENCLOSURE WITH ACCESS DOOR AND FILL BOX. ROUTE LINES TO BAG-IN-BOX CARBONATORS. PROVIDE WARNING STICKERS AS REQUIRED.
14. PROPERTY LINE.
15. PROVIDE MENU/ORDER BOARD. SIGNAGE UNDER SEPARATE PERMIT.
16. EXTERIOR SERVICE ENTRANCE SECTION (SES) AND FIRE RISER ROOM.
17. PROVIDE UNDERGROUND GREASE INTERCEPTOR. SEE CIVIL AND PLUMBING DRAWINGS.
18. PROPOSED TRANSFORMER LOCATION. G.C. TO COORDINATE WITH DEVELOPER AND POWER COMPANY. PROVIDE CONCRETE PAD.
19. 2'-0" PARKING OVERHANG.
20. MAXIMUM HEIGHT CLEARANCE BAR, UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
21. EXISTING POLE MOUNTED SITE LIGHT FIXTURE.
22. PROVIDE FIRE DEPARTMENT CONNECTION (FDC) LOCATED WITHIN 200' OF FIRE HYDRANT WITH I.D. SIGNAGE. FDC SHALL BE LOCATED AND ARRANGED SO THAT THE HOSE CAN BE READILY ATTACHED. LANDSCAPING WILL BE MAINTAINED TO PROVIDE VIABILITY AND HAVE AN UNOBSTRUCTED ACCESS. SEE CIVIL DRAWINGS.
23. PROPOSED GAS METER LOCATION. G.C. TO COORDINATE INSTALLATION WITH GAS COMPANY.
24. BIKE RACK, PER CITY STANDARDS.
25. PROVIDE 6"Ø CONCRETE FILLED PIPE BOLLARD.
26. PROVIDE ROOF DRAIN CONCRETE DRAINAGE SWALE.
27. PROVIDE STRIPING, TYP.
28. ACCESSIBLE ROUTE TO PUBLIC WAY PER CITY AND ADAAG STANDARDS.
29. PROVIDE ACCESSIBLE PARKING SIGN.
30. PROVIDE 6" CONCRETE CURB, TYPICAL. SEE CIVIL DRAWINGS.
31. EXISTING CURB TO REMAIN. IF DAMAGED DURING CONSTRUCTION REPLACE / REPAIR / PAINT AS REQUIRED.
32. DRIVE-THRU SPEAKER POST.
33. ACCESSIBLE PAINTED ROUTE STRIPING PER CITY STANDARDS.
34. LINE OF CANOPY OVERHANG, TYPICAL.
35. REMOVE EXISTING CURB AT THIS LOCATION. SEE CIVIL DRAWINGS.
36. PROVIDE SCREEN WALL, TO MATCH BUILDING FINISH 'P'. REFER TO ELEVATIONS.
37. EXISTING FIRE HYDRANT.
38. VERIFY EXISTING ADA RAMP IS TO CURRENT STANDARDS. IF NOT, REPLACE / REPAIR / PAINT AS REQUIRED TO ENSURE RAMP IS ADA COMPLIANT.
39. COVERED DRIVE THRU CANOPY.
40. COVERED WOOD CANOPY ABOVE OUTDOOR SEATING AREA.
41. OPEN WOOD TRELLIS AT THIS LOCATION.
42. CANOPY COLUMNS AND SCREEN WALL. REFER TO ELEVATIONS.
43. DECORATIVE BOLLARD LIGHTING.
44. PROVIDE ASPHALT PAVING, SEE CIVIL DRAWINGS.
45. EXISTING ASPHALT PAVING.
46. PROVIDE STOP SIGN AND STOP BAR.
47. PROVIDE 'DO NOT ENTER' SIGN.
48. CONCRETE PAD FOR TRASH ENCLOSURE.
49. DECORATIVE STAMPED CONCRETE. PEDESTRIAN PATHWAYS MUST CONTRAST IN COLOR FROM DRIVE THRU AND QUEUING LANES. SEE CIVIL DRAWINGS.

## Vicinity Map



## Burger King

SWC OF GUADALUPE RD. & HAWES RD., MESA, AZ

### Owner

BARNETT MANAGEMENT COMPANY  
CONTACT: BRAD FLAHIFF  
11022 N. 28TH DRIVE SUITE #170  
PHOENIX, AZ 85029  
PHONE: 602-577-9492  
EMAIL: brad@barnettmgmt.com

### Architect

ONE ARCHITECTURE, PLC  
CONTACT: NATHAN BISCH  
8801 N. CENTRAL AVENUE SUITE #101  
PHOENIX, AZ 85020  
PHONE: (314)324-6126  
EMAIL: nathan.bisch@onearchitecture.us

## About this project...

THIS PROJECT IS FOR A NEW 3,237 S.F. BURGER KING RESTAURANT. THE NEW BUILDING WILL INCLUDE A DRIVE THRU WITH A DOUBLE ORDER LANE AT THE BEGINNING.

## Town of Mesa Construction Codes

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

2006 INTERNATIONAL BUILDING CODE  
2006 INTERNATIONAL MECHANICAL CODE  
2006 INTERNATIONAL PLUMBING CODE  
2006 INTERNATIONAL EXISTING BUILDING CODE  
2005 NATIONAL ELECTRICAL CODE  
2006 INTERNATIONAL ENERGY CONSERVATION CODE  
2006 INTERNATIONAL FUEL GAS CODE  
2006 INTERNATIONAL FIRE CODE

## Legal Description

A PORTION OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 7 EAST, GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

## Project Information

ADDRESS:	SWC OF GUADALUPE RD. & HAWES RD., MESA, AZ
PARCEL:	304-04-821
EXISTING ZONING:	LC-PAD
SITE AREA GROSS:	56,192 S.F. (1.29 AC.)
SITE AREA NET:	55,478 S.F. (1.27 AC.)
COVERAGE (%):	5.8%
OCCUPANCY TYPE:	A-2 RESTAURANT, NON-SEPARATED
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS:	YES
FIRE ALARMS:	YES
TOTAL BUILDING AREA:	3,237 S.F.
ALLOWABLE AREA:	PER IBC TABLE 503 = 6,000 SF/FLOOR
AREA INCREASES:	NONE REQUIRED
ALLOWABLE HEIGHT:	30 FEET
PROPOSED HEIGHT:	22 FEET
OCCUPANT LOAD:	
DINING:	1106 / 15 = 73.73 USE 74
KITCHEN/PREP:	1397 / 200 = 6.99 USE 7
RESTROOMS/OFFICE/CREW:	384 / 100 = 3.84 USE 4
TOTAL:	84.56 USE 85
EXITS REQUIRED:	2
EXITS PROVIDED:	3

## General Notes

- A. STRUCTURE CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH ALL REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 241.
- B. REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE AND SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (74,000 LBS/24,000 LBS PER AXLE) WHEN ROADS ARE WET. A MINIMUM OF SIX (6) INCHES OF ABC COMPACTED TO 90% OVER AN APPROVED BASE WOULD MEET THE REQUIREMENT.
- C. THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOBSITE WHERE ANY PERSON(S) SHALL BE WORKING FOR A MINIMUM OF FOUR CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS", IN RED LETTERS, SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.
- D. ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY. IFC CHAPTER 14.
- E. WATER SUPPLY FOR FIRE PROTECTION. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE 1,500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.
- F. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS AVAILABLE AT ALL TIMES, WHEN THE WORK IS COMPLETE. DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE AND THE VALVES ARE OPEN. IFC CHAPTER 14
- G. COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND; IFC CHAPTER 14 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION."



**ONE!**  
ARCHITECTURE

8801 N. Central Ave. Suite 101  
Phoenix, Arizona 85020

Phone: 602.266.2712  
Fax: 602.266.1688

www.ONEarchitecture.us

Principal:

Dustin Curtis

dustin.curtis@onearchitecture.us

Project Manager:

Nathan Bisch

nathan.bisch@onearchitecture.us

Revisions



Burger King

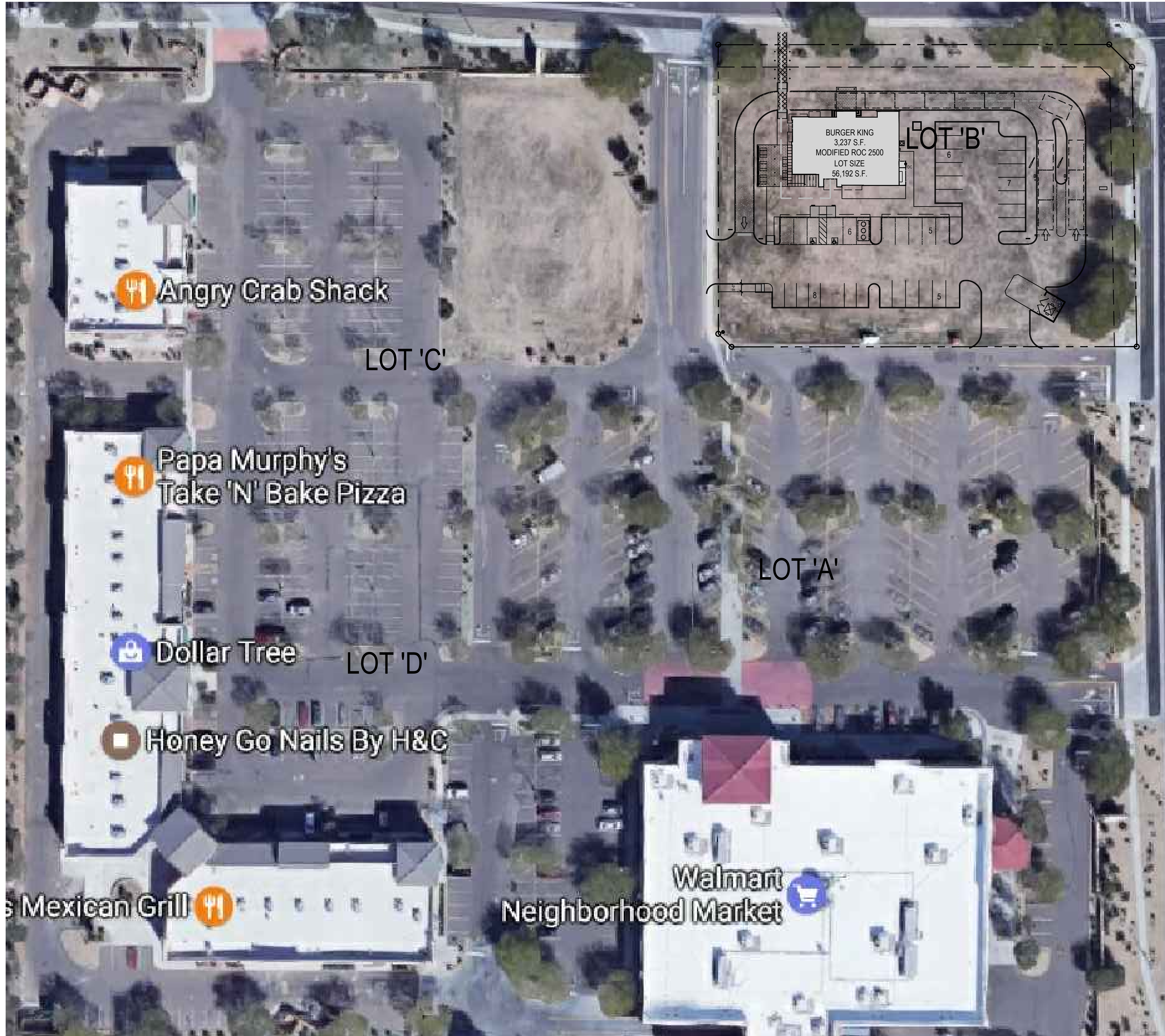
SWC of E. Guadalupe Rd.  
& S. Hawes Rd.  
Mesa, AZ

3.1.18

AZ-1698

**A1.1**

Site Plan



NOT FOR  
CONSTRUCTION

**ONE!**  
ARCHITECTURE

8801 N. Central Ave. Suite 101  
Phoenix, Arizona 85020

Phone: 602.266.2712  
Fax: 602.266.1688

[www.ONEarchitecture.us](http://www.ONEarchitecture.us)

Principal:

Dustin Curtis

[dustin.curtis@onearchitecture.us](mailto:dustin.curtis@onearchitecture.us)

Project Manager:

Nathan Bisch

[nathan.bisch@onearchitecture.us](mailto:nathan.bisch@onearchitecture.us)

Revisions




Burger King

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**SP-2**

Key Plan