

NARRATIVE REZONING AND COUNCIL USE PERMIT

BioLIFE PLASMA SERVICES

**LOCATION: 7538 EAST HAMPTON AVENUE
(PARCEL NUMBER: 218-56-939)**

The proposal is for the following:

Rezoning from Light Industrial (LI) to Limited Commercial (LC) Zoning District and a Council Use Permit for Plasma Center (“Social Service Facility”) in a Limited Commercial (LC) Zoning District.

The purpose of these above two (2) requests will allow a Plasma Center (i.e., BioLife Plasma Services) in the Limited Commercial (“LC”) zoning district. This site is located at 7538 East Hampton Avenue, which we are requesting approval of a rezoning, Council Use Permit (Case number for both requests: ZON17-00593) and design review (Case number: DRB18-00054) for a plasma service building called BioLife Plasma Services on an unimproved 2.2 acre parcel. This property has remained vacant for more than 10-years and the proposed use/building will provide needed tax revenue and a service to the community.

BioLife Plasma Services is an industry leader in the collection of high-quality plasma that is processed into life-saving plasma-based therapies. BioLife Plasma Services operates and maintains numerous state-of-the-art plasma collection facilities in more than half the states throughout the United States - collecting around five million liters of plasma per year. Donors not only contribute the source of life-saving therapeutics, but also contribute to the commercial vitality of their immediate neighborhoods.

Some additional points about BioLife Plasma Services and plasma donations:

- Licensed by the Food and Drug Administration (FDA).
- Plasma-based therapies are used in the treatment of serious conditions such as hemophilia, immune deficiencies and to treat victims of shock and burns. To learn more about the products made from the plasma, please visit www.shire.com
- Donors mirror the demographics of the surrounding community.
 - ✓ Majority come from within a 7-mile radius of the center.
 - ✓ Approximately 86% are either employed, students, retired or homemakers.
 - ✓ All donors must provide proof of residency, ID and be in good general health.
- Use Debit Cards for donor compensation (no cash on site).
- Utilize online appointment scheduling.

The following is a YouTube video link that outlines their business model, their need in a community, their benefit to the community (i.e., medically, etc.), and the virtues of the plasma business today as compared to the past. <https://www.youtube.com/embed/uw9pHyUILs>

Unfortunately, the request for rezoning to LC with a Council Use Permit (“CUP”) is based on Staff’s historical process for handling plasma centers and being classified as a “Social Service Facilities,” which is an old paradigm and not indicative of this user’s business model or the national shift in need for plasma donations. Thus, we are opposed to being defined as a “Social Service Facility” and believe (and argued the same with Staff) that we fall squarely within the definitions and the LI zoning district’s allowed list of uses as described below from within the City of Mesa’s Zoning Ordinance and as such only require a Special Use Permit (SUP).

1. Definition of “Plasma Center,” which defines our client’s use.

Plasma Center: Any facility used in the collection, storage, or distribution of liquid blood plasma. (Chapter 87 of the Zoning Ord.)

2. Definition/Land Use Classification of a “Clinic,” which states “Plasma Centers” are included in this classification for clinics.

Hospitals and Clinics. Facilities providing medical, surgical, psychiatric, or emergency medical services to sick or injured persons. This classification includes facilities for inpatient or outpatient treatment, including substance-abuse programs as well as training, research, and administrative services for patients and employees.

Clinics. Facilities other than hospitals where patients are admitted for examinations and treatment by one (1) or more physicians, on either a “walk-in” or “appointment” basis. Patients are treated on an outpatient basis and are not admitted for overnight treatment or observation. **This classification includes** emergency medical services offered exclusively on an out-patient basis, such as urgent care centers, as well as licensed facilities offering substance abuse treatment, blood banks and **plasma centers**. (Chapter 86 of the Zoning Ord.)

3. The LI zoning district’s list of uses, which allows “Clinics” via a SUP with additional “Standards for Specific Uses and Activities” noted in Section 11-31-15 as stated below and would be (are) addressed in the site plan/design review application.

11-31-15: Hospitals and Clinics

Hospitals and Clinics, as described in Section 11-86-3 shall be located, developed, and operated in compliance with the land use regulations in Article 2 and the following standards:

A. Patient Entrances: Patient entrances shall:

1. Be clearly distinctive from the remainder of the building, and be readily visible from the public street;

2. Be identified by directional signage in conformance with requirements of Article 5;
4. Include an extended foundation base to provide a patient drop-off area of a minimum 900 sqft, extending a minimum 20-feet measured perpendicular from the patient entrance door; and
5. Pedestrian connections within parking areas, to other buildings on site, and to the public street and transit shall follow the requirements of Section 11-30-8, Pedestrian Connections and Section 11-32-4(G)3, Pedestrian Access.

With that said, our client and the user wish to proceed forward quickly and not be delayed with city appeals, interpretations, and arguing their point. This is based on their quality business model and building design as well as their success nationally to educate those about the current market for plasma donations and their business model (i.e., BioLife Plasma Services). Moreover, a rezoning to LC makes sense due to the abutting zoning south and east being LC zoned and the area is predominantly retail/office as well as this proposed user being a nice buffer transition between the existing LC and LI (i.e., to the west) zoning districts/uses.

Pursuant to State Law and the City of Mesa Zoning Ordinance, all rezoning request shall be consistent (or in conformance) with the adopted *Mesa 2040 General Plan*. Thus, the *Mesa 2040 General Plan* requires a review of the proposal against the following criteria below.

1. Is the proposed development consistent with furthering the intent and direction contained in the General Plan?

Per the *Mesa 2040 General Plan* the Character area designation for this property is Mixed Use Activity District. Mixed Use Activity District is defined as and its focus is as follows (*emphasis added*):

“Mixed Use Activity Districts – Areas of activity, generally larger than 25 acres that serve the larger community; primarily retail areas and entertainment centers, **but often also include offices**, multiresidential, **and other supporting uses.**

Focus: The Mixed Use Activity Districts are largescale (typically over 25 acres) community and regional activity areas that **usually have a significant retail commercial component** including shopping areas such as malls, power centers, or lifestyle centers that are **designed and developed to attract customers from a large radius.** These districts often include other uses such as office, entertainment and residential.

Big box development (individual retail spaces in excess of 80,000 sq. ft.) is appropriate in these districts. Particularly with redevelopment of shopping centers, these districts may take on a significant residential character, but will still have a mix of uses. **The goal is to help these districts be strong and viable centers of commercial activity that attract people to unique shopping and entertainment experiences.”**

The proposal to rezone to the LC zoning district at this location makes sense based on the land use designation of Mixed Use Activity District and its definition. Moreover, this vacant, infill 2.2 acre parcel will knit together the already existing LC zoning to the east and south, which will provide a nice buffer to the LI zoning district to the west. The LC will allow, assuming the CUP is approved, the proposed BioLife Plasma Services building and use will fit nicely and appropriately on this lot as a part of the large retail area, which includes: Costco, CVS, auto-body collision services, retail stores (i.e., inline suites), offices, and residential (i.e., apartments). This also includes the proximity to single-family homes the freeway (U.S. 60) and major arterial street (i.e., Sossaman Road). BioLife Plasma Services operate near major retail centers in order for the donation to be a part of the individual's weekly routine with easy access as well as retaining (i.e., spending) donation dollars in the immediate area/city or, simple put, helping the city's sales tax base. The daily hours of operation will be consistent and compatible with the existing uses in the area (i.e., retail and office) from 8:00 AM to 6:00 PM and will employ approximately 50 people.

The impact on Hampton Avenue and Sossaman Road will be non-existent, because the current LI zoning would allow similar or more intense users, which the streets are built to handle.

Suffice to say, the proposed use of this property is consistent with the guiding principles of the *Mesa 2040 General Plan*.

2. Is the proposed development consistent with adopted sub-area or neighborhood plans?

This area is not within any adopted sub-area plan.

3. Is the proposed development consistent with the standards and guidelines established for the applicable character type(s)?

The *Mesa 2040 General Plan* land use designation is Mixed Use Activity District and said designation encourages the following:

- ✓ “The goal is to help these districts be strong and viable centers of commercial activity that attract people to unique shopping and entertainment experiences.”
- ✓ “...often also include offices...and other supporting uses”
- ✓ “...designed and developed to attract customers from a large radius.”

The proposed rezoning to LC continues the above goals of the Mixed Use Activity District and the proposed BioLife Plasma Services will also help towards that end. Their user base captures a 7-mile radius or more; thus drawing people into the area as well as providing diversity/synergy of uses.

4. Will the proposed development serve to strengthen the character of the area by:

- **Providing appropriate infill development;**

This site is an infill property within an existing retail/employment area. The proposed site plan is designed to fit nicely into the area as well as the building design (i.e., contemporary medical office) without causing any adverse impacts to its surrounding neighborhoods/area.

- **Removing development that is deteriorated and/or does not contribute to the quality of the surrounding area;**

The unpaved, vacant lot that has been this way for more than 10-years contributes to air quality issues, vagrancy, dumping, etc. and most importantly is non-tax generating for the city (i.e., construction tax and ancillary sales tax). The redevelopment will eliminate the unpaved area and provide a new building that meet, if not exceed, current city development standards.

- **Adding to the mix of uses to further enhance the intended character of the area;**

The proposed change to LC allows for the continuation of this district slightly west, but aligning nicely with the LC zoning south (i.e., Costco property). Thus, as a long-term development pattern for the city, this allows for a good sized “zoning area” at the intersection of Hampton Avenue and Sossaman Road for future consolidation and/or redevelopment. Furthermore, as previously stated, this 2.2 acre addition, and ultimate user, provides for the continuation of the intended mix of uses envisioned by the *Mesa 2040 General Plan* land use designation of Mixed Use Activity District.

- **Improving the streetscape and connectivity within the area;**

This rezoning request will not make changes to the street connectivity, since they exist today and are adequate to serve the proposed zoning/use. However, the streetscape will be enhanced with street trees and landscaping, which will facilitate pedestrian movement between the existing businesses along Sossaman Road and those interior via Hampton Avenue.

- **Meeting or exceeding the development quality of the surrounding area;**

The proposed design is a contemporary medical office building look and feel. This will be an 8-million dollar ground-up building. Moreover, the Design Review process will be used to ensure the proposed development meets or exceeds the quality of the surrounding area.

5. Does the proposed development provide appropriate transitions between uses? In more urban areas these transitions should generally be accomplished by design elements that allow adjacent buildings to be close to one another. In more suburban locations these transitions should be addressed through separation of uses and/or screening;

The proposed LC zoning is consistent with the area and does not abut residential homes requiring transitional elements (i.e., buffers). Thus, the building is designed to function efficiently for their clients and be compatible with the existing users. The proposed site plan shares an existing driveway with an automotive user to the west and is compatible with that building's parking lot/front entrance, since the roll-up garage doors are located on the west side of the building. Again, as previously stated, the LC zoning is a good transitional use and the proposed design/user will help transition the two (2) as well as the existing surrounding uses.

The following discusses the findings for approving our Council Use Permit pursuant to the City of Mesa's Zoning Ordinance.

11-70-6: Council Use Permit

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- E. **Required Findings.** A CUP shall only be granted if the approving body determines that the project as submitted or modified conforms to all of the following criteria.

If it is determined that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established in the record.

1. **Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the Mesa 2040 General Plan and any other applicable City plan and/or policies;**

- **Response:** Per the *Mesa 2040 General Plan* the Character area designation for this property is Mixed Use Activity District. Mixed Use Activity District is defined as and its focus is as follows (*emphasis added*):

“Mixed Use Activity Districts – Areas of activity, generally larger than 25 acres that serve the larger community; primarily retail areas and entertainment centers, **but often also include offices, multiresidential, and other supporting uses.**

Focus: The Mixed Use Activity Districts are largescale (typically over 25 acres) community and regional activity areas that **usually have a significant retail commercial component** including shopping areas such as malls, power centers, or lifestyle centers that are **designed and**

developed to attract customers from a large radius. These districts often include other uses such as office, entertainment and residential.

Big box development (individual retail spaces in excess of 80,000 sq. ft.) is appropriate in these districts. Particularly with redevelopment of shopping centers, these districts may take on a significant residential character, but will still have a mix of uses. **The goal is to help these districts be strong and viable centers of commercial activity that attract people to unique shopping and entertainment experiences."**

The proposed BioLife Plasma Services building and use will fit nicely within this infill lot as a part of the large retail area, which includes: Costco, CVS, auto-body collision services, retail stores (i.e., inline suites), offices, and residential (i.e., apartments). This also includes the proximity to single-family homes the freeway (U.S. 60) and major arterial street (i.e., Sossaman Road). BioLife Plasma Services operate near major retail centers in order for the donation to be a part of the individual's weekly routine with easy access. The daily hours of operation will be consistent and compatible with the existing uses in the area (i.e., retail and office) from 8:00 AM to 6:00 PM and will employ approximately 50 people. In addition, the ancillary benefit is that it helps in keeping the tax dollars within the community.

The development of this infill, somewhat challenged visibility, and underutilized vacant lot will be beneficial for the retail users and the City.

2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;

- **Response:** The proposed facility is being designed to provide a general medical office type environment as well as additional design amenities. BioLife Plasma Services' building materials will be both durable and have low maintenance requirements with all building sides reflecting continuity in architectural detail and character. All rooftop mechanical systems will have screening integrated into the design. (**Note:** A concurrent Design Review application is in review; case number DRB18-00054) The proposed site plan focuses on creating a pedestrian-oriented environment by providing safe walking routes from the building to the street and surrounding parking lot area. The site plan and overall design will be in accordance with the City of Mesa's Development Standards, Chapter 11-7-3. We look forward to a successful relationship with the City of Mesa Staff and Design Review Board on the design. (**Note:** An Administrative Use Permit [AUP] request will be submitted to allow for additional parking above the required.)

Moreover, the proposed use will fit nicely within the City of Mesa's Zoning Ordinance definition of Limited Commercial (*emphasis added*).

Limited Commercial (LC). To provide areas for indoor retail, entertainment and service-oriented **businesses that serve the surrounding residential trade area within a one- to ten-mile radius.** Typical uses include, but are not limited to, grocery store and additional large-format store anchored tenant shopping centers with additional drug stores, fast-food restaurants, hardware and building supply stores, gas stations with convenience stores, and restaurants and cafes. Other typical uses include, but are not limited to, those anchors and large-format retail stores that are typically located within a regional mall, retail outlet, or power center. **Other compatible uses include medical and professional offices, as well as public and semi-public uses.**

Finally, the typical daily hours of operation will be consistent and compatible with the existing uses in the area (i.e., retail and office) from 8:00 AM to 6:00 PM and will employ approximately 50 people.

- 3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City; and**

The development of this remnant (infill), underutilized property will provide a needed use, tax dollars (i.e., sales and construction) for this commercial/retail area. Moreover, the proposed use is buffered by a major arterial street (Sossaman Road) and commercial/office type uses, which will blend nicely with a contemporary medical office design. The proposed use and ultimate development will not have any injurious or detrimental effect to the adjacent or surrounding properties in the area; conversely it will provide a benefit.

- 4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.**

The proposed development will be on a vacant (infill) lot that currently has all the necessary, adequate services along with fully improved streets to afford a quick "plug-in" style of development, which is more sustainable and cost effective for both the developer and the City.

It is clear the findings have been met to allow said use, per the Council Use Permit four (4) requirements.

In addition to the above four (4) conditions, and since Staff defines our use as a “Social Service Facility” which we oppose, we are required to meet the following added criteria for “Social Service Facilities.”

11-70-6: Council Use Permit

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D. **Criteria for Review of Council Use Permit:** When required, the review of the Council Use Permit shall include a review and determination regarding the following items:

- 1. The use is found to be in compliance with the General Plan, Sub Area Plans and other recognized development plans or policies, including the Social Service Facility Guidelines and will be compatible with surrounding uses; and**

As previously stated for the rezoning and CUP request, the proposed BioLife Plasma Services business meets the intent of the Mixed Use Activity District and will be compatible with the adjacent uses

We have reviewed the ‘Social Service Facilities Guidelines’ and we note that said document is more specific towards shelters or dining facilities. However, we do meet the following:

- ✓ **Operational Guidelines Section V.H. for the requirement of handicapped-accessible restrooms.**

The proposed building will provide more than enough handicapped and regular bathrooms for the proposed use.

- ✓ **Operational Guidelines Section V.J. requires a screened waiting area for people waiting outside for services.**

All services will be conducted indoors with no waiting outside. There will be more than sufficient space (i.e., proposed 15,203 square foot building) for indoor waiting. Moreover, the building will contain a large reception/waiting area, exam rooms, donor area, conference room, lunch room, large plasma storage freezer area, and a supervised play area for children.

- 2. A finding that a plan of operation has been submitted, which includes, but is not limited to, acceptable evidence of compliance with all zoning, building, and fire safety regulations; and**

The proposed site/building will be in substantial conformance with current City Development Standards related to landscaping, parking, screen walls and

design guidelines as well as all fire and safety regulations. This will be an 8-million dollar facility built from the ground-up with current codes/regulations applying to said development.

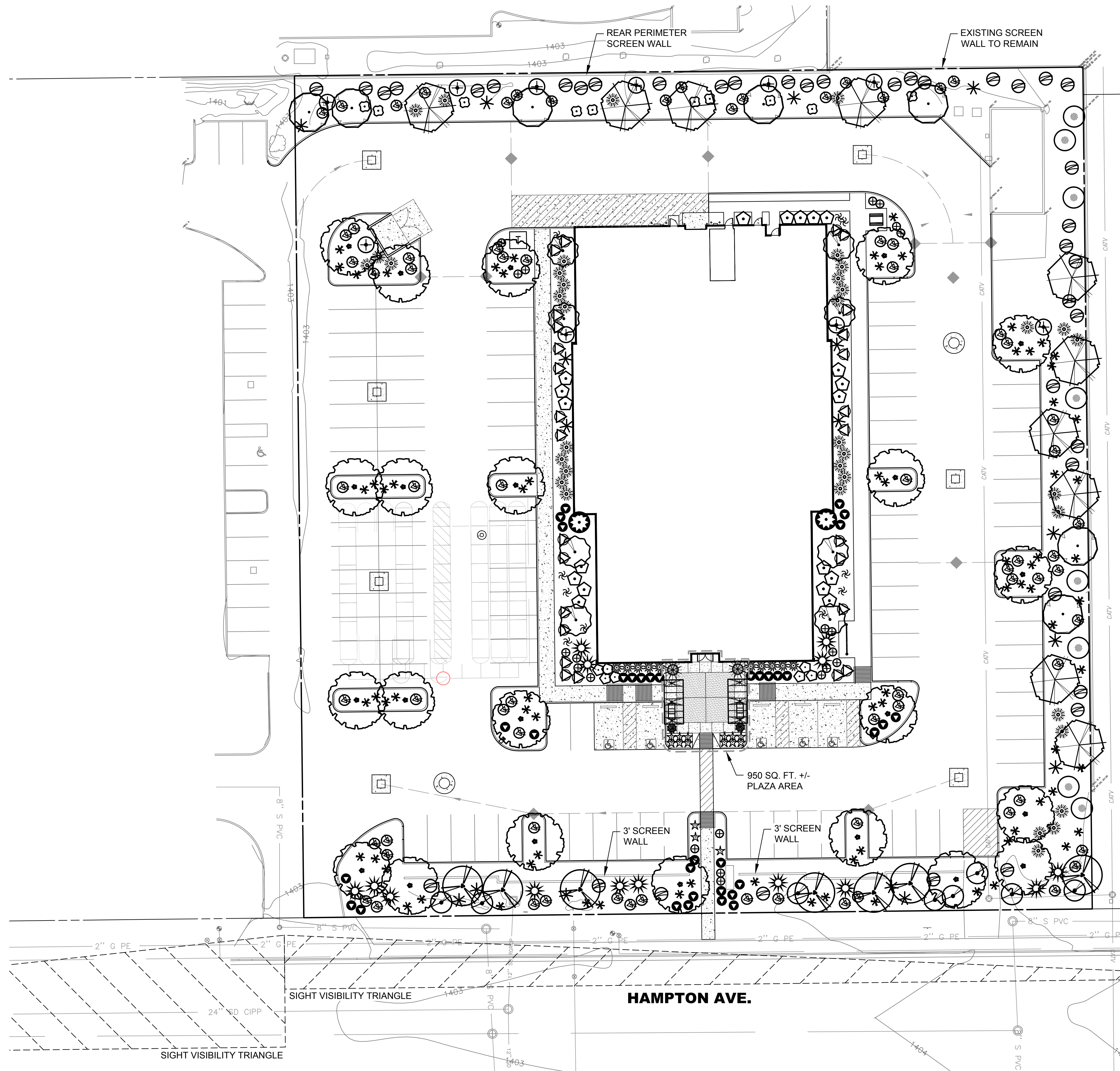
- 3. A finding that a "good neighbor policy" in narrative form has been submitted, which includes, but is not limited to, descriptions of acceptable measures to ensure ongoing compatibility with adjacent uses. Such policies shall include, but are not limited to, the name and telephone number of the manager or person responsible for the operation of the facility; complaint response procedures, including investigation, remedial action, and follow-up; and litter control measures; and**

Since this is a ground-up building and we are currently in the early stages of the city's review/approval process we do not have all the applicable staff, phone numbers, etc. ready to issue. Although again we object to the classification of "Social Service Facility" and the additional criteria, we will provide prior to final Certificate of Occupancy (CofO) a "good neighbor policy" statement to the City of Mesa Development & Sustainability Department's Planning Division. This statement will include; the name and phone number of the senior operations manager, who is responsible for the facility operations, and a procedure for responding to and resolving any complaints directly caused by the proposed plasma donation process (i.e., vagrancy on the property). In addition, the property will be registered with the Mesa Police Department and the developer will apply many of the principles described in the Trespass Enforcement Program (TEP), developed by Mesa Police, including the posting of "No Trespassing" signs on the property.

- 4. Evidence that acceptable documentation is present demonstrating that the building or site proposed for the use is in, or will be brought into, substantial conformance with all current City Development Standards, including, but not limited to, landscaping, parking, screen walls, signage, and design guidelines.**

The proposed design is a contemporary medical office building look and feel. This will be an 8-million dollar ground-up building. The Design Review process will also be used to ensure the proposed development meets or exceeds the quality of the surrounding area.

With that being said, we are pleased to submit the enclosed rezoning/Council Use Permit materials for the proposed BioLife Plasma Services use for your review. In the meantime, if you have any questions regarding this request, please feel free to contact Dennis M. Newcombe, Beus Gilbert PLLC at: (480) 429-3065 or via email: dnewcombe@beusgilbert.com.



SIGHT VISIBILITY TRIANGLE CRITERIA:
1. CITY OF MESA ENGINEERING & DESIGN
STANDARDS, SECTION 211. PAGE 29-30. JULY 2017.
2. AASHTO GREEN BOOK. A POLICY ON
GEOMETRIC DESIGN OF HIGHWAYS & STREETS.
SECTION 9.5.2. 6TH EDITION. 2011.

LANDSCAPE CALCULATIONS

LANDSCAPE AREA	TREES REQ'D.	TREES PROVIDED	SHRUBS REQ'D.	SHRUBS PROVIDED
STREETSCAPE (300 LF)	12	12	48	48+
NORTH PROP. LINE (300 LF)	9	9	60	60
EAST PROP. LINE (300 LF)	9	9	60	60
PARKING ISLANDS	1 EA.	1 EA.	3 EA.	3 EA. MIN.

PLANT MATERIAL LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	SIZE
TREES			
	ACACIA SCHAFFNERI TWISTED ACACIA	10	15 GAL.
	ACACIA WILLARDIANA PALO BLANCO	7	15 GAL.
	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	8	24" BOX
	PARKINSONIA 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	22	36" BOX
	SOPHORA SECUNDIFLORA TEXAS MOUNTAIN LAUREL	7	24" BOX
SHRUBS AND ACCENTS			
	AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE	10	5 GAL.
	ALOE FEROX CAPE ALOE	2	15 GAL.
	ALOE 'BLUE ELF' BLUE ELF ALOE	15	5 GAL.
	BERLANDIERA LYRATA CHOCOLATE FLOWER	21	5 GAL.
	BULBINE FRUTESCENS BULBINE	27	5 GAL.
	CALLIANDRA CALIFORNICA BAJA FAIRY DUSTER	38	5 GAL.
	DALEA FRUTESCENS BLACK DALEA	74	5 GAL.
	DALEA GREGGII TRAILING INDIGO BUSH	8	5 GAL.
	DASYILIRION LONGISSIMA TOOTHLESS SOTOL	2	15 GAL.
	DASYILIRION WHEELERI DESERT SPOON	16	5 GAL.
	DODONAEA VISCOSA HOPSEED BUSH	8	5 GAL.
	EUPHORBIA RIGIDA GOPHER PLANT	10	5 GAL.
	HESPERALOE FUNIFERA GIANT HESPERALOE	14	5 GAL.
	HESPERALOE PARVIFLORA RED YUCCA	77	5 GAL.
	LANTANA MONTEVIDENSIS TRAILING LANTANA	35	1 GAL.
	LEUCOPHYLLUM 'GREENCLOUD' GREENCLOUD TEXAS RANGER	19	5 GAL.
	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN RAIN SAGE	40	5 GAL.
	PEDILANTHUS MACROCARPA SLIPPER PLANT	10	5 GAL.
	SALVIA CLEVELANDII CLEVELAND'S SAGE	10	5 GAL.
	SALVIA GREGGII AUTUMN SAGE	7	5 GAL.
	TECOMA STANS MEXICAN YELLOW BELLS	2	5 GAL.

INORGANIC GROUNDCOVER
A MINIMUM 2" DEPTH LAYER OF DECORATIVE ROCK SHALL BE PLACED
IN ALL LANDSCAPE AREAS.

PRELIMINARY LANDSCAPE PLAN

L-1



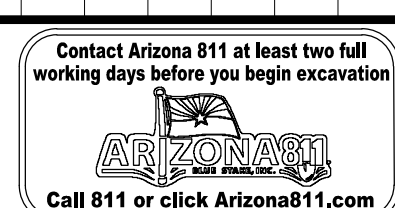
BIO LIFE PLASMA SERVICES CENTER MESA, ARIZONA PRELIMINARY LANDSCAPE PLAN

RICK ENGINEERING COMPANY

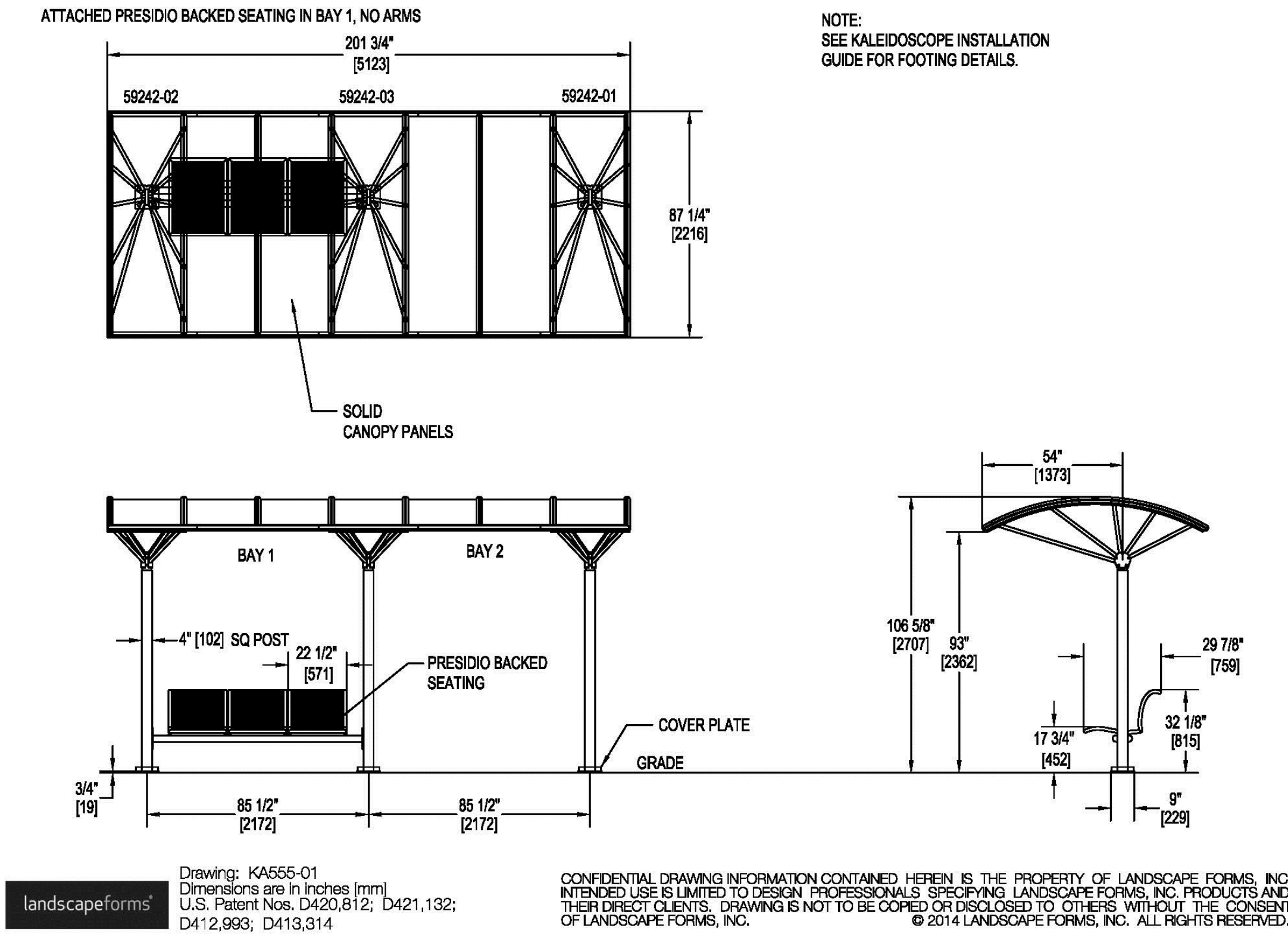
6150 NORTH 16TH STREET
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Tucson - San Diego - Riverside - Orange
Sacramento - San Luis Obispo - Denver
rickengineering.com



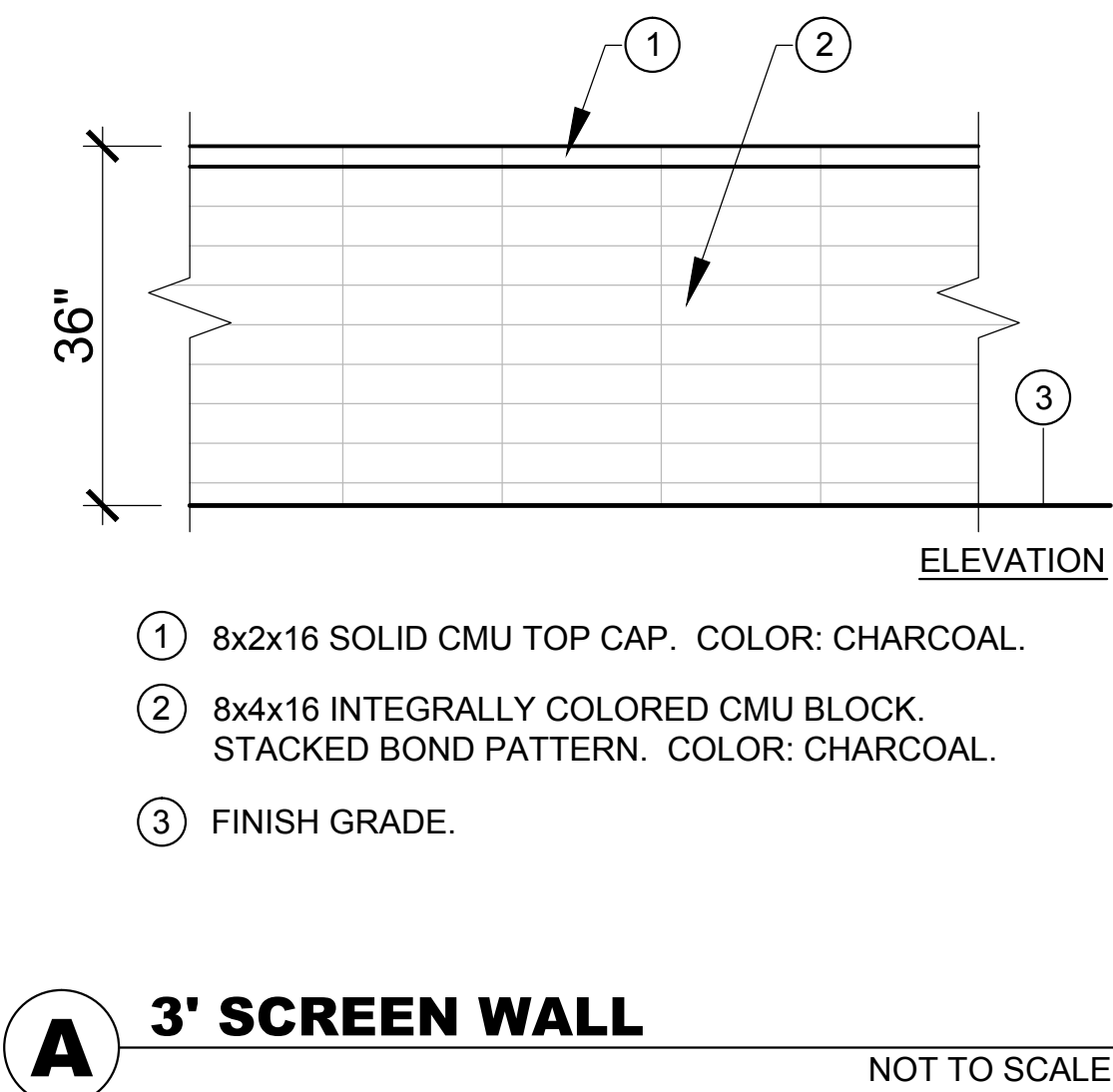
REV	DESCRIPTION	DATE



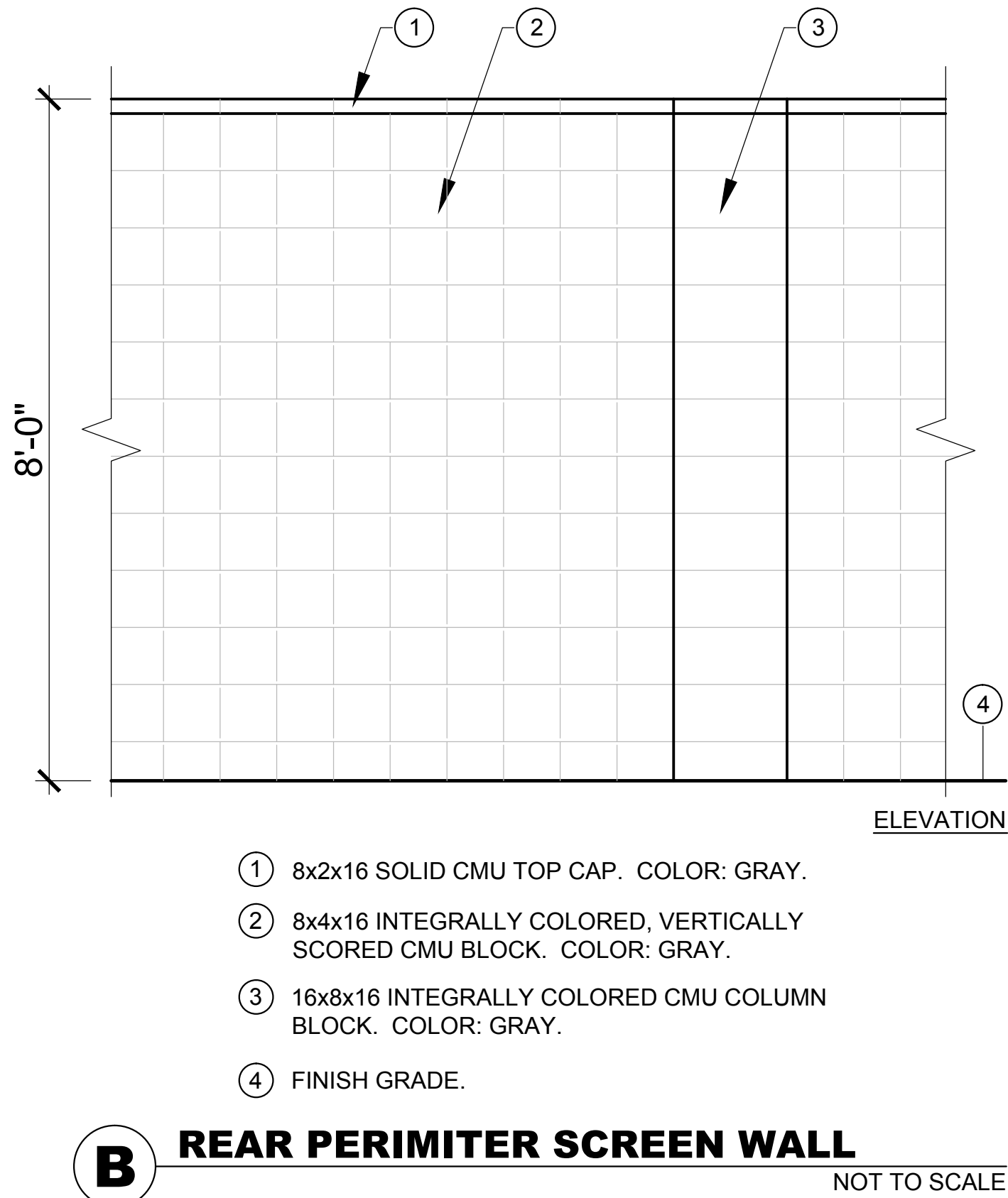
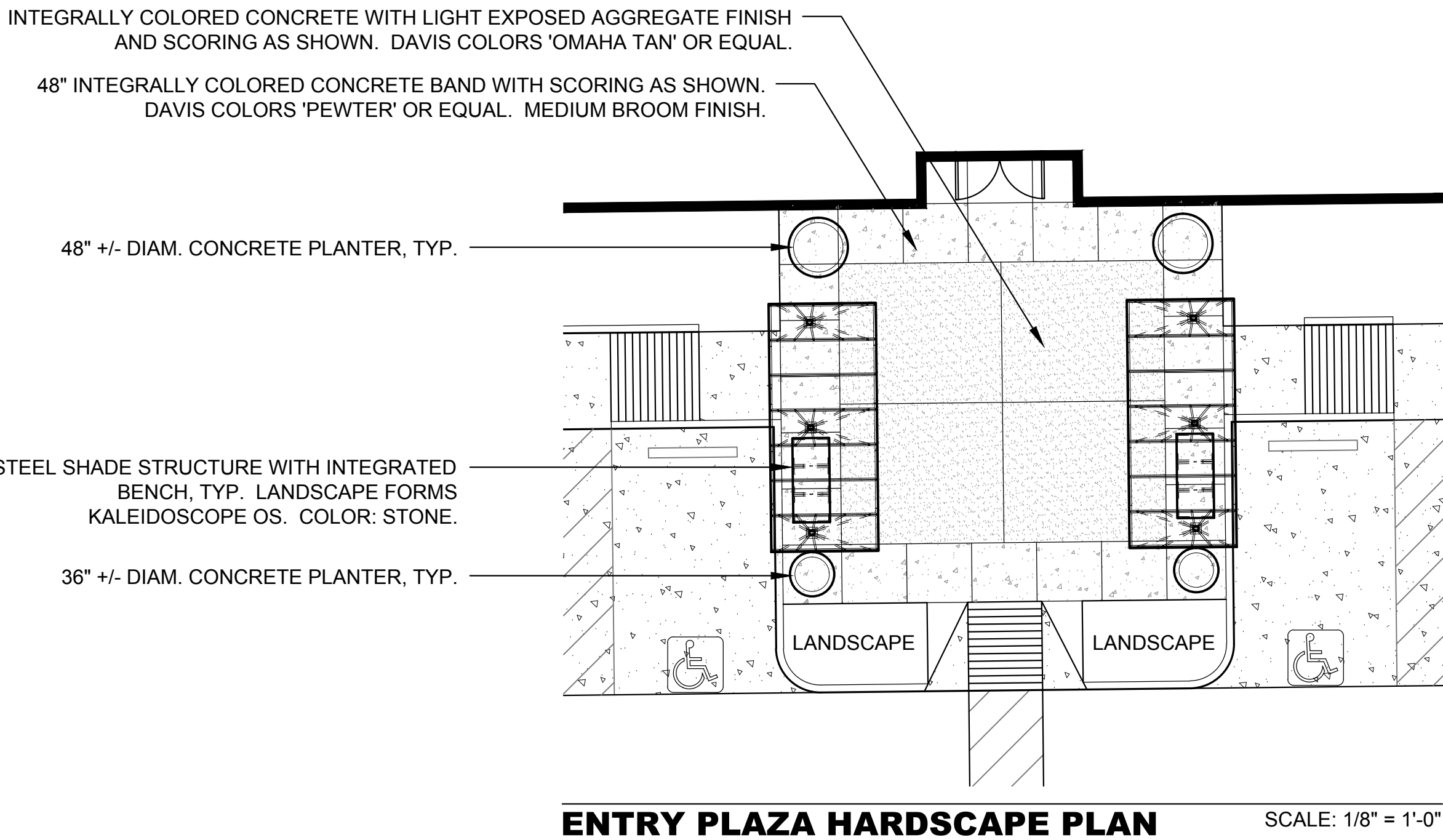
DATE:	FEBRUARY 1, 2018
DRAWN:	MEF
DESIGNED:	MEF
PROJ. NO.	4883
SHT	1 OF 2



STEEL SHADE STRUCTURE WITH INTEGRATED BENCH



- 1 8x2x16 SOLID CMU TOP CAP. COLOR: CHARCOAL.
- 2 8x4x16 INTEGRALLY COLORED CMU BLOCK. STACKED BOND PATTERN. COLOR: CHARCOAL.
- 3 FINISH GRADE.



- 1 8x2x16 SOLID CMU TOP CAP. COLOR: GRAY.
- 2 8x4x16 INTEGRALLY COLORED, VERTICALLY SCORED CMU BLOCK. COLOR: GRAY.
- 3 16x8x16 INTEGRALLY COLORED CMU COLUMN BLOCK. COLOR: GRAY.
- 4 FINISH GRADE.

REV	DESCRIPTION	DATE

LEGEND:

	EXISTING	PROPOSED
TRACT BOUNDARY	---	---
PROPERTY LINE	---	---
RIGHT-OF-WAY	---	---
CENTERLINE	---	---
CURB	---	---
CURB & GUTTER	---	---
FENCE-WOOD	---	---
EASEMENT	---	---
WATER LINE	W	W
FIRE SERVICE	FS	FS
SANITARY SEWER LINE	S	S
GAS LINE	G	G
ELECTRIC LINE	E	E
FIBER OPTICS	FO	FO
TELEPHONE	T	T
FIRE HYDRANT	PH	PH
WATER VALVE	WV	WV
FIRE DEPARTMENT CONNECTION	FDC	FDC
BENCHMARK	BM	BM
WATER METER	WM	WM
SEWER MANHOLE	SMH	SMH
YARD DRAIN	YD	YD
PAVEMENT ELEVATION	*P:60.43	*P:60.43
NATURAL GROUND ELEVATION	*NG:60.43	*NG:60.43
CONCRETE ELEVATION	*C:60.43	*C:60.43
TOP OF CURB ELEVATION	*TC:60.50	*TC:60.50
GUTTER ELEVATION	*G:60.00	*G:60.00
FLOW ARROW	→	→
STORM DRAIN	SD	SD
CONTOUR LINE	20	20
ADA ACCESS ROUTE	ADA	ADA
DRYWELL	DW	DW
CATCH BASIN	CB	CB
UNDERGROUND RETENTION RISER	UR	UR
STORM DRAIN MANHOLE	SDMH	SDMH
SEWER CLEANOUT	SCO	SCO

ABBREVIATIONS:

APN	ASSESSOR PARCEL NUMBER.
B.C.H.H.	BRASS CAP IN HANDHOLE.
B.O.B.	BASIS OF BEARING.
B.C.F.	BRASS CAP FLUSH.
CO	CURB OPENING.
CTV	CABLE TELEVISION RISER.
CVAE	CONTROLLED VEHICULAR-ACCESS EASEMENT.
EM	ELECTRIC METER.
ET	ELECTRIC TRANSFORMER.
FH	FIRE HYDRANT.
(M)	MEASURED.
PC	PROPERTY CORNER.
PDE	POWER DISTRIBUTION EASEMENT.
P/L	PROPERTY LINE.
PUFE	PUBLIC UTILITY AND FACILITIES EASEMENT.
RAE	RECIPROCAL ACCESS EASEMENT.
(R)	RECORD.
RE	REFUSE ENCLOSURE.
R/W	RIGHT OF WAY.
R.L.S.	REGISTERED LAND SURVEYOR.
SMH	SEWER MANHOLE.
SDMH	STORM DRAIN MANHOLE.
SCO	SEWER CLEANOUT.
TDE	TEMPORARY DRAINAGE EASEMENT.
TR	TELEPHONE RISER.

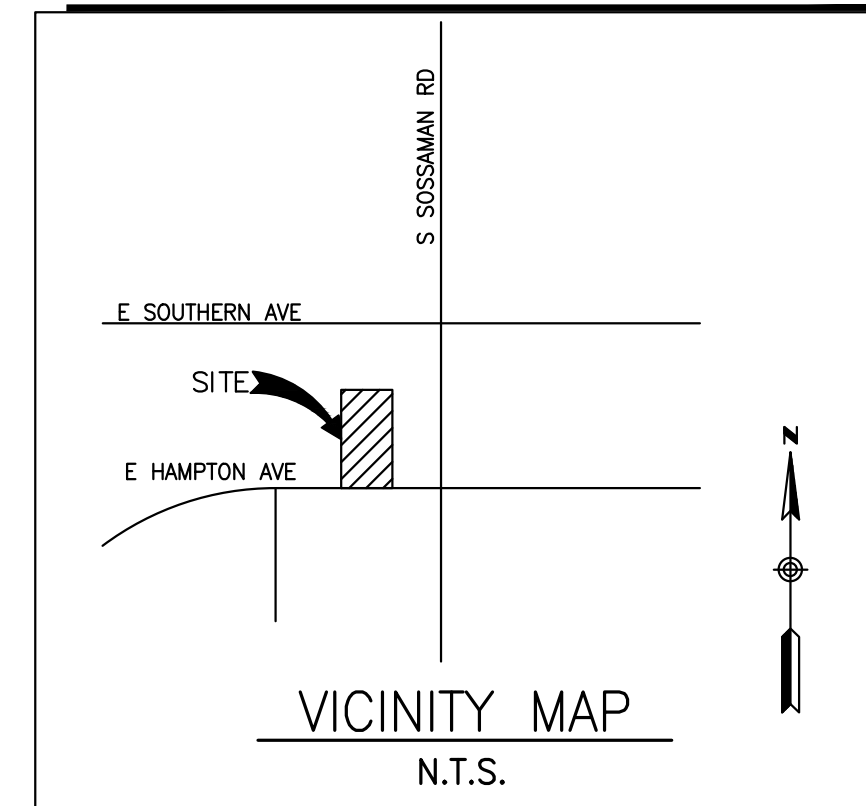
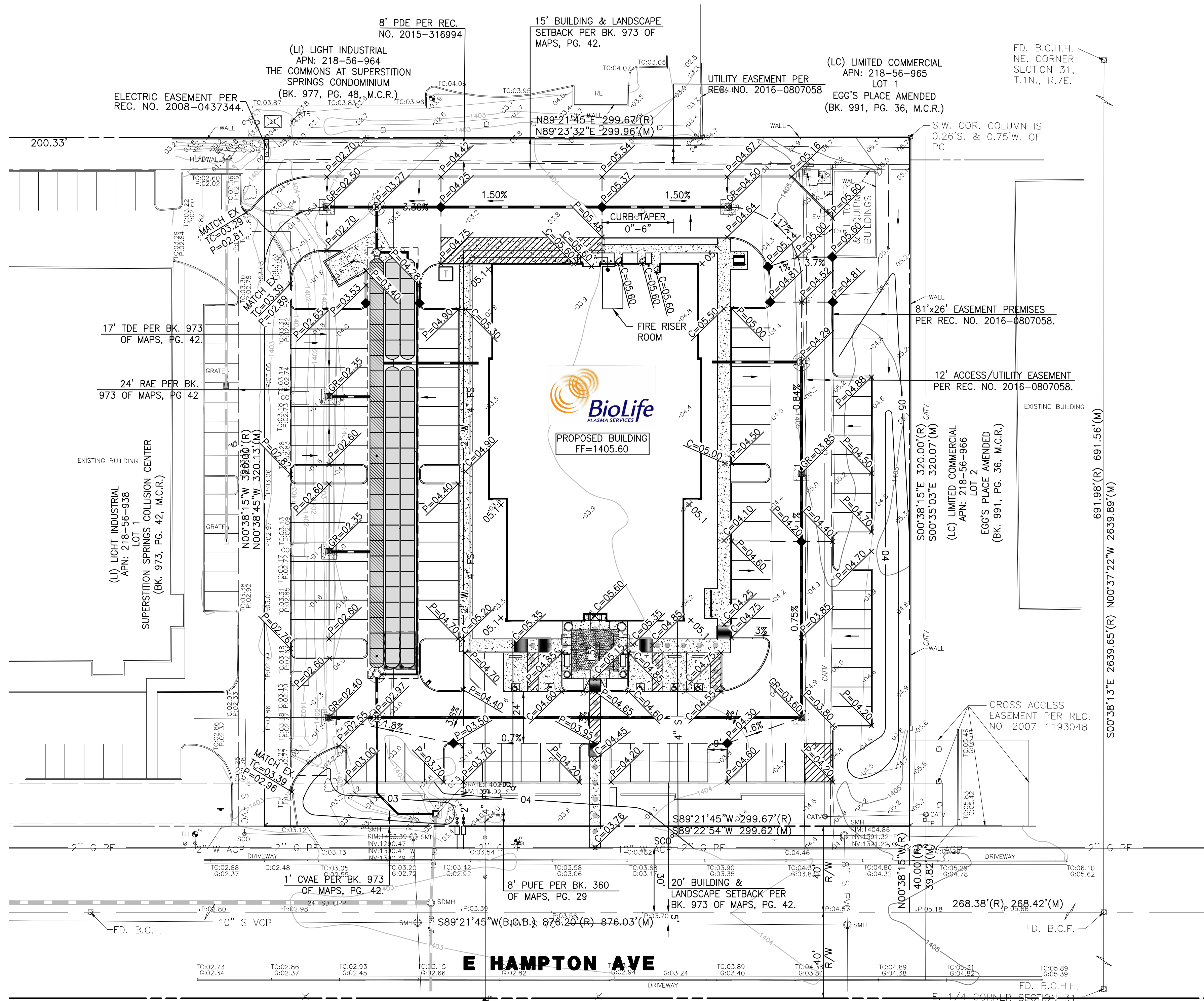
PRELIMINARY GRADING AND DRAINAGE PLAN

FOR:

BIOLIFE PLASMA SERVICES CENTER

7538 E. HAMPTON AVE.
MESA, ARIZONA 85203

OF A PORTION OF THE NORTHEAST QUARTER OF SECTION 31,
TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA.



OWNER/DEVELOPER:

BUILD TO SUIT, INC.
1805 STATE STREET, SUITE 101
BETTENDORF, IA 52722
CONTACT: JASON HARDER
PHONE: (563) 355-2022

ENGINEER:

RICK ENGINEERING COMPANY
6150 N 16TH STREET
PHOENIX, ARIZONA 85016
CONTACT: JOSEPH M. CIRONE, PE
PHONE: (602) 957-3350
EMAIL: JCIRONE@RICKENGINEERING.COM

ARCHITECT:

OPN ARCHITECTS
200 5TH AVE. SE #201
CEDAR RAPIDS, IA 52401
CONTACT: DOUG ELSBURY
PHONE: (319) 363-6018

APN:

218-56-939

AREA:

95,963± SQ. FT. OR 2.203 ACRES (M)

LEGAL DESCRIPTION:

BEING LOT 2 SHOWN ON THE FINAL PLAT OF
SUPERSTITION SPRINGS COLLISION CENTER, RECORDED
02/19/2008 IN BOOK 973, PAGE 42 OF THE
MARICOPA COUNTY RECORDS.

BENCHMARK

BRASS TAG ON TOP OF CURB IN THE NORTHEAST
CORNER OF THE INTERSECTION OF SOSSAMAN ROAD
AND SOUTHERN AVENUE
ELEVATION: 1408.69 NAVD88 (CITY OF MESA DATUM)

RETENTION CALCULATION:

REQUIRED VOLUME

V = REQUIRED RETENTION VOLUME, CF
D = DEPTH OF WATER TO RETAIN, 2.2 INCH
A = TOTAL SITE AREA, 95,962.68 SF (2.203 AC)
C = RUNOFF COEFFICIENT, 0.90

$$V_R = \frac{D}{12} AC$$

$$V_R = \frac{2.2}{12} (95,962.68) (0.90)$$

$$V_R = 15,834 \text{ CF}$$

PROVIDED VOLUME

UNDERGROUND VOLUME = 16,493 CF

NOTES:

- THE BASIS OF BEARING USED FOR THIS SURVEY IS S89°21'45"W LOCATED ALONG THE MONUMENT LINE EAST HAMPTON AVENUE PER THE FINAL PLAT OF THE SUPERSTITION SPRINGS COLLISION CENTER RECORDED IN BOOK 973 OF MAPS, PAGE 42, RECORDS OF MARICOPA COUNTY
- THIS SITE IS LOCATING IN ZONE "X" (DOTTED) PER "F.E.M.A." FLOOD INSURANCE RATE MAP NUMBER 04013C2295L, DATED: OCTOBER 16, 2013. ZONE "X" (DOTTED) IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

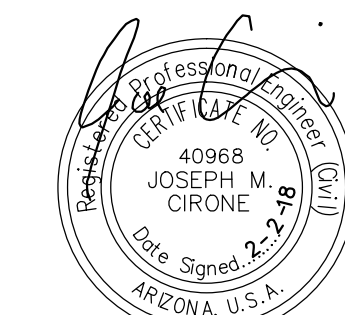
BIOLIFE PLASMA SERVICES CENTER

MESA, ARIZONA

PRELIMINARY GRADING AND DRAINAGE PLAN

RICK
ENGINEERING COMPANY

6150 NORTH 16TH STREET
PHOENIX, AZ 85016
602.957.3350
(FAX) 602.285.2396
Tucson - San Diego - Riverside - Orange
Sacramento - San Luis Obispo - Denver
rickengineering.com



Expires: 6-30-2019

REV	DATE	DESCRIPTION

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA
Call 811 or click Arizona811.com

DATE: FEBRUARY 02, 2018

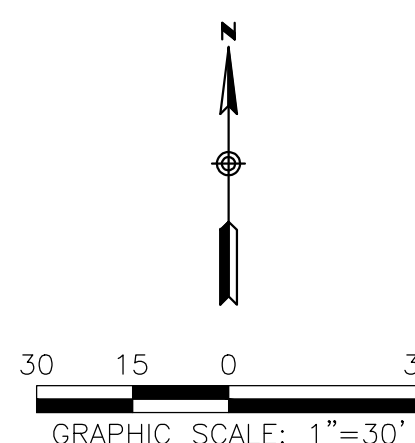
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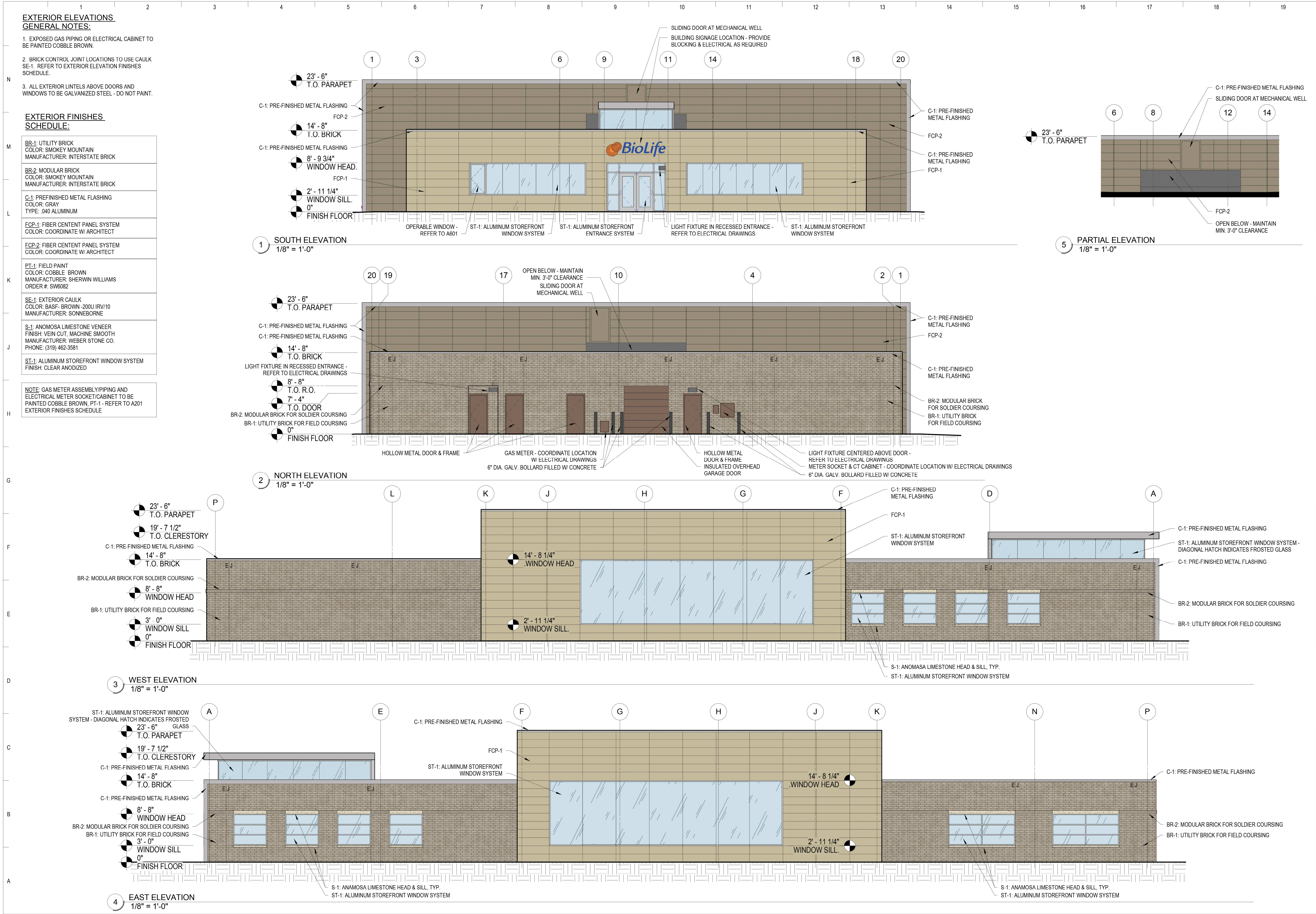
DESIGNED: JMC

PROJ. NO.

4883

SHT 1 OF 1





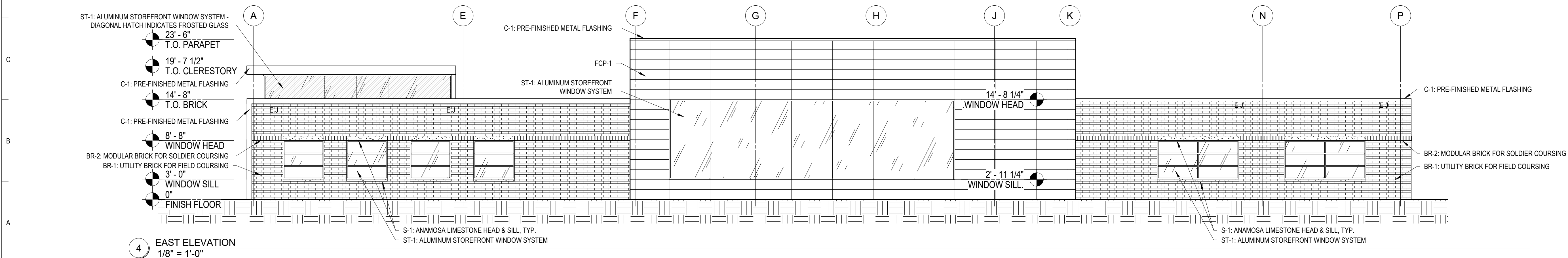
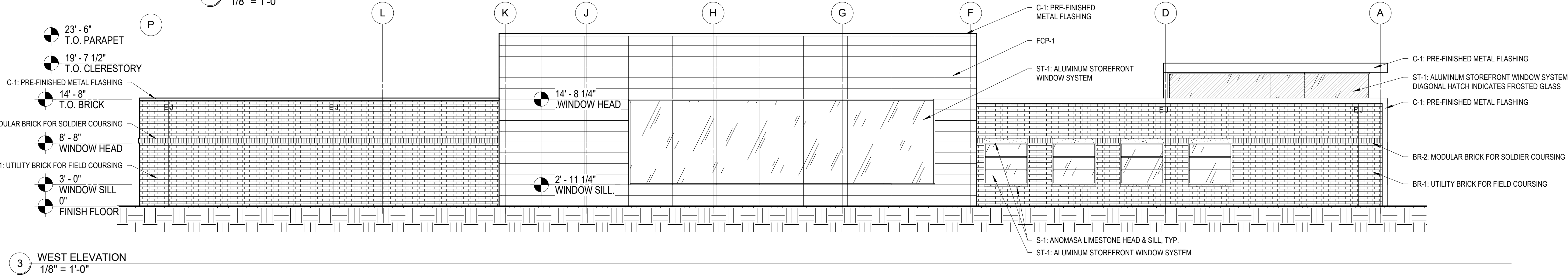
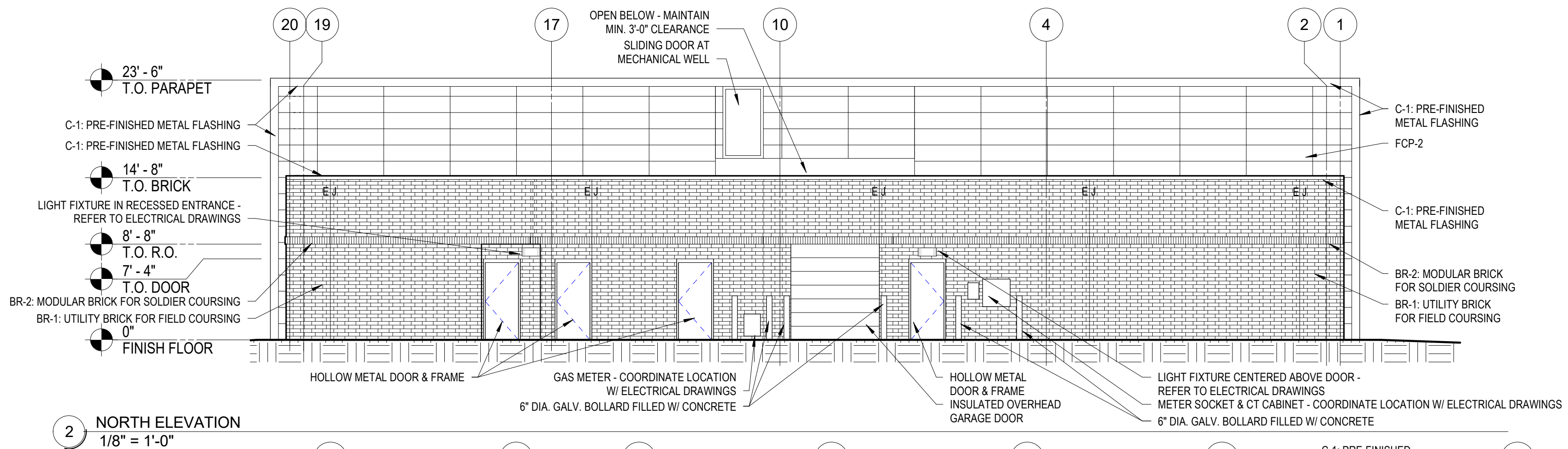
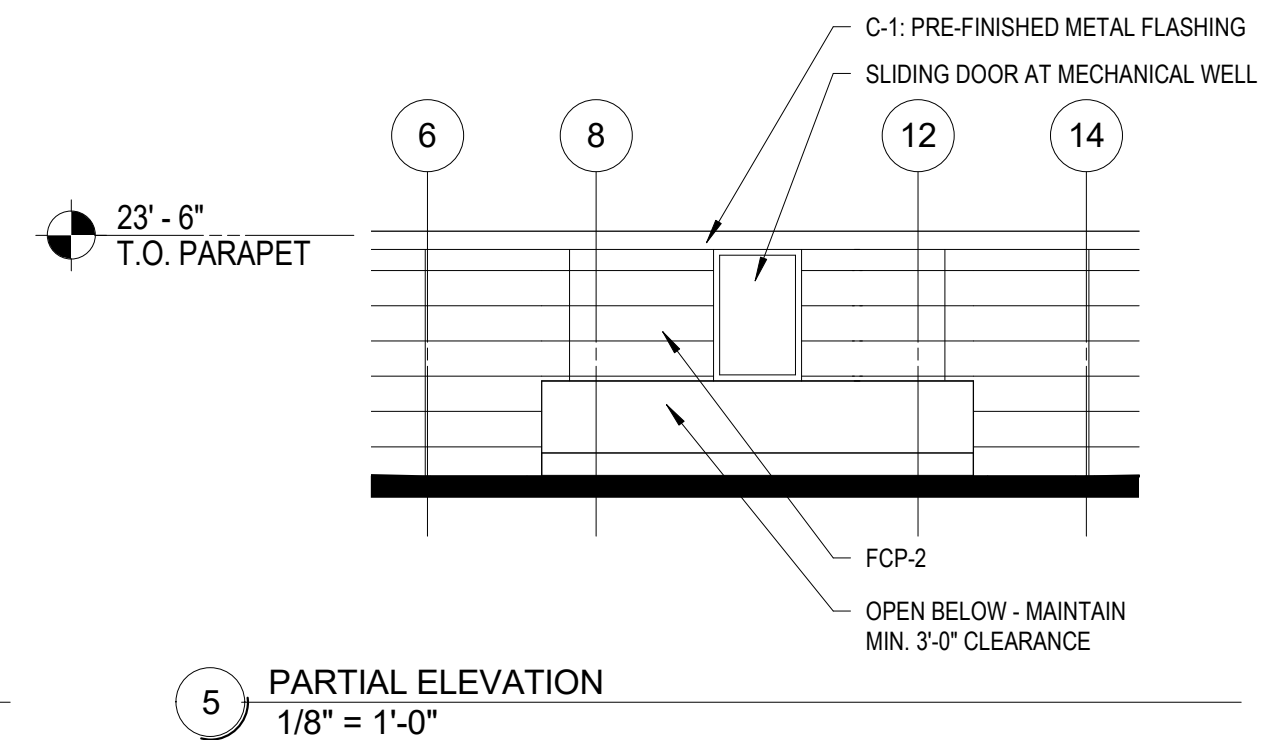
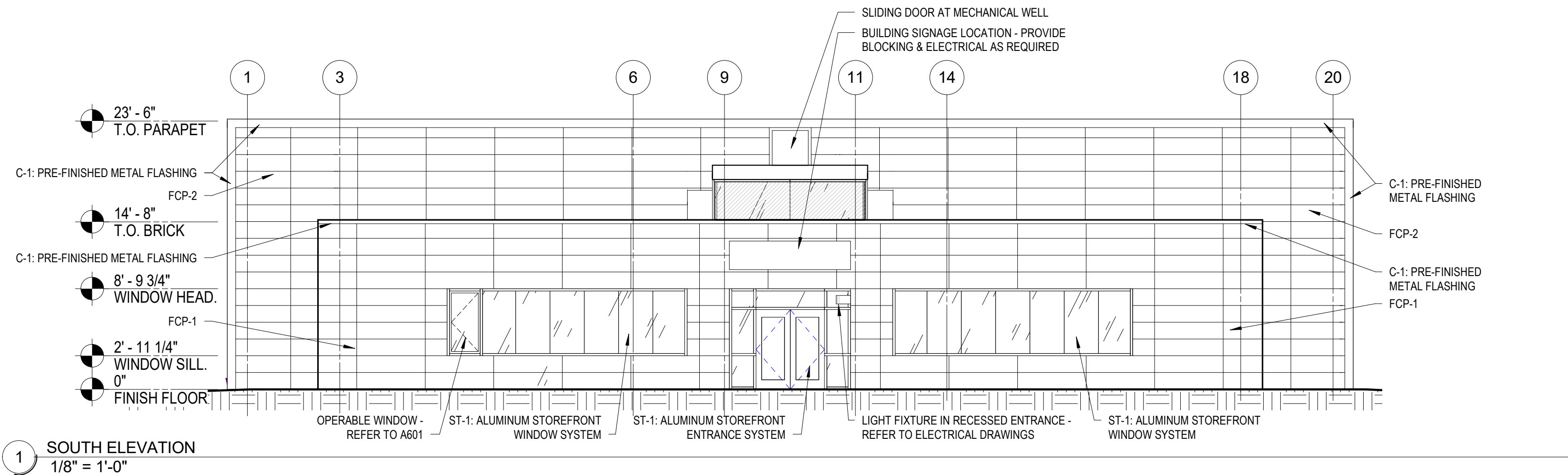
EXTERIOR ELEVATIONS
GENERAL NOTES:

1. EXPOSED GAS PIPING OR ELECTRICAL CABINET TO BE PAINTED COBBLE BROWN.
2. BRICK CONTROL JOINT LOCATIONS TO USE CAULK SE-1. REFER TO EXTERIOR ELEVATION FINISHES SCHEDULE.
3. ALL EXTERIOR LINTELS ABOVE DOORS AND WINDOWS TO BE GALVANIZED STEEL - DO NOT PAINT.

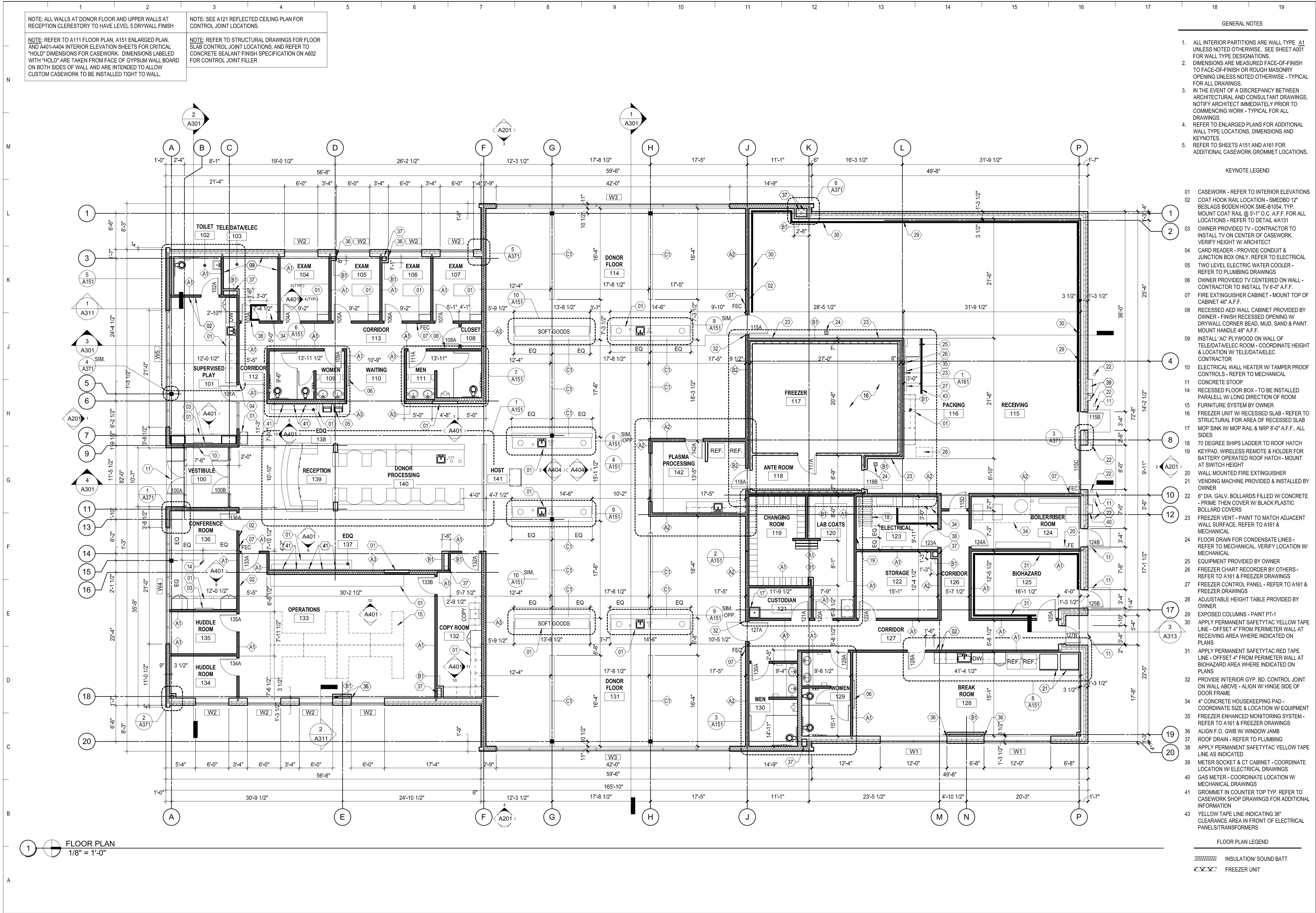
EXTERIOR FINISHES
SCHEDULE:

BR-1: UTILITY BRICK COLOR: SMOKEY MOUNTAIN MANUFACTURER: INTERSTATE BRICK
BR-2: MODULAR BRICK COLOR: SMOKEY MOUNTAIN MANUFACTURER: INTERSTATE BRICK
C-1: PREFINISHED METAL FLASHING COLOR: GRAY TYPE: .040 ALUMINUM
FCP-1: FIBER CENTENT PANEL SYSTEM COLOR: COORDINATE W/ ARCHITECT
FCP-2: FIBER CENTENT PANEL SYSTEM COLOR: COORDINATE W/ ARCHITECT
PT-1: FIELD PAINT COLOR: COBBLE BROWN MANUFACTURER: SHERWIN WILLIAMS ORDER #: SW6062
SE-1: EXTERIOR CAULK COLOR: BASF-BROWN -200U IRV/10 MANUFACTURER: SONNEBORNE
S-1: ANOMOSA LIMESTONE VENEER FINISH: VEIN CUT, MACHINE SMOOTH MANUFACTURER: WEBER STONE CO. PHONE: (319) 462-3581
ST-1: ALUMINUM STOREFRONT WINDOW SYSTEM FINISH: CLEAR ANODIZED

NOTE: GAS METER ASSEMBLY/PIPING AND ELECTRICAL METER SOCKET/CABINET TO BE PAINTED COBBLE BROWN. PT-1 - REFER TO A201 EXTERIOR FINISHES SCHEDULE







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Owner / General Contractor

Build to Suit
INCORPORATED

Project
**BIO-LIFE PLASMA
SERVICES CENTER**

MESA, AZ

Sheet Issue Date
CD SET XX/XX/18

Previous Issue Dates

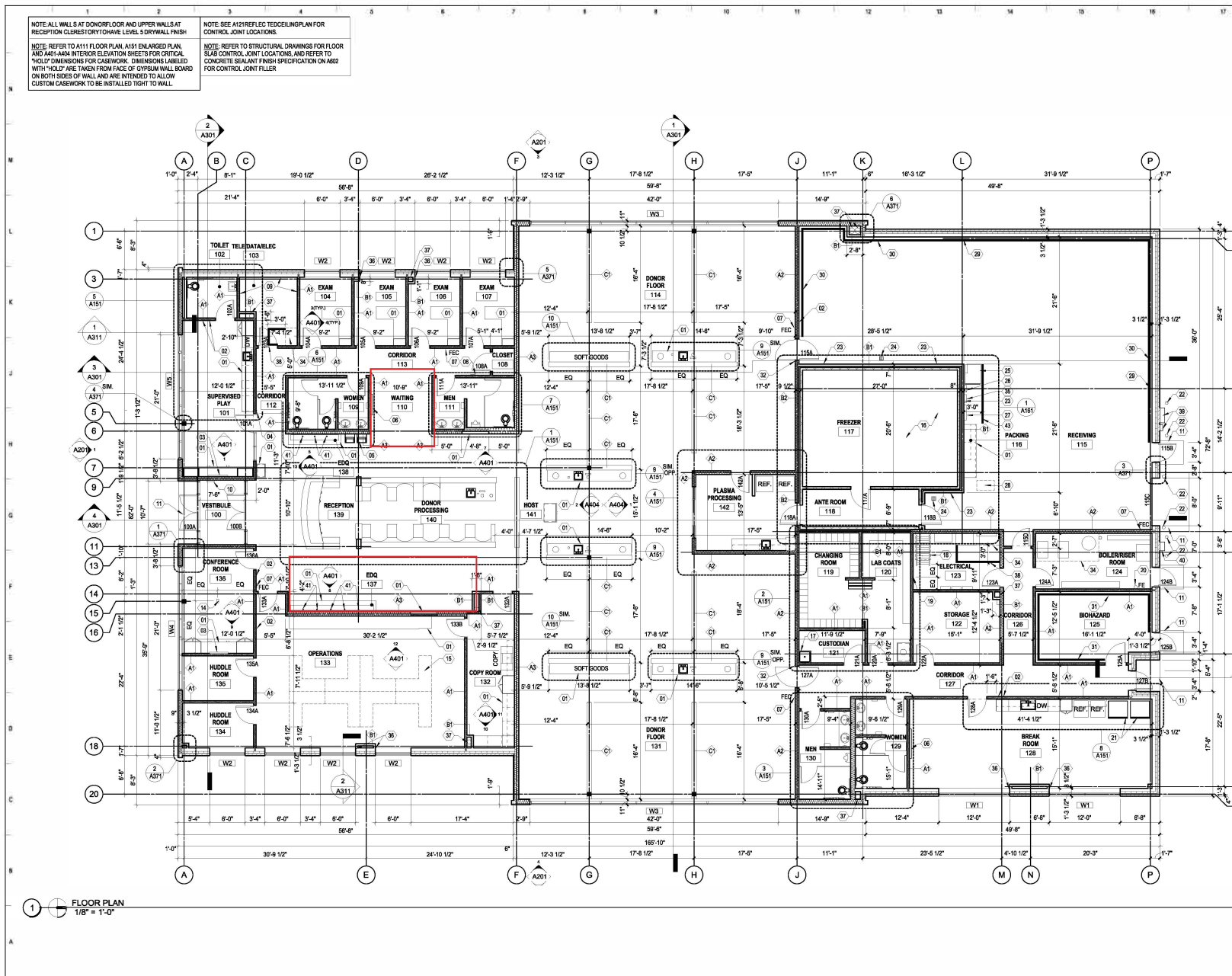
Revision Dates

CONSTRUCTION SET

Drawing
FLOOR PLAN

OPN Project No. 17285000

A111



- GENERAL NOTES**
- ALL INTERIOR PARTITIONS ARE WALL TYPE A1 UNLESS NOTED OTHERWISE. SEE SHEET A101 FOR WALL TYPE A101 BISHOP.
 - DIMENSIONS ARE MEASURED FACE-OF-FINISH TOP-OF-FINISH OR ROUGH MASONRY OPENING UNLESS NOTED OTHERWISE. TYPICAL FOR ALL DRAWINGS.
 - IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK - TYPICAL FOR ALL DRAWINGS.
 - REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE LOCATIONS, DIMENSIONS AND KEYNOTES.
 - REFER TO SHEETS A151 AND A151 FOR ADDITIONAL CASEWORK OR DETAIL LOCATIONS.
- KEYNOTE LEGEND**
- CASEWORK - REFER TO INTERIOR ELEVATIONS
 - COAT HOOK RAIL LOCATION - 3/4" X 12" BEELAS BODEN RAIL (S&S) TYP. MOUNT COAT RAIL @ 5'-11" O.C. A.F.F. FOR ALL LOCATIONS - REFER TO DETAIL A4131
 - OWNER PROVIDED TV CENTERED ON WALL - CONTRACTOR TO INSTALL TV IN CENTER OF CASEWORK. VERIFY HEIGHT W/ ARCHITECT
 - CARDREADER - PROVIDE CLOUTIER & JUNCTION BOX ONLY. REFER TO ELECTRICAL
 - TWO LEVEL ELECTRIC WATER COOLER - REFER TO PLUMBING DRAWINGS
 - OWNER PROVIDED TV CENTERED ON WALL - CONTRACTOR TO INSTALL TV @ 5'-11" O.C. A.F.F.
 - FIRE EXTINGUISHER CABINET - MOUNT TOP OF CABINET 48" A.F.F.
 - RECESSED ADD WALL CABINET PROVIDED BY OWNER - FINISH RECESSED OPERATION W/ DRYWALL CORNER BEAD, MUD, SAND & PAINT. MOUNT HANDLE 48" A.F.F.
 - INSTALL "AC" PLYWOOD DRYWALL FOR TELECOM/TELECOM ROOM - COORDINATE HEIGHT & LOCATION W/ TELECOM CONTRACTOR
 - ELECTRICAL WALL HEATER W/ TAMPER PROOF COVER - REFER TO MECHANICAL CONCRETE & STOPS
 - RECEIVED LOCK BOX - TO BE INSTALLED PARALLEL W/ LONG DIRECTION OF FURNITURE SYSTEM BY OWNER
 - FREESTAND W/ RECESSED SLAB - REFER TO STRUCTURAL FOR AREA OF RECESSED SLAB
 - MOP SINK W/ MOPRAL & WRP 2" X 4" F.F. ALL SIDES
 - 70 DEGREE SHIP'S LADDER TROOP HATCH KEYPAD W/ REMOTE TO A HOLDER OR BATTERY OPERATED DOOR HATCH - MOUNT AT SWITCH HEIGHT
 - WALL MOUNTED FIRE EXTINGUISHER
 - VENTILATION MACHINE PROVIDED & INSTALLED BY OWNER
 - 6" DIA. GALLY BOLLARDS FILLED W/ CONCRETE - PRIME THEN COVER W/ BLACK PLASTIC BOLLARD COVERS
 - FREESTAND VENT - PAINT TO MATCH ADJACENT WALL SURFACE. REFER TO A151 & MECHANICAL
 - FLOOR DRAIN FOR COOKING SATELLITES - REFER TO MECHANICAL, VERIFY LOCATION W/ MECHANICAL
 - EQUIPMENT PROVIDED BY OWNER
 - FREESTAND RECESSED BY OWNER - REFER TO A151 & FREESTAND DRAWINGS
 - FREESTAND CONTROL PANEL - REFER TO A151 & FREESTAND DRAWINGS
 - ADJUST TABLE HEIGHT TABLE PROVIDED BY OWNER
 - EXPOSED COLUMN - PAINT PT-1
 - APPLY PERMANENT SAFETY TAPE YELLOW TAPE LINE - OFFSET 4" FROM PERIMETER WALL AT BIOHAZARD AREA WHERE INDICATED ON PLANS
 - APPLY PERMANENT SAFETY TAPE RED TAPE LINE - OFFSET 4" FROM PERIMETER WALL AT BIOHAZARD AREA WHERE INDICATED ON PLANS
 - PROVIDE TROOPING, BQ. CONTROL JOINT ON WALL ABOVE - ALLOW WITH HINGE SIDE OF DOOR FRAME
 - 4" CONCRETE HOUSEKEEPING PAD - COORDINATE SIZE & LOCATION W/ EQUIPMENT
 - FREESTAND MONITORING SYSTEM - REFER TO A151 & FREESTAND DRAWINGS
 - ALUM. O.D. CHD W/ WINDOW LAMINATE
 - ROOF DRAIN - REFER TO PLUMBING
 - METER SCHEDULE & CT CABINET - COORDINATE LOCATION W/ ELECTRICAL DRAWINGS
 - ON SINK TIER - COORDINATE LOCATION W/ MECHANICAL DRAWINGS
 - GROUT IN IN CENTER TOP TYP. REFER TO CASEWORK SHOP DRAWINGS FOR ADDITIONAL INFORMATION
 - YELLOW TAPE LINE INDICATING 3" CLEARANCE AREA IN FRONT OF ELECTRICAL PANELS/TRANSFORMERS
- FLOOR PLAN LEGEND**
- INSULATION SOUND BATT
- FREEZER UNIT

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Build to Suit

BIO-LIFE PLASMA SERVICES CENTER

MESA, AZ

CONSTRUCTION SET

FLOOR PLAN

A111

MOW POWER RETAIL & REPAIR FACILITY 845 NORTH GILBERT ROAD, MESA, AZ

CITIZEN PARTICIPATION REPORT

A neighborhood meeting was held on Saturday, January 27, from 4:30 pm to 6:00 pm, at the Montessori Education Center, 815 N. Gilbert Road, Mesa, AZ. This facility borders the south side of the Mow Power Site. Over 200 invitation letters were sent to property owners within 1000 feet of the site and also to registered neighborhoods within one mile and all HOA's within a half mile.

The meeting location was posted with signage to direct attendees to the classroom where we held the meeting. From all the invitations sent, we had five residents attend the meeting. Drawings and a rendering were on display to help them understand the planned improvements. There were three concerns expressed by one attendee, Mr. Milo LeBaron, who resides directly east of the Montessori Education Center. These three concerns were shared by the other attendees in attendance.

First was a concern over security. They wanted to know if the area between the building and the east property line fence would be secured or accessible to the public. The owner assured them that the area will be secured by fencing, lighted with security lighting that did not shine into the neighboring yards, and monitored by security camera and security alarm sensors. The residents were satisfied with the plan.

Second was the concern about noise. Would they be hearing motors running all day and into the night hours. The owner stated that their winter work hours are from 8:00 am to 5:00 pm, and the summer hours are 7:00 am to 5:00 pm. All repair work is done inside the repair shop and engines are tested in the test area on the west side of the shop. When an engine is tested it is started and runs for only a few seconds, then shut off. This engine noise should be screened from the neighbors by the building and the two layers of 8 ft high masonry fencing and 6 ft property line fence between the test area and the neighbors. The test area does not have a roof over the area, so the

ta41 brock, craig and thacker architects, ltd.

•• james e. craig jr, aia
II; 145 e. university, suite 3, mesa, arizona 85201 * (480) 969-3081 * bct@bctarchitects.net boyd h. thacker, aia

sound will not be trapped and forced horizontally, but directed upward. The residents were pleased with this treatment.

Third is the concern of increased traffic and how it would intensify the issue of traffic from the school to the south. Milo LeBaron conducted his own study of the traffic counts for the existing Mow Power facility to the south of University Drive and Gilbert Road and indicated that he counted a maximum of 10 customer vehicles at the store between 8:00 am and 8:15 am. This is the time period when the school traffic is at it's peak. He was confident that the traffic from the new facility would not intensify the problem of student drop-off. It was emphasized that the new facility would have plenty of vehicle circulation and parking for the customers and no one would need to wait in Gilbert Road for access to the site.

A question was raised by a neighbor directly east of the sales area of the building about the windows on the east side of the building. It was explained that the windows on the south portion of the east wall are to let natural lighting into the small tool storage area and the window sill is 8 ft above the floor and would prevent anyone from looking out the window into the neighboring yards. The high windows on the east side of the sales area are to allow natural light into the checkout area. The sill is 20 ft above the sales floor which will also prevent view into the neighboring yards.

One resident from the homes to the south of Adobe was there to fill out a comment card so we could give her new phone number to the city council member for the area so she could ask questions about issues at her home. She was in support of the proposed use for the site.

The attendees were pleased with the design, security and aesthetics of the new facility and felt it was a great use for the site. Bill and Stacy Montz offered to come to meetings and speak in support of the project.

We received a letter from a resident that was not able to attend the meeting, stating that he is in support of the use and design and feels it will be "a great improvement to the surroundings instead of an empty lot currently falling prey to illegal dumping and used as a neighborhood bathroom for dogs." His main concern is that the city will better secure the alley north of the site.

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boyd h. thacker, aia

FIESTA DISTRICT: Biomat USA
535 S Dobson Road
January 1, 2017 thru January 31, 2018

2017													2017 Total	2018 Jan	2018 Total	Grand Total
CRIME TYPE	Jan	Feb	Mar	Apr	MAY	Jun	Jul	Aug	Sep	Oct	Nov	Dec				
ABANDONED VEHICLE				1									1			1
ACCIDENT NO INJURY														1	1	1
AGGRAVATED ASSAULT								1					1			1
BURGLARY ALARM	1	1	1		1			1		1			6			6
BUSINESS CHECK			1	1					2			2	6			6
CHECK WELFARE		1		2	3					1			7	1	1	8
CIVIL MATTER									1		1		2			2
COMMERCIAL BURGLARY		1	1				1						3			3
CRIMINAL DAMAGE			1		1						1		3			3
DRUGS									1				1			1
DUI											1		1			1
FATAL ACCIDENT										1			1			1
FOLLOW UP TO CASE COMPLEX		1					1	2		1			5			5
FOUND PROPERTY						1			1				2			2
MISC. ANIMAL CALL											1		1			1
OTHER AGENCY ASSIST			1			1							2			2
PROSTITUTION										1			1			1
SEXUAL ASSAULT								1					1			1
SUBJECTS DISTURBING			1	1		2				3	1		8	1	1	9
SUSPICIOUS ACTIVITY		1						1					2			2
SUSPICIOUS PERSON	1		1		1		1						4			4
SUSPICIOUS VEHICLE											1		1			1
THEFT FROM BUSINESS			1			1		2					4			4
TRESPASS		4	3	2	8	8	6	4	3	3			41			41
UNKNOWN TROUBLE												1	1	1	1	2
WARRANT ARREST	1				1	1					1	1	5			5
Grand Total	3	9	11	7	15	14	9	12	8	11	7	4	110	4	4	114

* This report was created using Calls for Service

* Totals do not include TS/SS/Canc/Dup

* Statistics are preliminary and subject to further analysis and revision



BioLife

2535



 **BioLife**
PLASMA SERVICES

2535

DAN 463

912-YWR

920-WTR

6BT-812

Jeep
FEB 344









BioLife

PLASMA
SERVICES



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Form
Line
Here



124
Black

Authorized Personnel Only

Plasma
Processing



Gold

101

111



Anticoagulant

Saline

Sets

Collection
Container

Needles

Released Non-Softgoods

Medical History

Phlebotomy





Existing Bio Life Plasma Centers



Riverton Utah



Warner Robins, GA



Lacey, WA



Snellville, GA

Citizen Participation Plan

BioLife Plasma Service Site Plan, Special Use Permit, & Design Review

December 26, 2017

7538 East Hampton Avenue
(Parcel Number: 218-56-939)

Ref. Number: PRS17-00301

Overview: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor/homeowners associations, etc. within the vicinity of a site proposed for a BioLife Plasma Service building. This site is located at 7538 East Hampton Avenue, which we are requesting approval of a site plan, special use permit, and design review for a plasma service building on an unimproved 2.2 acre parcel. This participation plan will ensure that those affected by or interested in these applications and will have an adequate opportunity to learn about and comment on the proposal(s).

Contact: Dennis M. Newcombe, Planning Consultant
Beus Gilbert PLLC
701 North 44th Street, Phoenix, AZ 85008
Direct: 480-429-3065 Fax: 480-429-3100
Email: dnewcombe@beusgilbert.com

Pre-Application Meeting: A pre-submittal meeting was held with the City of Mesa regarding the proposal on October 2, 2017.

Action Plan: As we progress through this public process and in order to provide effective citizen participation in conjunction with the applications, the following actions will be taken to provide opportunities to understand and address any perceived impacts that members of the community may have towards the proposal.

1. A contact list will be developed for citizens and agencies within this area including:
 - All property owners within 500 feet of the site as determined by the Maricopa County Assessor.
 - Registered Neighborhood and Homeowners Associations within one-mile of the project.
 - Interested parties list. Compiling an ongoing list (i.e., email, personal contact, and telephone calls) of any concerns expressed and responses, as needed, to those concerns.
2. We have retained Technical Solutions (Susan Bitter Smith and Prescott Smith) to assist in the initial public outreach as well as ongoing, as needed, which will entail them visiting early on with property owners within a minimum of 500 feet. The exact area of outreach and results will be provided with the final Citizen Participation Plan Report.
3. All persons/associations listed on the contact lists will receive a letter describing the project, site plan, and building elevation along with an invitation to a neighborhood meeting.
 - The neighborhood meeting will be an introduction to the project, and opportunity to ask questions, and to state concerns. A sign-in list will be used to confirm or add individuals to the contact list. Copies of the sign-in list and any comments, along with responses, will be given to the City of Mesa Planner assigned to this project.
 - The neighborhood meeting will be in advance of any formal City hearings.
4. Additional meetings or presentations will be made to groups of citizens or neighborhood associations upon request.

Tentative Schedule:

Pre-Submittal Meeting: October 2, 2017

Applications Submittals:

- (1) Site Plan Submittal – December 26, 2017
- (2) Special Use Permit Submittal – January 22, 2018
- (3) Design Review Board Submittal – January 29, 2018

Informational/Neighborhood Meeting Mailing (min 10-days prior to neighborhood meeting): TBD

Neighborhood Meeting: TBD

Submittal Citizen Participation Report: TBD

Planning & Zoning Board Hearing: TBD

City Council Hearings: TBD