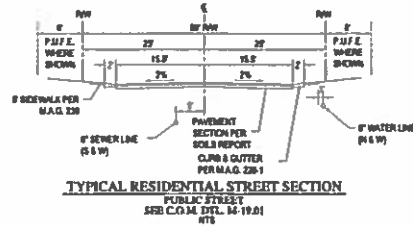


NOTES

- ALL ROADWAYS TO BE PUBLIC STREETS.
- ALL UTILITIES TO BE PLACED UNDERGROUND.
- THE CITY OF MESA SHALL NOT BE RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY PRIVATE FACILITIES, LANDSCAPE AREAS, ETC. WITHIN THIS PROJECT.
- THIS SUBDIVISION IS WITHIN 6 MILES OF FALCON FIELD AIRPORT. INFORMATION REGARDING AIRCRAFT OPERATIONS AND AIRPORT DEVELOPMENT IS AVAILABLE THROUGH THE AIRPORT ADMINISTRATION OFFICE.
- FIRE LINES AND HYDRANTS TO MEET CITY OF MESA REQUIREMENTS.
- PROPOSED WATER ON FALCON FIELD PRESSURE ZONE.
- RETENTION WILL BE PROVIDED BY PROPOSED BASINS.
- FUTURE CUSTOM HOME SITES SHALL HAVE GRADING PLANS DESIGNED AND FLOOR ELEVATIONS SET BY THE INDIVIDUAL LOT OWNERS.
- EXISTING CITRUS TREES ARE PROPOSED TO REMAIN TO THE EXTENT POSSIBLE OUTSIDE OF LOT BUILDING ENVELOPES.
- IRRIGATION FOR LOTS WILL BE SUPPLIED BY SALT RIVER PROJECT THROUGH A PROPOSED UNDERGROUND DELIVERY SYSTEM.

LOT TABLE

LOT	LOT SIZE (SF)	BUILDABLE AREA (SF)	LOT BUILDING COVERAGE (DPA)
1	35,228	21,172	12.258
2	36,864	21,252	12.273
3	36,852	19,729	12.257
4	35,814	19,875	12.258
5	36,811	26,883	12.254
6	36,808	21,848	12.252
7	36,823	21,148	12.258
8	36,182	26,888	12.246
9	36,846	22,128	12.264
10	36,828	22,128	12.264
11	36,188	26,884	12.246
12	36,804	21,148	12.258
13	36,824	21,148	12.258
14	36,188	26,884	12.246
15	36,854	22,128	12.262
16	36,872	21,728	12.273
17	36,478	21,428	12.448
18	36,528	21,402	12.432



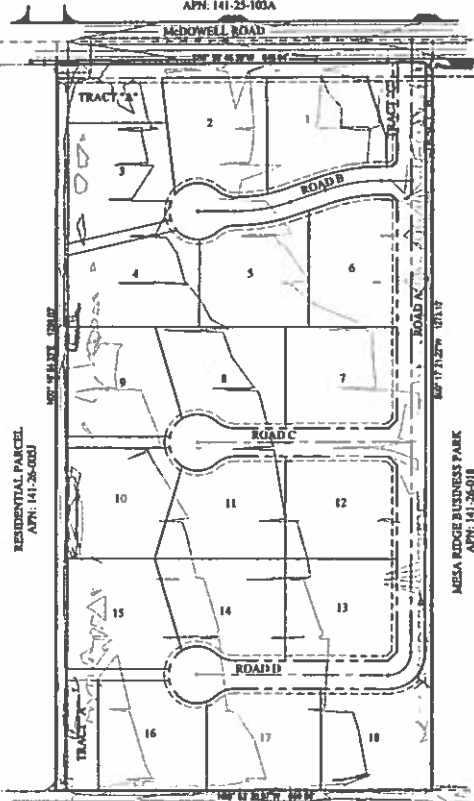
MCDOWELL CITRUS LAND USE SUMMARY TABLE			
EXISTING ZONING	RS-35		
PROPOSED ZONING	RS-38		
TOTAL NUMBER OF LOTS	18		
TOTAL NET AREA	608,985	50,771	18.82 AC
DENSITY	0.02 DUNEY AC		
OPEN SPACE	78,624	50,771	1.81 AC
AVERAGE LOT SIZE	33,832	50,771	0.81 AC
MIN LOT SIZE	36,478	50,771	0.88 AC

TRACT TABLE			
TRACT NO.	SQ. FT.	ACRES	USE (SEE SHEET 2 FOR LOCATIONS)
A	60,838	1.388	OPEN SPACE, RETENTION PILE
B	12,186	0.278	OPEN SPACE, PILE
C	4,918	0.112	OPEN SPACE, PILE

MCDOWELL CITRUS PRELIMINARY PLAT/SITE PLAN

A PROPOSED SUBDIVISION OF A PORTION OF N.E. 1/4 OF SECTION 4, TOWNSHIP 1 NORTH,
RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

COMMONS INDUSTRIAL PARK
AT FALCON VIEW UNIT 3
APH: 141-25-103A



CITY OF MESA
APH: 141-26-004

MCDOWELL CITRUS BOUNDARY MAP



LINE TABLE		
LINE	BEARING	DISTANCE
11	N44°22'27"W	21.10

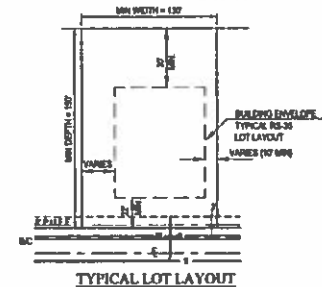


OWNER / DEVELOPER

MCDOWELL CITRUS, INC.
1400 SOUTH GILBERT ROAD
SUITE 100
GILBERT, ARIZONA 85234
PHONE: (480) 854-4442
FAX: (480) 854-4443

BENCHMARK

BRASS TAG ON TOP OF THE SOUTHWEST CORNER RETURN OF THE INTERSECTION OF MCDOWELL ROAD AND GREENFIELD ROAD, HAVING A CITY OF MESA WADN 88 DATUM ELEVATION + 1285.87.



NOTES:
1. SETBACKS SHOWN ON LOTS ARE MINIMUM DISTANCES FROM THE PROPERTY LINES FOR BUILDING ENVELOPE BOUNDARIES & HOME CONSTRUCTION INCLUDING PATIOS & ACCESSORY STRUCTURES.

SIDE YARD SETBACKS:
1. THE INTERIOR SIDE YARD SETBACKS MUST BE MIN. AN AGGREGATE DISTANCE OF 30' WITH A MINIMUM OF 10' ON ONE SIDE.
2. 30' MINIMUM FROM GARAGE AND CARPORTS IF ACING SIDE YARD.

FRONT YARD SETBACKS:
1. 22' MINIMUM FROM ENCLOSED UNPAVED AREAS
2. 30' MINIMUM FROM GARAGE AND CARPORTS

REAR YARD SETBACKS:
1. 30' MINIMUM

MAXIMUM BUILDING COVERAGE = 30% OF LOT.

ENGINEER & SURVEYOR

WOOD/PATEL & ASSOCIATES, INC.
1940 SOUTH GILBERT DRIVE, SUITE 300
MESA, ARIZONA 85204
PHONE: (480) 838-3338
FAX: (480) 838-3338
CONTACT: DANIEL W. MATTHEWS, P.E.

PUBLIC UTILITIES

WATER: CITY OF MESA
SEWER: CITY OF MESA
ELECTRIC: SALT RIVER PROJECT
TELEPHONE: CENTURY LINE
CABLE TV: CITY OF MESA
WASTE DISPOSAL: COX COMMUNICATIONS
IRRIGATION: CITY OF MESA
SALT RIVER PROJECT

CIVIL SHEET INDEX

- 1 - COVER
- 2 - SITE PLAN
- 3 - GRADING PLAN & DETAILS

LEGEND

- SUBDIVISION BOUNDARY LINE
- PROPERTY LINE
- PUBLIC UTILITY AND FACILITY EASEMENT EXCEPT AS NOTED
- POTABLE WATER PIPE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING BENCH LINE MARKER
- SANITARY SEWER PIPE AND MANHOLE
- SANITARY SEWER PIPE AND CLEANOUT
- EXISTING IRRIGATION PIPE
- IRRIGATION PIPE AND MANHOLE
- PROPOSED DRAINAGE SWALE
- NATURAL GROUND CONTOUR
- EXISTING TREE
- BUILDING SETBACK LIMIT
- CENTERLINE
- DRAINAGE EASEMENT
- EASEMENT
- PROPERTY LINE
- PUBLIC UTILITY AND FACILITY EASEMENT

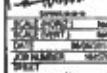
WOOD/PATEL
MISSION: CLIENT SERVICE
(602) 333-4300
WWW.WOODPATEL.COM



MCDOWELL CITRUS

PRELIMINARY PLAT/SITE PLAN
COVER SHEET

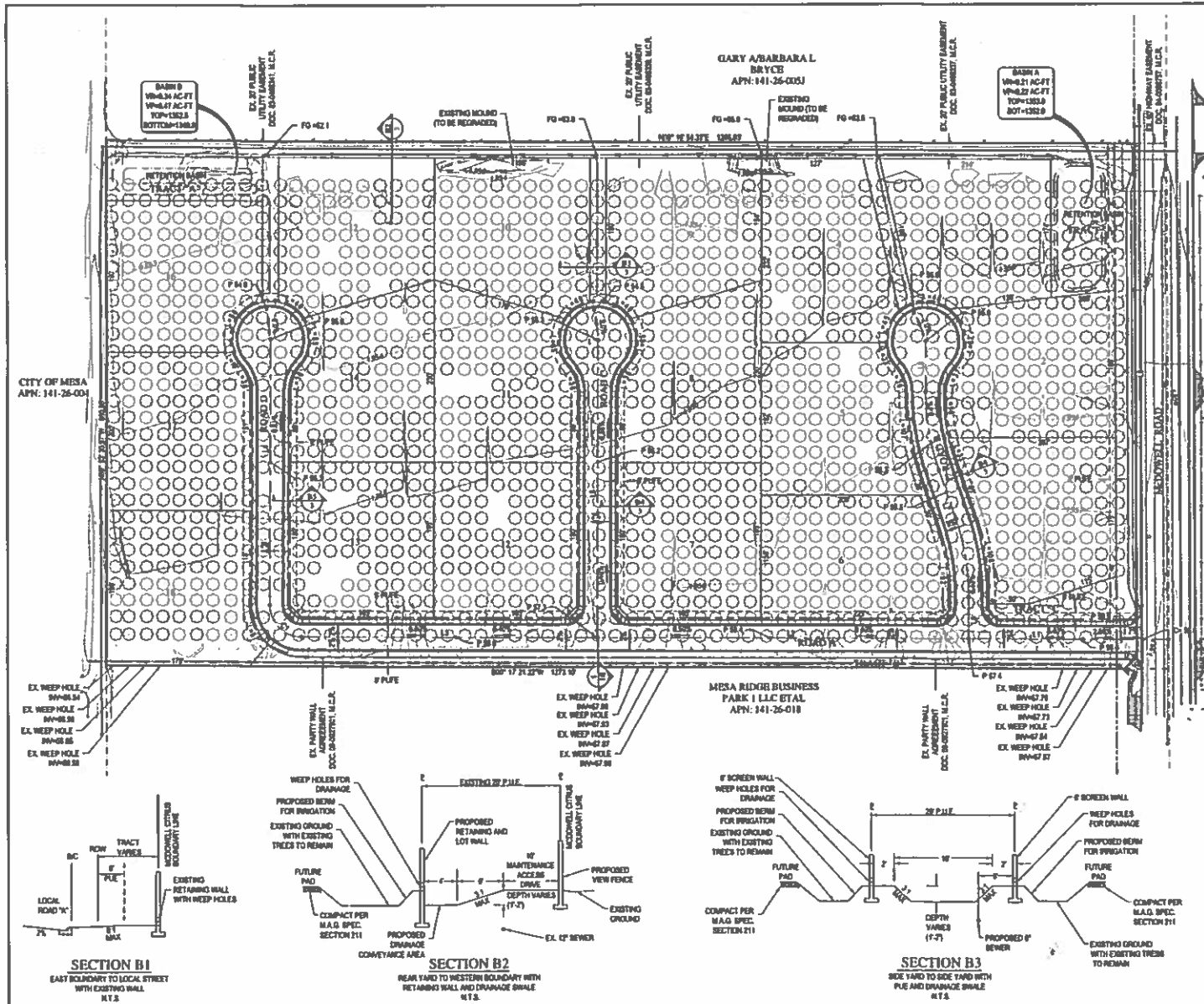
NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAT/SITE PLAN	7.19.17



1 OF 3

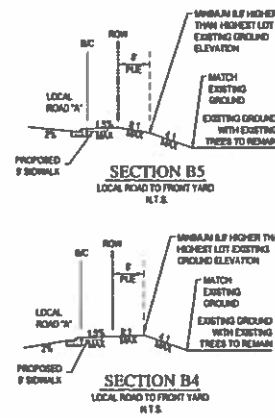
APPROVED PLANS
PLANNING AND ZONING BOARD

DATE: 7.19.17
WITH STIPS: YES ☒ NO ☐



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S8°17'28.28"W	340.04
L2	N0°17'28.28"E	474.57
L3	N0°17'28.28"E	320.89
L4	S00°47'20.72"E	326.09
L5	S00°47'20.72"E	375.08
L6	S00°47'20.72"E	52.87
L7	S7°11'17'23.38"W	68.22
L8	S00°47'20.72"E	64.24
L9	S00°20'45.30"W	646.04
L10	S44°53'26.70"W	71.15

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD
C1	87°48'00"	40.00	62.83	49.50	86.57
C2	19°03'50"	300.00	105.87	95.47	95.54
C3	10°18'30"	300.00	105.87	95.47	95.54



WOOD/PATEL
MISSION: CLIENT SERVICE •
(602) 315-8300
WWW.WOODPATEL.COM

MCDOWELL CITRUS

[illegible]