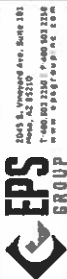


APPROVED PLANS PLANNING AND ZONING BOARD

DATE: 8-16-17
WITH SHIPS: YES ☒ NO ☐
VIA MAP ☐

PRELIMINARY PLAT FOR LINDSAY & SOUTHERN

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 1 NORTH, RANGE 6 EAST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



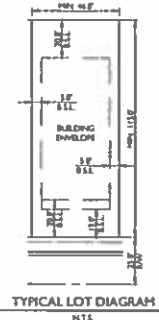
Lindsay & Southern
Preliminary Plat

Project: 17-054
Drawn by: DCH
Check: DCH

Sheet No. 1 of 3

Lot #	Area	Lot #	Area	Lot #	Area	Lot #	Area	Lot #	Area
1	5290.00	36	5290.00	51	5290.00	76	5290.00	91	5290.00
2	5290.00	37	5290.00	52	5290.00	77	5290.00	92	5290.00
3	5290.00	38	5290.00	53	5290.00	78	5290.00	93	5290.00
4	5290.00	39	5290.00	54	5290.00	79	5290.00	94	5290.00
5	5290.00	40	5290.00	55	5290.00	80	5290.00	95	5290.00
6	5290.00	41	5290.00	56	5290.00	81	5290.00	96	5290.00
7	5290.00	42	5290.00	57	5290.00	82	5290.00	97	5290.00
8	5290.00	43	5290.00	58	5290.00	83	5290.00	98	5290.00
9	5290.00	44	5290.00	59	5290.00	84	5290.00	99	5290.00
10	5290.00	45	5290.00	60	5290.00	85	5290.00	100	5290.00
11	5290.00	46	5290.00	61	5290.00	86	5290.00		
12	5290.00	47	5290.00	62	5290.00	87	5290.00		
13	5290.00	48	5290.00	63	5290.00	88	5290.00		
14	5290.00	49	5290.00	64	5290.00	89	5290.00		
15	5290.00	50	5290.00	65	5290.00	90	5290.00		
16	5290.00	51	5290.00	66	5290.00	91	5290.00		
17	5290.00	52	5290.00	67	5290.00	92	5290.00		
18	5290.00	53	5290.00	68	5290.00	93	5290.00		
19	5290.00	54	5290.00	69	5290.00	94	5290.00		
20	5290.00	55	5290.00	70	5290.00	95	5290.00		
21	5290.00	56	5290.00	71	5290.00	96	5290.00		
22	5290.00	57	5290.00	72	5290.00	97	5290.00		
23	5290.00	58	5290.00	73	5290.00	98	5290.00		
24	5290.00	59	5290.00	74	5290.00	99	5290.00		
25	5290.00	60	5290.00	75	5290.00	100	5290.00		
									639,000.00
									TOTAL SQ. FT.

TRACT	USE	AREA (SQ. FT.)	AREA (AC.)
A	LANDSCAPE / OPEN SPACE / RETENTION	388231	4.88
B	LANDSCAPE / OPEN SPACE	1112	0.02
C	LANDSCAPE / OPEN SPACE	24075	0.55
D	LANDSCAPE / OPEN SPACE	2286	0.05
E	LANDSCAPE / OPEN SPACE	966	0.02
F	LANDSCAPE / OPEN SPACE	11818	0.26
G	LANDSCAPE / OPEN SPACE	2286	0.05
H	LANDSCAPE / OPEN SPACE	2286	0.05
TOTAL TRACT AREA		347772	3.71



RS-6 PAD DEVELOPMENT STANDARDS

(TYPICAL LOT DIAGRAM TO THE LEFT)

LOT AREA (MIN.)	5,380 SQ. FT.
LOT WIDTH (MIN.)	46 FEET
LOT DEPTH (MIN.)	115 FEET
BUILDING SETBACKS	11 FEET
FRONT SETBACK (MIN.)	30 FEET
FRONT SETBACK (GARAGE)	5 FEET (IF AGGREGATE)
SIDE SETBACK	30 FEET
REAR SETBACK	30 FEET
LOT COVERAGE (MAX.)	80%
HEIGHT (MAX.)	30 FEET (5 STOREYS)

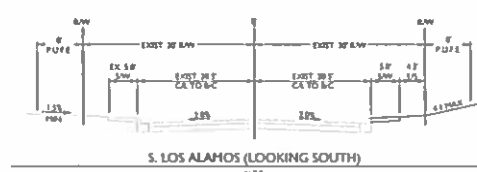
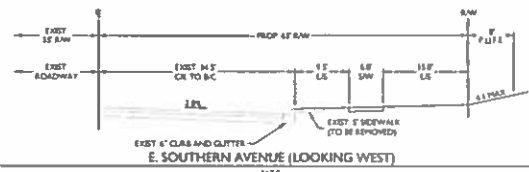
FLOOD ZONE

THIS SUBJECT PARCEL LIES WITHIN FLOOD ZONE "X" AND "Y" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FEMA MAP NO. 8468C020P, DATED: NOVEMBER 4, 2015.

FLOOD ZONE "X" IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

FLOOD ZONE "Y" IS DEFINED AS AREAS OF 1% ANNUAL CHANCE FLOOD (BUT NOT AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF 1 TO 3 FEET). AREAS OF FLOODING, BASE FLOOD ELEVATIONS DETERMINED.

FLOOD ZONE "X" AREAS WILL BE REMOVED BY CLOSING PROCESS AT FINAL PLAT.



PROJECT DATA

PROJECT DEVELOPER:
LINDSAY & SOUTHERN
11111 1ST STREET, SUITE 100
PHOENIX, AZ 85044
TEL: (602) 798-3949
CONTACT: JASON JAMES

CONSULTANT:
EPS GROUP, PLLC
3810 S. VINEYARD, SUITE 100
PHOENIX, AZ 85044
TEL: (602) 961-2288
FAX: (602) 961-2288
CONTACT: DANIEL ALONSO, PE

PROJECT DATA

A.P.N.	148-45-001-001, 002
CURRENT LAND USE	NEIGHBORHOOD AGRICULTURE
EXISTING ZONING	RS-6
PROPOSED ZONING	RS-6
GROSS AREA	50.76 ACRES
NET AREA	14.86 ACRES
LOT SIZE	46' x 115'
NO. OF LOTS	100
GROSS DENSITY	4.81 DU/AC
NET DENSITY	4.43 DU/AC
OPEN SPACE	3.71 ACRES (21.7% OF GROSS AREA)

GENERAL NOTES

- THIS PLAN IS NOT A CONSTRUCTION DOCUMENT.
- LOT DIMENSIONS ARE APPROXIMATE. FINAL LOT DIMENSIONS SHALL BE PER THE FINAL PLAT.
- ALL ROADS SHALL BE CONSTRUCTED TO THE CITY OF MESA MINIMUM STANDARDS AS MODIFIED HEREIN.
- THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE TRACTS AND ALL STREET IMPROVEMENTS AND FACILITIES OUTSIDE OF THE RIGHT OF WAY.
- THIS DEVELOPMENT WILL PROVIDE FOR INSTALLATION AND MAINTENANCE OF REQUIRED STREET LIGHTS OUTSIDE OF THE RIGHT OF WAY.
- DRAINAGE CONCEPTS ARE SHOWN THE PRELIMINARY GRADING PLAN.

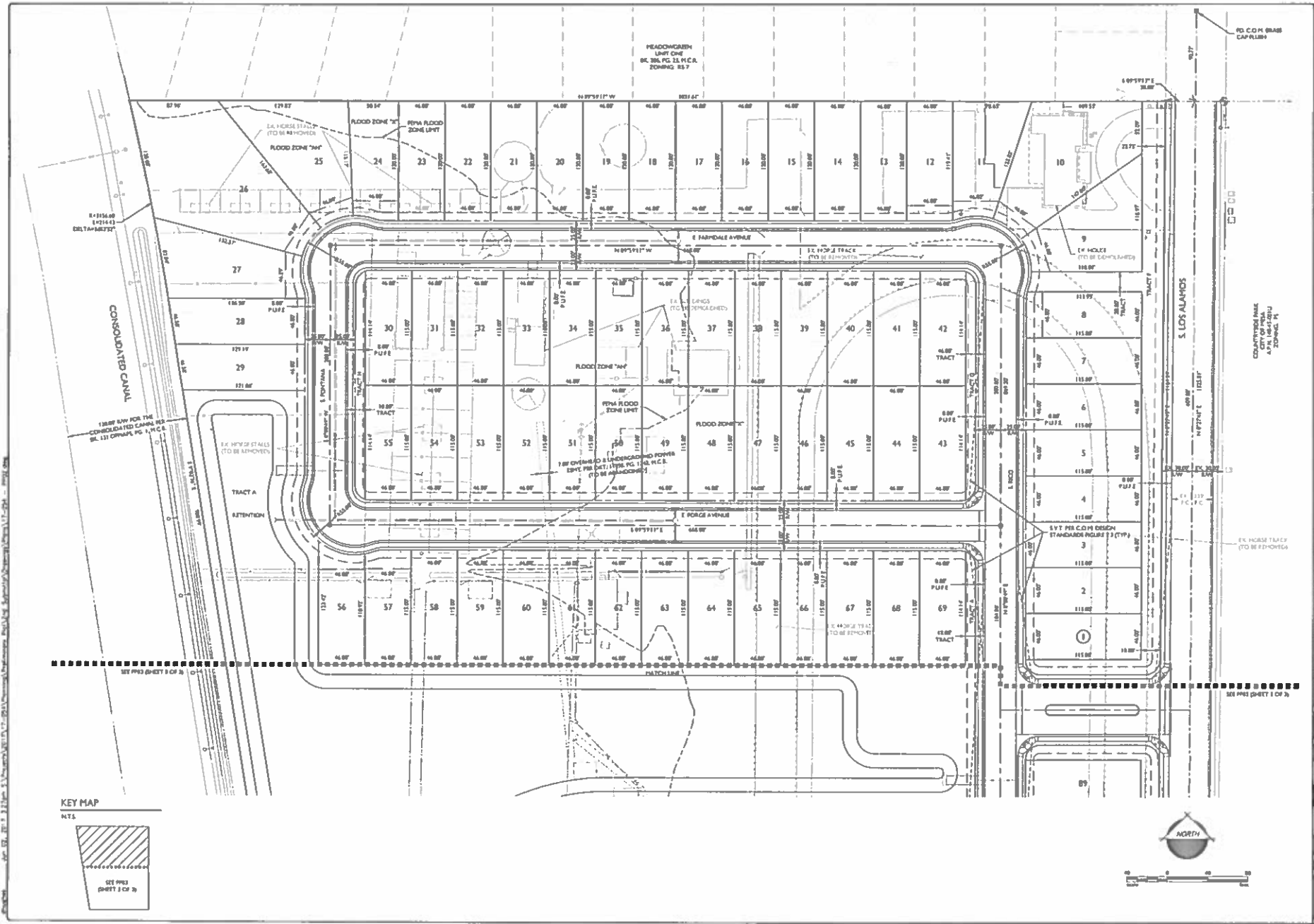
UTILITIES

WATER	CITY OF MESA
SEWER	CITY OF MESA
NATURAL GAS	CITY OF MESA (SOUTHWEST GAS)
ELECTRIC	SALT RIVER PROJECT
TELEPHONE	CENTURYLINK / COX COMMUNICATIONS
CABLE TV	

BASE OF BEARING

SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, SAID BEARING BEING

SOUTH 89 DEGREES 34 MINUTES 11 SECONDS EAST



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 Fresno, CA 93715
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EPS GROUP

Lindsay & Southern
 Preliminary Plat

Project: 17-054
 Designer: DCH
 Drawn by: DCH
 Date: 12/11/2014
 Job No: 17-054
 PP02
 Sheet No: 2
 of 3

[illegible]

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