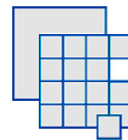


Case Nos. ZON17-0260 & DRB17-00261

Mesa Medical (66th St & McKellips)



Submitted by:



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

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Introduction

Pew & Lake, PLC, on behalf of MS McKellips LLC, is pleased to submit this narrative statement in support of the formal development applications being submitted to the City for Mesa Medical, an approximately 14,000 square foot office building on roughly 2.4 acres, located at the southwest corner of McKellips and 66th Street in northeast Mesa (APNs: 141-65-082, -083, -084 and -085), as shown below:



Figure 1: Vicinity Map

Development Requests

The following development requests are concurrently being made to the City of Mesa for approval:

- ❖ **Rezoning** of approximately 2.416 acres from RS-9 to the NC-BIZ
- ❖ **Site Plan Review** of an approximately 14,000 square foot medical office building and the associated site improvements
- ❖ **Amended/Preliminary Plat** of Pomeroy Estates for the reconfiguration and lot combination of lots previously platted lots
- ❖ **Design Review** of the proposed medical office building



Site Background & Context

The subject parcels are an assembly of four overlooked and undeveloped infill parcels in the Pomeroy Estates subdivision at the southwest corner of McKellips and 66th Street, with arterial and collector street frontages (TAB 1). Pomeroy Estates was recorded in the mid-1970's when the property was under Maricopa County jurisdiction. The subdivision consisted of 49 lots, with these being the last four lots, which never developed residentially over all these years.

Surrounding Conditions

The property lies at a corner of two streets, McKellips and 66th Street. Directly to the east lies the Red Mountain Villas Condominiums (developed in the mid-1990's) and to the south and west are the Pomeroy Estates single-family homes. McKellips is directly to the north of the property, and then Skyway Village is single-family subdivision on the north side of McKellips, which was recorded in the late 1950's, but homes were not constructed until the 1970's. The following map shows the existing and proposed land uses of the surrounding area as it relates to the City's General Plan Character Area classification:

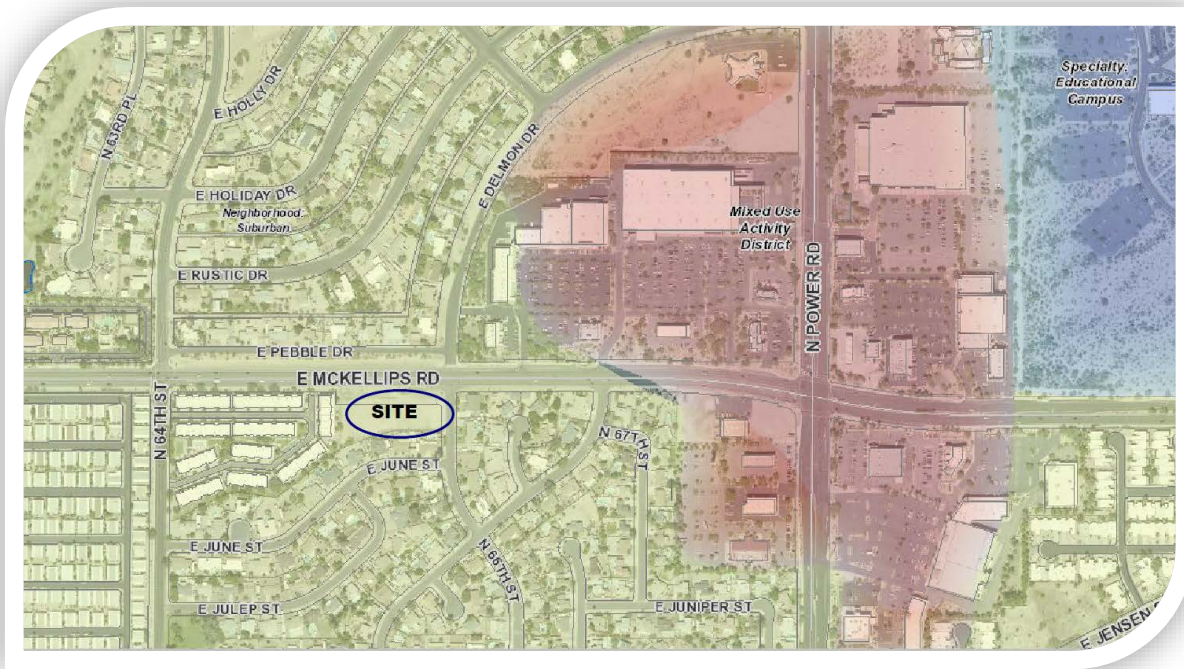


Figure 2: Existing General Plan Character Areas

Zoning Amendment

The subject property is currently zoned for single-family residential. The rezoning request encompasses a change from the RS-9 to the Neighborhood Commercial (NC)-BIZ zoning district for 2.4 acres, which would accommodate the development of a 14,000 square foot medical office building and the associated site improvements.

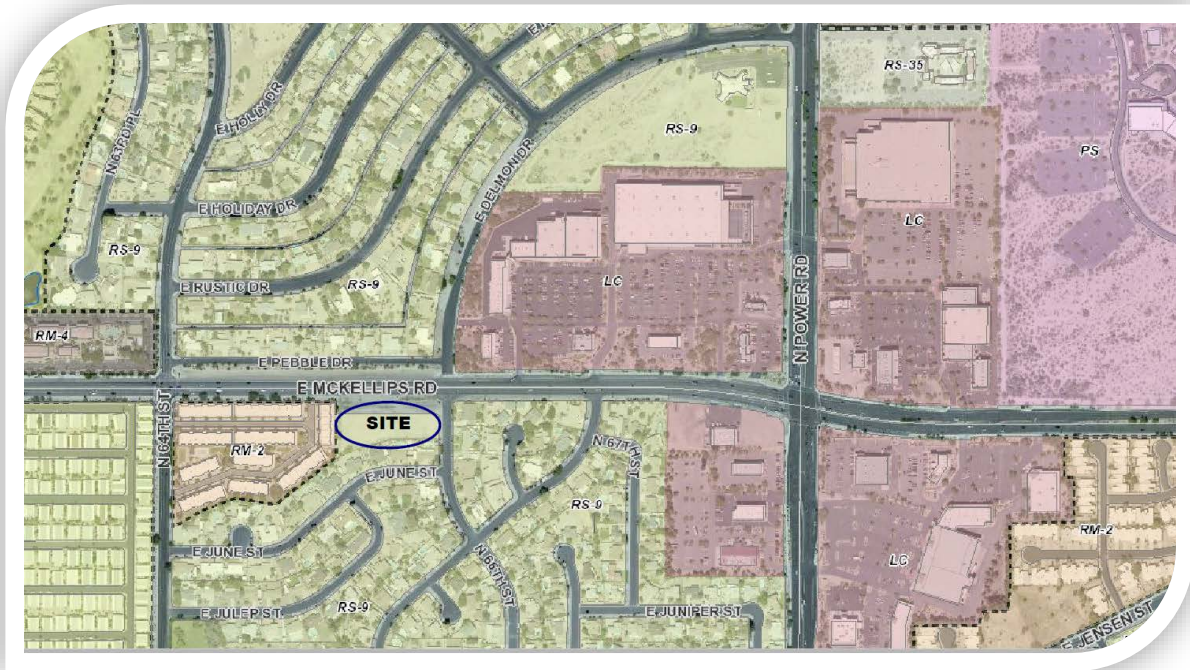


Figure 3: Surrounding Zoning Districts

General Plan Consistency

Mesa Medical is a development proposal that is fully consistent with the "Suburban" Neighborhoods Character Area Sub-type of Mesa's General Plan, and further conformance to the General Plan is demonstrated in the following ways:

- ❖ As part of a total neighborhood area, [Suburban Neighborhood] character type may also contain areas of duplexes and other multi-residence properties and commercial uses along arterial frontages and at major street intersections.
 - An appropriate location for commercial uses, Mesa Medical is located at the intersection of McKellips Road, an arterial, and 66th Street, a collector street, which location integrates with and provides a desirable transitional use with the surrounding single and multi-family residential developments.

- ❖ *The primary focus of the neighborhoods character type is to provide safe places for people to live where they can feel secure and enjoy their surrounding community. Neighborhoods can contain a wide range of housing options and often have associated nonresidential uses such as schools, parks, places of worship, and local serving businesses.*
 - **A single story medical office building is a compatible nonresidential use in the neighborhood, which would provide needed services the neighboring community.**
- ❖ *The total area devoted to local serving businesses (commercial and office activities) in one location is generally less than 15 acres and these businesses would typically serve people within a mile radius of the area.*
 - **This single commercial development is just over two-acres in size and is appropriately scaled and designed to be located adjacent to existing residential uses.**
- ❖ *Nonresidential areas within neighborhoods should be designed and located to bring people together and to not disrupt the fabric and functioning of the neighborhood as a place where people live.*
 - **Through the course of the public outreach on this project, the only two major requests from the adjacent property owners were that the development not have any vehicular access from 66th Street and that the building be single story. This proposal incorporated both of those requests, as there is no driveway located on 66th Street, and the office building is only one story. These considerations will encourage the neighborhood to continue as it has historically functioned and be an asset to the community, not a burden.**
- ❖ *Office and Neighborhood Commercial are identified as secondary land use types appropriate for the Suburban Neighborhood Character Area sub-type*
 - **A proposed medical office is a consistent land use as one of the elements to be incorporated for a vibrant and healthy Suburban Neighborhood Character Area.**

“Great Neighborhoods” Element

Mesa 2040 General Plan states: *“Neighborhoods are the foundation of communities and cities. To be a great city where people want to live, work and play, we need a variety of great neighborhoods.”* A repeated principle throughout The “Great Neighborhoods” element is the encouragement of high-quality architecture, design and materials in the development of properties. This expectation is not exclusively for residential, and Mesa Medical is pleased to be proposing a high-quality architectural designed office building, exceeding minimum building design standards.

Zoning Consistency

Furthermore, the proposal is fully consistent with the purposes of the Neighborhood Commercial (NC) zoning district which is the following:

“To provide areas for locally oriented retail and service uses that serve the surrounding residential trade area within a 1/2 to 2-mile radius. Typical uses include, but are not limited to retail stores, grocery store-anchored shopping centers, drug stores, restaurants and cafes, gas stations, and convenience stores. Other compatible uses include **small-scale medical and professional offices**, personal services, as well as public and semi-public uses. Large-format retail stores are not appropriate in the Neighborhood Commercial District according to the Mesa General Plan.”

Mesa Medical is a small-scale medical and professional offices building that will serve the surrounding community. The site has been designed with the adjacent existing neighborhood in mind, with no vehicular access from the neighborhood street of 66th Street, generous landscaped buffers and setback from the rear property lines and a building that is only a single story.

Development Plan

Mesa Medical consists of a single medical office building of just over 14,000 square feet with dividable tentant suites that have access from a main interior hallway (TAB 2). Commercial site development standards met with this proposal include a building height of 25 feet (maximum permitted 30 feet), the twenty foot landscaped interior perimeter yards, interior parking landscaping and the quantity of plant materials and trees. Sixty-four on-site parking spaces are required and provided. Three foot high parking lot screen walls are also provided along the McKellips Road frontage. Front yard arterial and collector street setbacks of 15 feet are also provided.



Landscape & Open Space

Mesa Medical's landscaping plan meets the minimum requirements of site landscaping and interior landscaped setbacks, of not less than twenty feet on any perimeter when adjacent to the RS zoning district. The proposed natural screen walls of Acacia trees will provide a visual buffer to the adjacent properties. (TAB 3)

Building Design Standards

The office building consists of sand stucco and accent metal channel shade canopies, split face CMU block wainscoting and glass doors and windows on a building with truly four-sided architecture (TAB 4 through 7). Mesa Medical is proposing a functional *and* attractive medical office building that exceeds the City of Mesa's Zoning Ordinance (Section 11-6-3) building design standards, specifically the standards listed below:

- ❖ **Variety in Wall Plane.** Vary exterior building walls in depth and/or direction. Building walls shall exhibit offsets, recesses, or projections with significant depth, or a repeated pattern of offsets, recesses, or projections of smaller depth in a well-integrated composition.
- ❖ **Variety in Height or Roof Forms.** Provide architectural interest at the skyline and accentuate appropriate building elements. Vary building height so that a significant portion of the building has a noticeable change in height; or roof forms are varied over different portions of the building through changes in pitch, plane, and orientation.
- ❖ **Façade Design Incorporates Architectural Detail.** Incorporate details, such as window trim, window recesses, cornices, belt courses, changes in material, or other design elements, into the façade in an integrated composition. Architectural features of the front façade shall be incorporated into the rear and side elevations.
- ❖ **Balconies, Bay Windows, and other such Projections or Recesses.** Incorporate balconies, bay windows, entry porches or other projections and recesses in a pattern that creates architectural interest across the length and height of the façade. Place building projections in a manner that mitigates the effect of solar exposure for users and pedestrians.

Phasing

Mesa Medical will be constructed in a single phase.

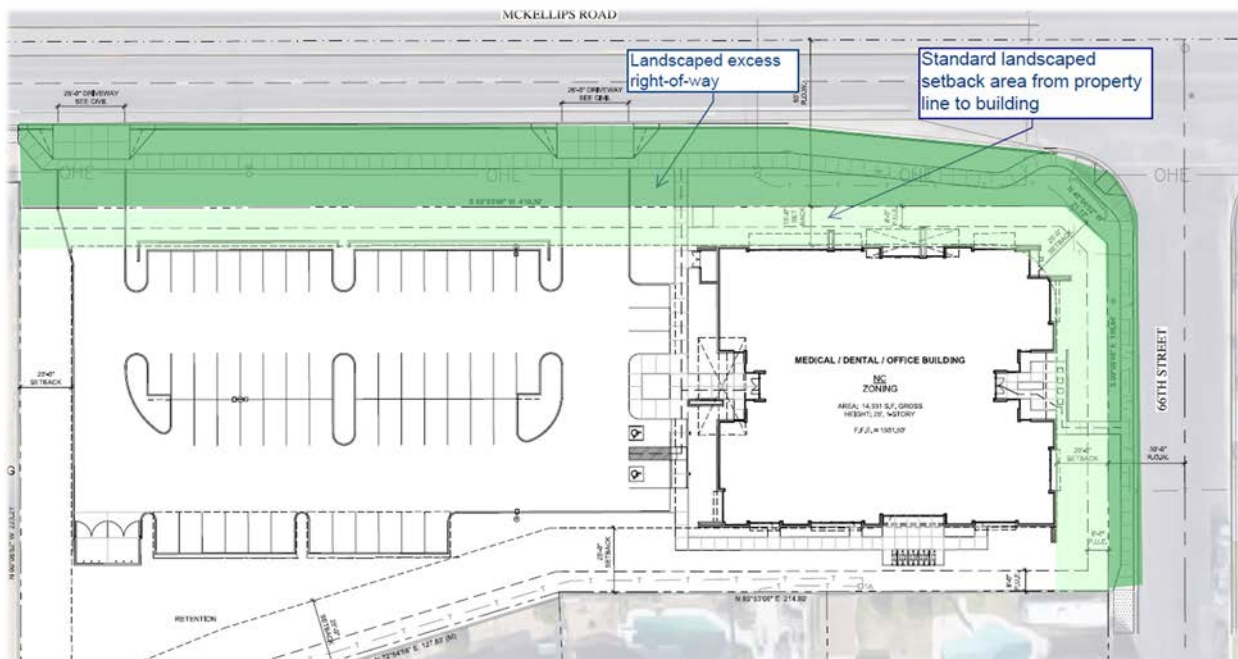


Bonus Intensity Zone (BIZ) Analysis

As a vacant infill parcel integrating into the context of previously developed residential parcels, this project requires the use of the Bonus Intensity Zone (BIZ) overlay for the modification of a Neighborhood Commercial dimensional standard. In addition, the McKellips Road frontage of the property has excess right-of-way of 30 feet for virtually the entire length, creating an even wider buffer than would normally exist. What this means is that from the face of the building to the property line is 15 feet and then from the property line to the back of curb is an additional 30 feet of landscaped area with a detached sidewalk along the McKellips Road frontage.

66th Street frontage also contains excess right-of-way. From the face of building to the property line is 20 feet and then an additional ten feet to the face of curb. This provides an additional five feet of landscaped buffer with a five foot attached sidewalk.

Figure 4 Landscaped Excess Right-of-Way Exhibit



Modified Dimensional Standards (BIZ)

In fully meeting the purpose and intent of Sections 11-6-3(C)(4) *"Incorporating balconies, bay windows, entry porches or other projections and recesses in a pattern that creates architectural interest across the length and height of the façade"* Section 11-6-3(E) the

provisions for permitting building projections into the required setbacks *"Projections should add visual interest and enhance the architecture of the building by providing shade and shadows. Awnings, eaves, overhangs, light shelves and basement window wells may encroach up to 3 feet into any required yard, but shall not be closer than 2 feet to any property line."*¹ The aesthetically pleasing Mesa Medical building's architectural design include accent features that project from the building more than stated and the modification to this design standard is specifically requested with this BIZ application.

Architectural Projection Encroachment

Mesa Medical's architectural design incorporates accent wing walls and metal window brows which provide elevation relief and interest on all four-sides of the building. The design avoids the undesirable flat elevations that otherwise often occur without such architectural features. Consistent with the findings that would have to be made by the Zoning Administrator to approve minor building projections that extend into the required setback, the proposed accent wing wall and window brow overhang encroachments "respond to functional requirements of the project and does not adversely affect the adjacent project, and complies with all requirements of the Building Code, nor are any of the encroachments closer than 2 feet to the property line". In every instance the distance between the architectural projection and property line is at least a minimum of 8 feet.

An example of the metal window brows and accent wing walls are shown below in the building elevation that is facing McKellips Road:

Figure 5 Mesa Medical North Elevation

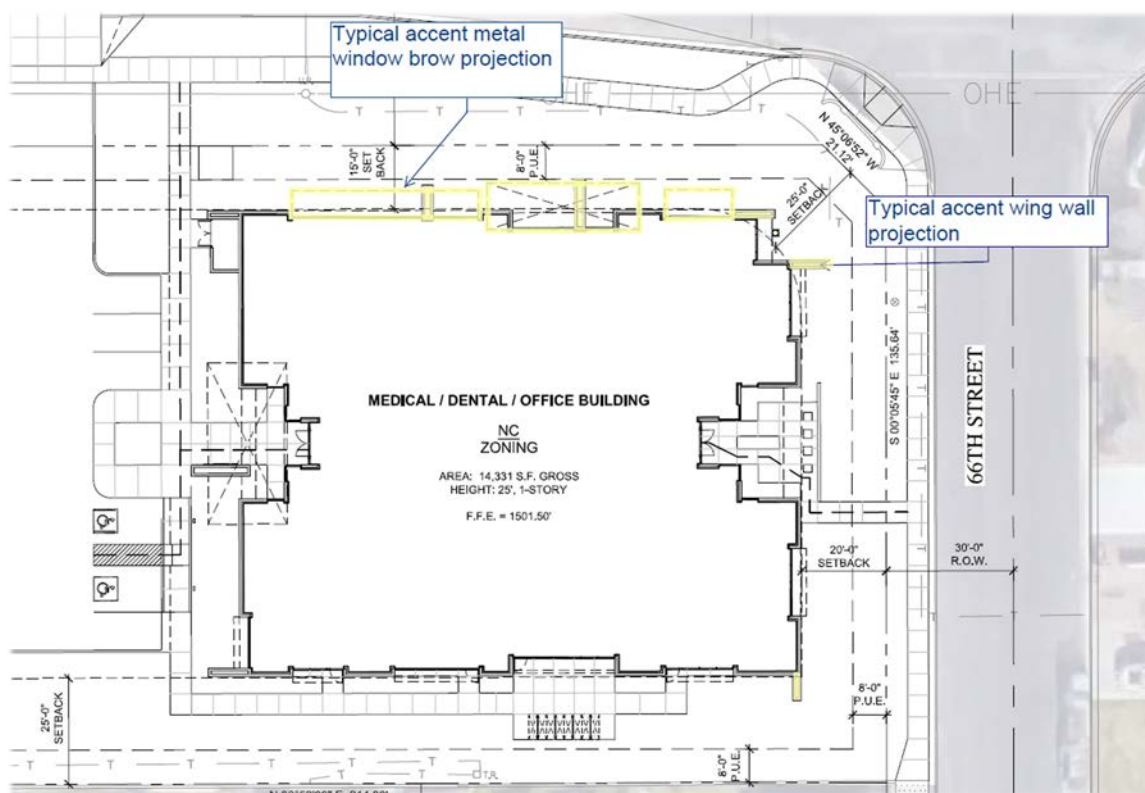


¹ Additional projection into setbacks may be reviewed and approved by the Zoning Administrator; however, with the rezoning already being requested, the preferred mechanism to obtain the additional projections is in conjunction with the Bonus Intensity Zone (BIZ) Overlay rezoning request.

Less than four feet of encroachment is permitted by right in the zoning district and three additional feet for projection of architectural accents and features is requested with this BIZ, for a maximum encroachment of 7 feet (for the major accent wing wall at the front of the building). The other accent wing walls and window brow projections are two to three feet beyond the permitted projection for an average of five to six feet. These architectural accent encroachments occur on the front, side and rear and intersection setbacks².

The proposed accent wing wall projections and window brow overhangs are highlighted in the exhibit below:

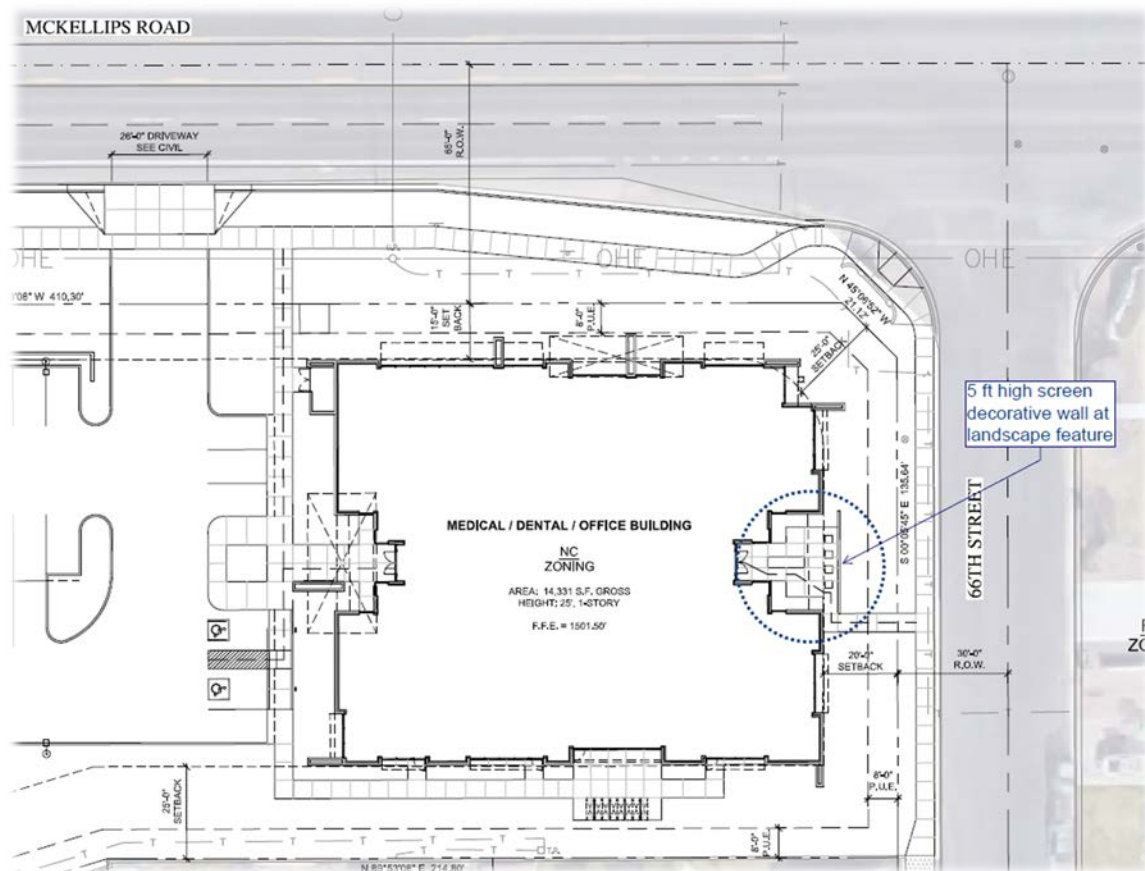
Figure 6 Projection Encroachments Exhibit



² There are some architectural brow and overhand encroachment on the rear and side setback line; however, the encroachment is less than 4 feet and permitted.

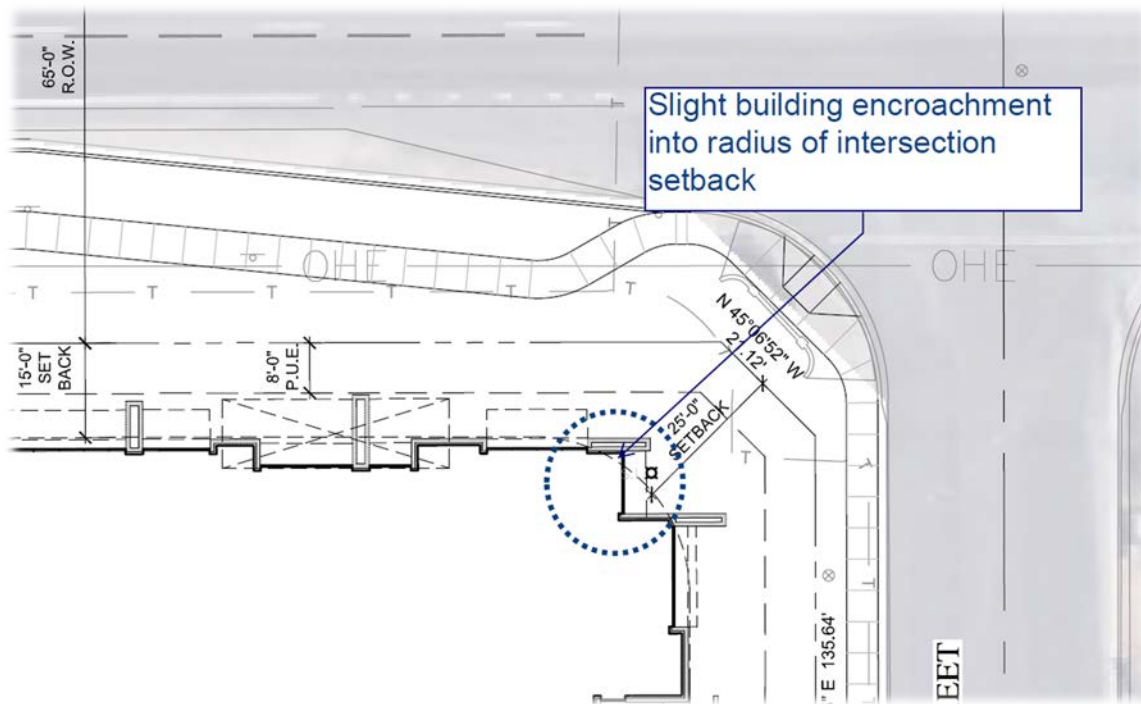
Five-foot High Site Wall

A 5-foot site wall is proposed along the 66th Street entrance to the building and is located within the landscaped setback area. This site wall is the backdrop for courtyard planter area and is the project's landscape feature. The height of the wall exceeds the permitted height in the landscaped setback, but again for design purposes, the decorative courtyard and the enhanced screening provided by this amenity at this location, a modification to this design standard is also included in the BIZ request. This modification does not decrease the landscaping area, both because there is the five feet of excess landscaped right-of-way, but provides a thoughtful well-designed landscaped amenity to the site and provides additional screening for the neighboring properties. The location of this site wall is shown below:



Intersection Encroachment

Lastly, a very small portion of the building's most northeasterly corner lies just inside the 25-foot landscaped radius intersection. Again, with the excess right-of way along both street frontages of this corner, this miniscule encroachment does not negatively impact the corner or cause any less landscaping than what would otherwise occur at that location. The corner encroachment is shown below:



Design Review

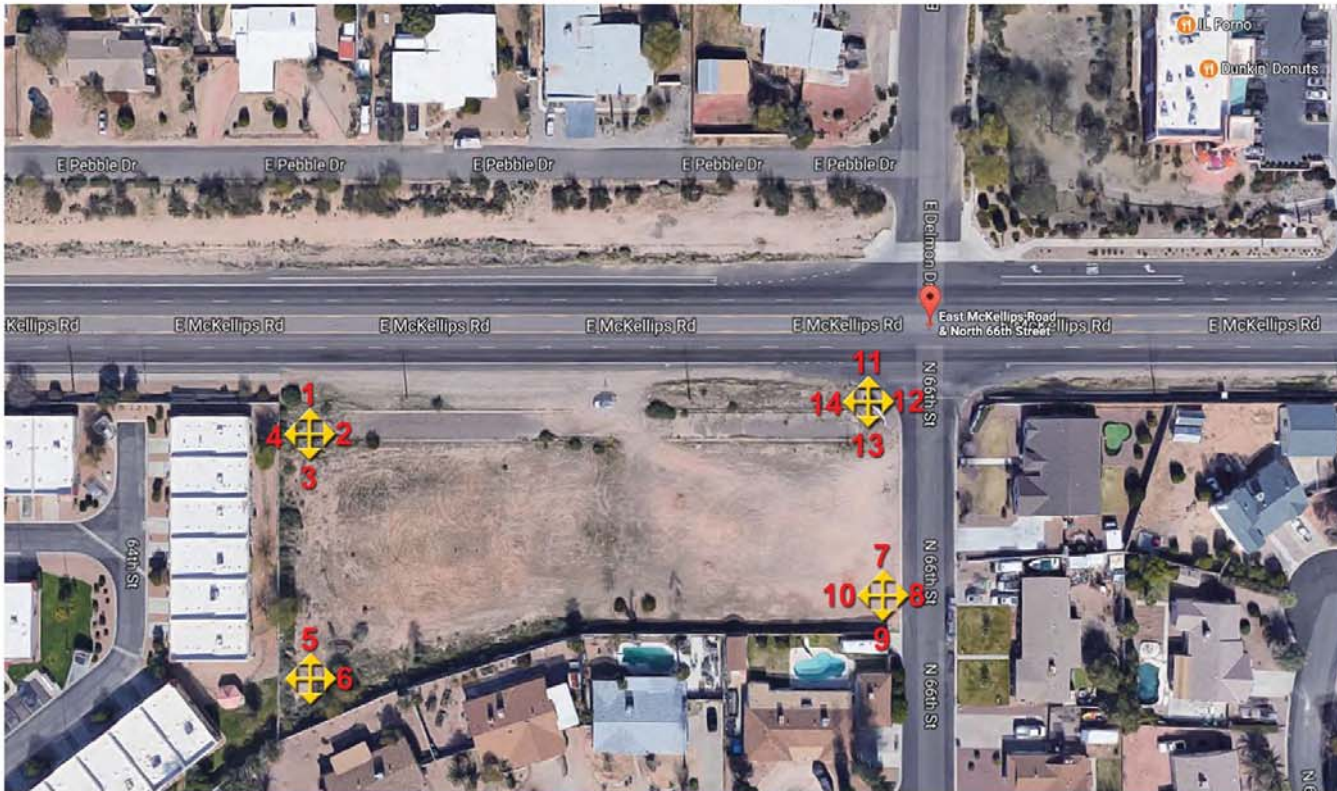
As previously demonstrated and described, Mesa Medical office building with its proposed modern architecture and materials exceeds the minimum building design standards. A building materials sheet has been included, as have the lighting cut sheets and photometric plan sheet. The proposed lighting meets City of Mesa development standards when adjacent to residentially developed properties, of parking lot light poles not exceeding 15 feet in height (TAB 8).

Preliminary Plat, Grading & Drainage

An Amended/Preliminary Plat of Pomeroy Estates is included in this request for approvals (TAB 9). This action and approval will also be the means to accomplish “housekeeping” for previously abandoned right-of-way parcels to be incorporated into a single recorded parcel. A preliminary grading, drainage and utility plan is also included and consistent with City of Mesa standards. (TAB 10)

Table of Exhibits

<i>Tab</i>	<i>Description</i>
In text	Vicinity Map
In text	Existing General Plan Character Areas
In text	Surrounding Zoning Districts
1)	Site Context Exhibit
2)	Site Plan
3)	Landscape Plan
4)	Building Elevations, Sections & Floor Plans
5)	Colored Building Elevations
6)	Building Materials Board
7)	Office Building Renderings
8)	Photometric, Electrical Plan & Cut Sheet
9)	Preliminary Plat
10)	Preliminary Grading, Drainage & Utility Plan





SUN STATE BUILDERS 1050 W. Washington Street #214 Tempe, AZ 85281 480.894.1286

www.sunstatebuilders.com

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MESA, AZ

08.25.17

MESA MEDICAL





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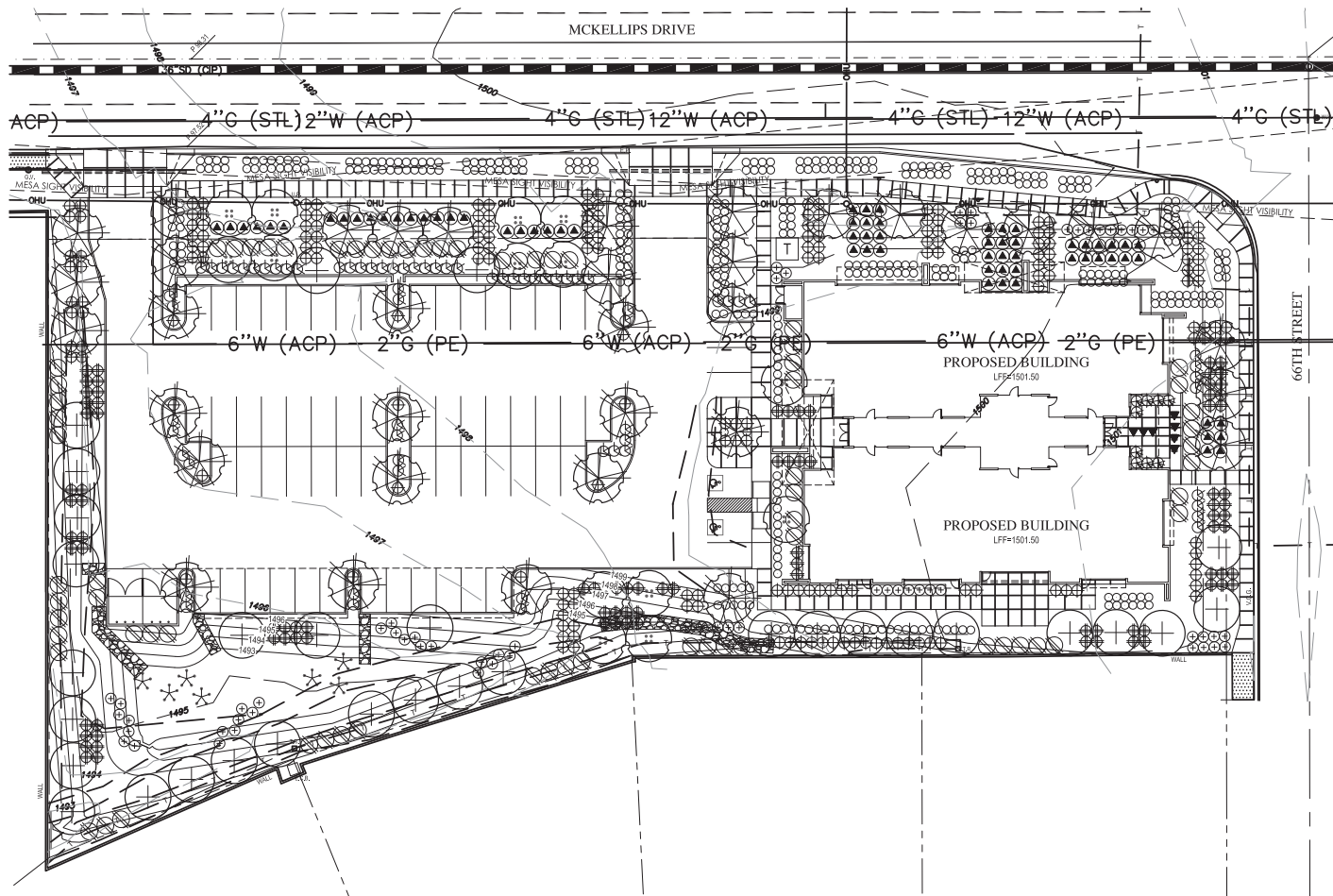
MESA, AZ

08.25.17

MESA MEDICAL



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LANDSCAPE PLAN

SCALE: 1" = 20'-0"



CITY OF MESA LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.

ARTERIAL STREET:

- (2) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

MAJOR / MIDSECTION COLLECTOR STREET:

- (2) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

COLLECTOR/INDUSTRIAL/COMMERCIAL STREET:

- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

PUBLIC OR PRIVATE LOCAL STREET:

- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

7. PLANT MATERIAL SIZES REQUIRED:

TREES: [TOTAL REQUIRED TREES:]

- 25% SHALL BE 36" BOX OR LARGER
- 50% SHALL BE 24" BOX OR LARGER
- NO TREES LESS THAN 15 GALLON

SHRUBS: [TOTAL REQUIRED SHRUBS:]

- 50% SHALL BE 5 GALLON OR LARGER.
- NO SHRUBS LESS THAN 1 GALLON

8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND PARKING SHALL BE INSTALLED @ EACH END OF ROW OF STALLS AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES

9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO, OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.

10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.

11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.

12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.

13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS

14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'

15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G. COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR

16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR L.C.C.

17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

LANDSCAPE LEGEND

- PISTACHE 'RED PUSH' RED PUSH PISTACHE 24" BOX (MATCHING)
- PISTACHE LENTISCUS MASTIC TREE 36" BOX
- ACACIA SALICINA WILLOW ACACIA 24" BOX
- CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON
- TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON
- HESPERALOE PARVIFLORA RED YUCCA 5 GALLON
- DASYLIRION WHEELERII DESERT SPOON 5 GALLON
- MUHLBERGIA 'REGAL MIST' REGAL MIST DEER GRASS 5 GALLON
- RUELLIA PENINSULARIS BAJA RUELLIA 5 GALLON
- AGAVE WEBERII WEBBER'S AGAVE 5 GALLON
- NANDINA DOMESTICA HEAVENLY BAMBOO 5 GALLON
- PACHYCREUS MARINATUS MEXICAN FENCE POST 24" BOX (5 TRUNK MIN.)
- LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON
- LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON

- 1/2" MINUS MADISON GOLD DECOMPOSED GRANITE
- 2" DEPTH IN ALL LANDSCAPE AREAS



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

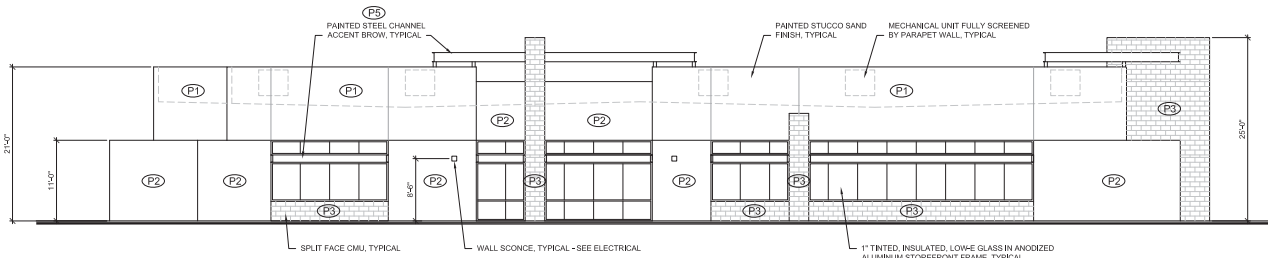
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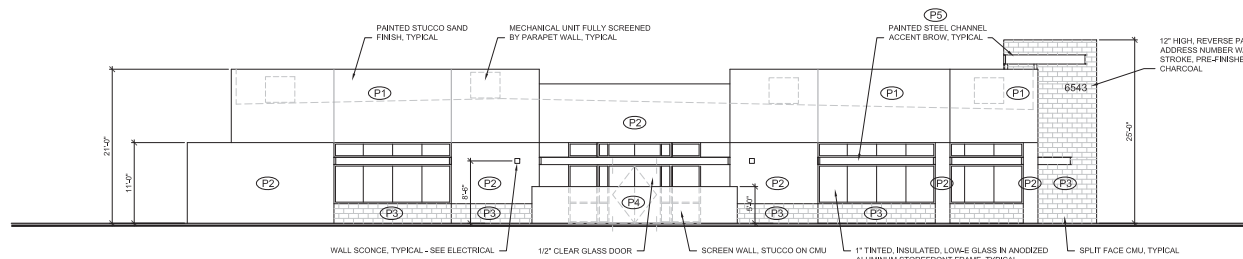
SSB - MESA MEDICAL
MESA, AZ
LANDSCAPE PLAN

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37010
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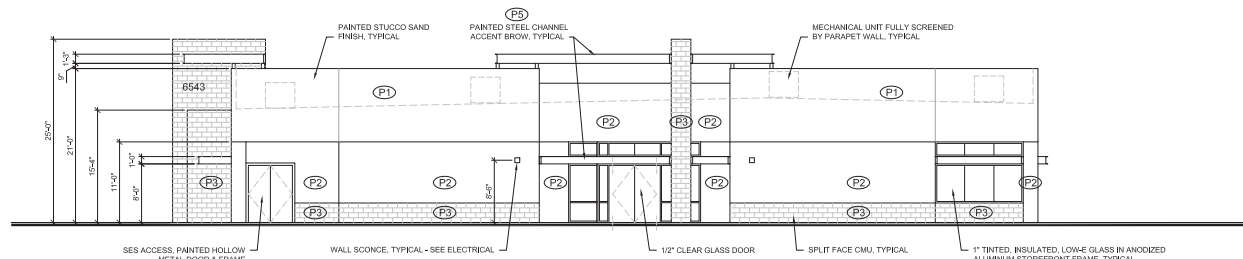




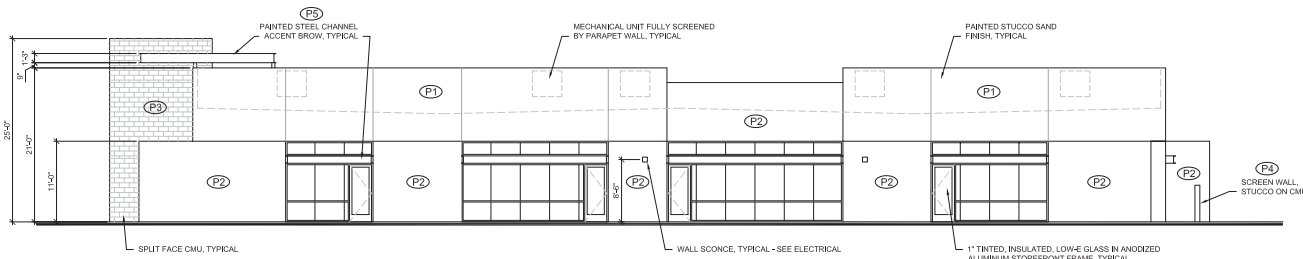
4 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

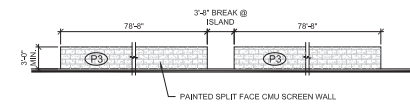


1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

DOUBLE BIN ENCLOSURE: PAINTED SPLIT FACE CMU SCREEN WALLS W/ PAINTED METAL FRAME AND METAL DOOR GATES. SIZE PER CITY STANDARD DETAIL.



6 TRASH ENCLOSURE
 SCALE: 1/8" = 1'-0"



5 PARKING SCREEN WALL
 SCALE: 1/8" = 1'-0"

PAINT & MATERIAL LEGEND:

ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT

- P1 DEC741 'BONE WHITE', LRV 69
- P2 DEC752 'BIRCHWOOD', LRV 49
- P3 DEC750 'BISON BEIGE', LRV 27
- P4 DE5881 'NEWBURY PORT', LRV 10
- P4 DET467 'HARRISON RUST', LRV 15

ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.

GLASS & FRAMES:

CLEAR LOW REFLECTIVE VISION GLASS:
 GUARDIAN SNR 43 / CLEAR; 1" INSULATED UNITS, 1/4" PANES W/ MILL SPACER.
 VISIBLE LIGHT TRANSMITTANCE: 43%
 SOLAR TRANSMITTANCE: 17%
 U-V TRANSMITTANCE: 19%
 SUMMER / WINTER U-VALUE: 0,27 / 0,29
 SHADING CO-EFFICIENT: 0,26
 SHGC: 0,23

CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES

ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

PRE-SUBMITTAL # PS16-0104



SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"



**SSB - MESA MEDICAL
MESA, AZ
BUILDING SECTIONS**

A-301
37010
03OCT17



BALMER
architectural group





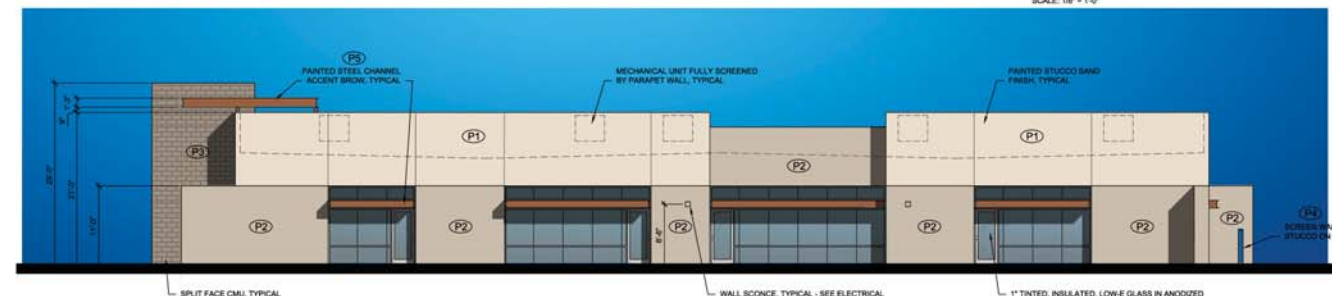
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



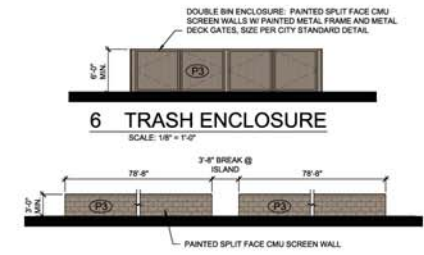
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



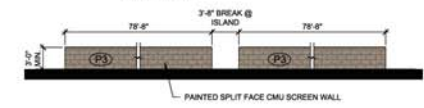
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



6 TRASH ENCLOSURE
SCALE: 1/8" = 1'-0"



5 PARKING SCREEN WALL
SCALE: 1/8" = 1'-0"

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P4	DE5881 'NEWBURY PORT', LRV 10
P5	DET467 'HARRISON RUST', LRV 15

ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.

GLASS & FRAMES:

CLEAR LOW REFLECTIVE VISION GLASS:
GUARDIAN SNR 43 / CLEAR; 1\"/>

ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

PRE-SUBMITTAL # PS16-0104

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF BALMER ARCHITECTURAL GROUP, INC. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BALMER ARCHITECTURAL GROUP, INC. 300 E. GARDEN AVENUE, SUITE 100, PHOENIX, ARIZONA 85018 PH: 602-944-1700 FAX: 602-944-1000 E-MAIL: ATOUR@BALMER-INC.COM



SSB - MESA MEDICAL
MESA, AZ
EXTERIOR ELEVATIONS

A-201
37010
080CT17



MESA MEDICAL

MATERIAL BOARD 10.03.17



split face CMU block



smooth stucco finish

P1

DEC741 'BONE WHITE', LRV 69

P2

DEC752 'BIRCHWOOD', LRV 49

P3

DEC750 'BISON BEIGE', LRV 27

P4

DE5881 'NEWBURY PORT', LRV 10

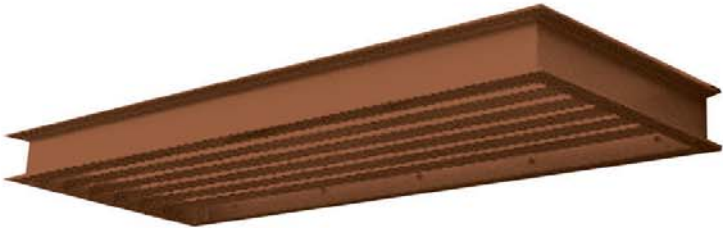
P5

DET467 'HARRISON RUST', LRV 15

★ ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT

★ ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH

Paint Selections



metal 'c' channel shade canopies



insulated glass



framless glass entry doors

GLASS & FRAMES:	
CLEAR LOW REFLECTIVE VISION GLASS:	
GUARDIAN SNR 43 / CLEAR: 1" INSULATED UNITS, 1/4" PANES W/ MILL SPACER.	
VISIBLE LIGHT TRANSMITTANCE:	43%
SOLAR TRANSMITTANCE:	17%
U-V TRANSMITTANCE:	19%
SUMMER / WINTER U-VALUE:	0.27 / 0.29
SHADING CO-EFFICIENT:	0.26
SHGC:	0.23
CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES	



typical store front

IKM LIGHTING **WP9L-LED**
WARPS® Large PicoEmitter® LED
a) synthesized, spec.pdf

FEATURES

- Full Color® Flood emitter technology
- Patented low profile luminaires
- Available in 3000K, 4000K, 5000K and 5600K standard CCT
- Type 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 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1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 222

FOOTWEAR TYPE: 900

FIGURE TYPE: "B"**FASTENER TYPE: 762**

DR2.1
S7010
15AUG17



BALMER
The Art of the Book

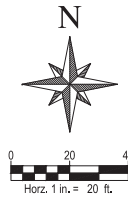
IF DRAWING IS NOT PLOTTED AT 24 x 36 THEY ARE NOT FULL SIZE

A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 6 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



LEGEND	
<p>EXISTING SURVEY</p> <p>SECTION LINE</p> <p>RIGHT OF WAY</p> <p>PROPERTY LINE</p> <p>ROAD CENTERLINE</p> <p>EASEMENT</p> <p>UG ELECTRIC (BURIED CABLE)</p> <p>OVERHEAD ELECTRIC</p> <p>UG TELEPHONE</p> <p>CABLE TELEVISION</p> <p>CHAIN LINK FENCE</p> <p>SEWER LINE</p> <p>STORM DRAIN PIPE</p> <p>WATER LINE</p> <p>MAJOR CONTOUR</p> <p>MINOR CONTOUR</p> <p>FIRE HYDRANT</p> <p>WATER VALVE</p> <p>STREET/PARKING LIGHT</p> <p>UTILITY POLE</p>	<p>PROPOSED GRADING, DRAINAGE & PAVING</p> <p>1300</p> <p>1299</p> <p>MAJOR CONTOUR</p> <p>MINOR CONTOUR</p> <p>STORM DRAIN PIPE</p> <p>SLOPE ARROW</p> <p>1.0%</p> <p>RIP RAP</p> <p>PROPOSED WATER & SEWER</p> <p>WATER LINE</p> <p>WATER LINE FITTINGS</p> <p>BACKFLOW PREVENTION DEVICE</p> <p>WATER VALVE</p> <p>FIRE HYDRANT</p> <p>PLUG</p> <p>TAPPING SLEEVE & VALVE</p> <p>SEWER LINE</p> <p>CLEANOUT</p>

A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 6 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



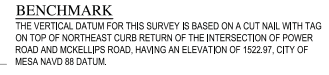
Call at least two full working days before
you begin excavation.

ARIZONA811
Arizona's One Stop, Inc.

Call 602-441-4800 or 1-800-551-8111 (TTS-8111)
In Maricopa County (602) 253-4133

MESA MEDICAL
66TH STREET & MCKELLIPS ROAD
MESA, ARIZONA
PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN



BASIS OF BEARING
THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION (MCDOT) GEODETIC DENSIFICATION AND CADASTRAL SURVEY (GDACS) WEBSITE WWW.MCDOT.MARICOPA.GOV, UNDER THE SURVEY INFORMATION LINK ON MAY 8, 2017.

PROJECTION: CENTRAL ZONE, NAD 83, (EPOCH 2010)
DATUM: GRS-80
UNITS: INTERNATIONAL FEET
GEOID MODEL: GEOID 2012A

CONTROL POINT: V 517
PID: DU2312
LATITUDE: 33°26'33.37039"N
LONGITUDE: 111°44'11.36993"W
ELLIPSOID HEIGHT: 411.693 (METERS)
DESCRIPTION: BRASS DISK IN CONCRETE STAMPED V 517 1992

MODIFIED TO GROUND AT (GRID) N: 892008.774, E: 768275.225, USING A
SCALE FACTOR OF 1.0001561680.

HORIZONTAL ADJUSTMENT: NONE
HORIZONTAL ROTATION: NONE

(CHECKED BY: _____)

BASIN ID	CONTRIBUTING DRAINAGE AREA, A (SF)	WEIGHTED RUNOFF COEFFICIENT, C*	RETENTION VOLUME REQUIRED, V _R (CF)
A	71,040	0.90	11,325
TOTAL	71,040		11,325

*WEIGHTED COEFFICIENTS DETERMINED USING C=0.50 FOR LANDSCAPE AREAS AND C=0.95 FOR PAVEMENT, CONCRETE AND ROOF AREAS.

BASIN ID	TOP CONTOUR ELEVATION	BOTTOM CONTOUR ELEVATION	RETENTION VOLUME PROVIDED, V _p (CF)	RETENTION VOLUME REQUIRED, V _r (CF)
A	1496.0	1493.0	13,504	11,325
TOTAL			13,504	11,325

DESIGN STORM: 100-YEAR, 2-HOUR
RAINFALL DEPTH, P: 2.16 INCHES
 $V_p(\text{BASIN}) = 0.5 \times (\text{TOP CONTOUR AREA} + \text{BOTTOM CONTOUR AREA}) \times (\text{TOP CONTOUR ELEVATION} - \text{BOTTOM CONTOUR ELEVATION})$

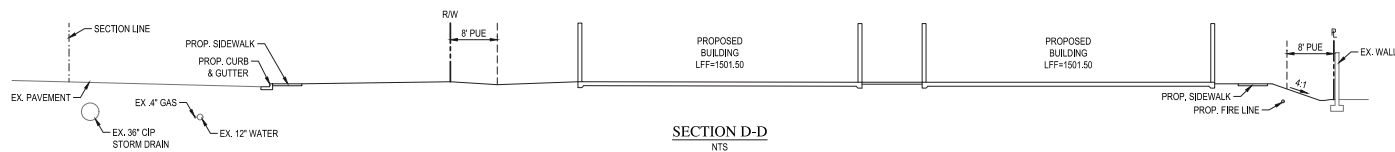
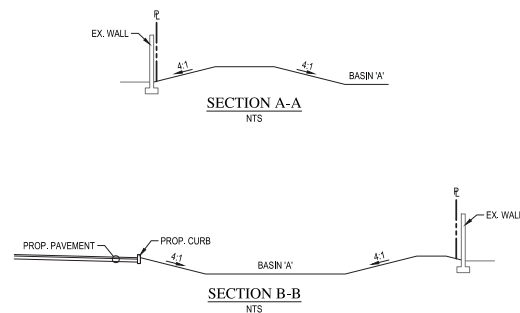
Z:\2017\174657\Drawings\Conceptual\Imp\4657-GD-CON.dwg

(CHECKED BY: NEB DESIGNED BY: NEB DRAFTED BY: JKK)



EXP. RES. (03-21-09)	
SCALE (HORIZ.)	1" = 20'
SCALE (VERT.)	N/A
DATE	10/03/2017
JOB NUMBER	174657
SHEET	
1	OF 2

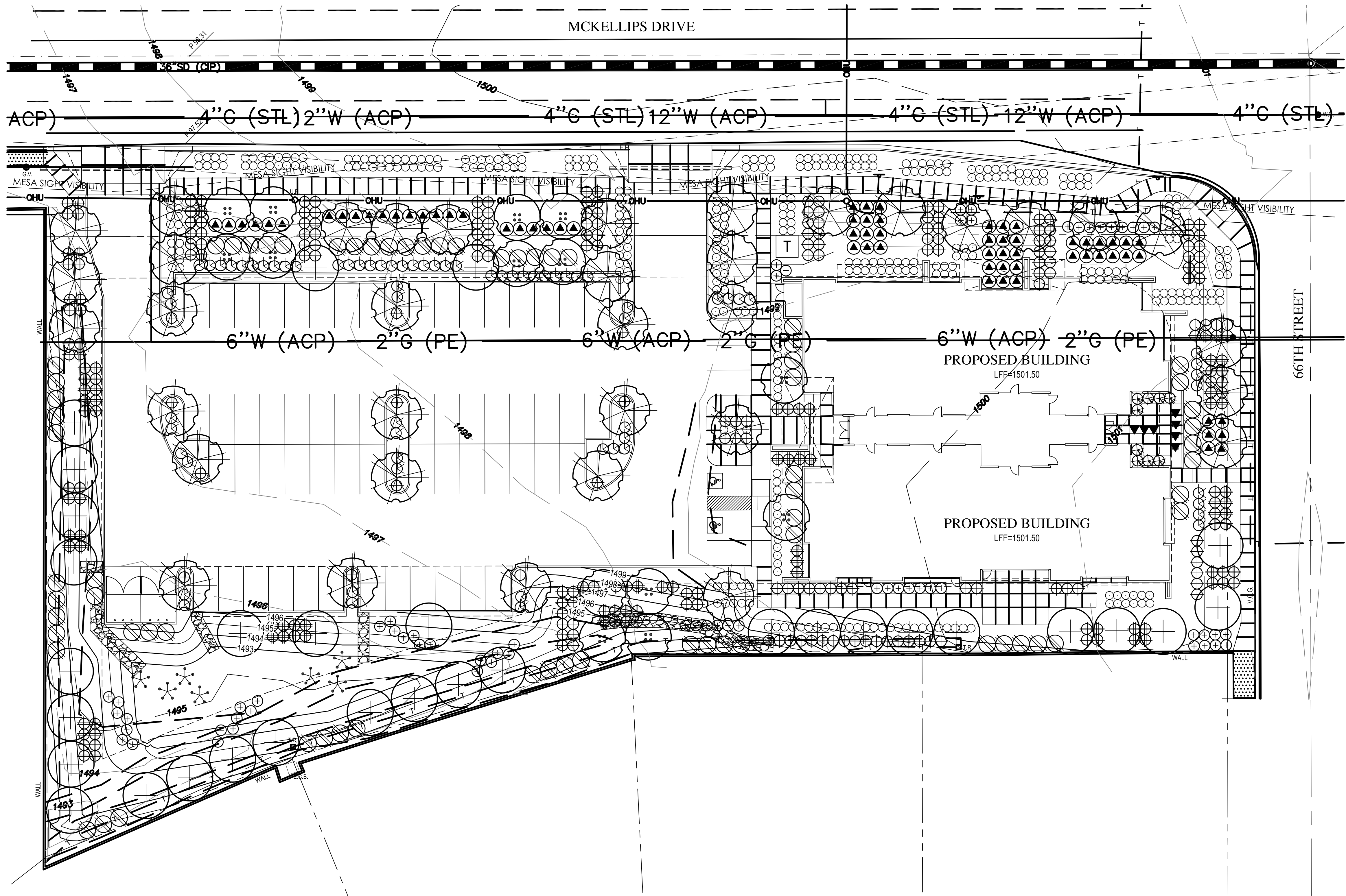
LEGEND	
EXISTING SURVEY	PROPOSED GRADING, DRAINAGE & PAVING
<p>SECTION LINE</p> <p>RIGHT OF WAY</p> <p>PROPERTY LINE</p> <p>ROAD CENTERLINE</p> <p>EASEMENT</p> <p>E O/ELECTRIC (BURIED CABLE)</p> <p>OHE OVERHEAD ELECTRIC</p> <p>TV UT TELEPHONE</p> <p>CABLE TELEVISION</p> <p>CHAIN LINK FENCE</p> <p>4" G (MATERIAL)</p> <p>8" S (MATERIAL)</p> <p>8" W (MATERIAL)</p> <p>-1300-</p> <p>-1299-</p> <p>P 0.00</p> <p>STREET/PARKING LIGHT</p> <p>UTILITY POLE</p>	<p>MAJOR CONTOUR</p> <p>MINOR CONTOUR</p> <p>SPOT ELEVATIONS</p> <p>STORM DRAIN PIPE</p> <p>STORM DRAIN CATCH BASIN</p> <p>SLOPE ARROW</p> <p>GRADE BREAK/KRIDGE</p> <p>RIP RAP</p>
	<p>PROPOSED ROAD & SEWER</p> <p>WATER LINE</p> <p>WATER LINE FITTINGS</p> <p>BACKFLOW PREVENTION DEVICE</p> <p>WATER VALVE</p> <p>FIRE HYDRANT</p> <p>PLUG</p> <p>TAPPING SLEEVE & VALVE</p> <p>SEWER LINE</p> <p>CLEANOUT</p>



MESA MEDICAL
66TH STREET & MCKELLIPS ROAD
MESA, ARIZONA
PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

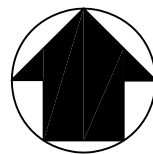
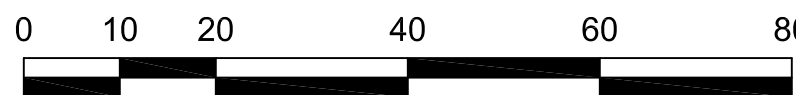
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EXPIRES 03-31-19	
SCALE (HORIZ.)	N/A
SCALE (VERT.)	N/A
DATE	10/03/2017
JOB NUMBER	174657
SHEET	
2	OF 2



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



CITY OF MESA LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH 'ARIZONIA NURSERY ASSOCIATION SPECIFICATIONS' FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.

ARTERIAL STREET:

- (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

MAJOR, MIDSECTION COLLECTOR STREET:

- (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

COLLECTOR/INDUSTRIAL/COMMERICAL STREET:

- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

PUBLIC OR PRIVATE LOCAL STREET:

- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

7. PLANT MATERIAL SIZES REQUIRED:

TREES: (TOTAL REQUIRED TREES:)

- 25% SHALL BE 36" BOX OR LARGER
50% SHALL BE 24" BOX OR LARGER
NO TREES LESS THAN 15 GALLON

SHRUBS: (TOTAL REQUIRED SHRUBS:)

- 50% SHALL BE 5 GALLON OR LARGER.
NO SHRUBS LESS THAN 1 GALLON

8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND
PARKING SHALL BE INSTALLED @ EACH END OF ROW OF STALLS AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES

9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO, OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.

10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION".

11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES".

12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS".

13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS

14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'

15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G. COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR

16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LCC.

17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

LANDSCAPE LEGEND

- PISTACHE 'RED PUSH'
RED PUSH PISTACHE
24" BOX (MATCHING)
- PISTACHE LENTISCUS
MASTIC TREE
36" BOX
- ACACIA SALICINA
WILLOW ACACIA
24" BOX
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- MUHLENBERGIA 'REGAL MIST'
REGAL MIST DEER GRASS
5 GALLON
- RUPELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
- AGAVE WEBERII
WEBBER'S AGAVE
5 GALLON
- NANDINA DOMESTICA
HEAVENLY BAMBOO
5 GALLON
- PACHYCEREUS MARINATUS
MEXICAN FENCE POST
24" BOX (5 TRUNK MIN.)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON

1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

8433 East Cholla St., Suite 101
Scottsdale, Arizona 85260
P. (602) 265-0320 F. (602) 266-6619

EMAIL: timmcqueen@tjmla.net

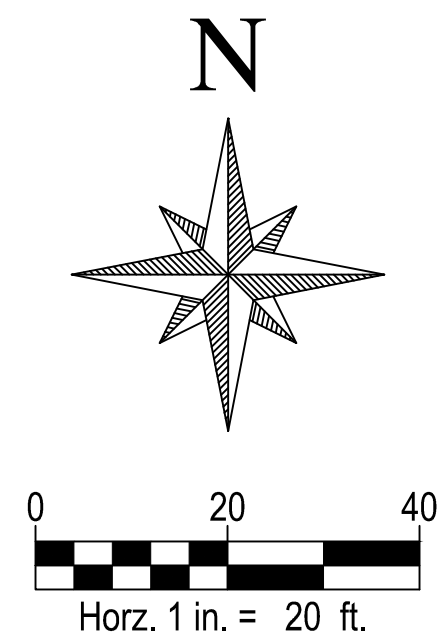


SSB - MESA MEDICAL
MESA, AZ
LANDSCAPE PLAN

La.01
37010
09.30.17



A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 6 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



PROJECT SITE DATA
ASSESSOR PARCEL NUMBER(S):
 141-65-082, 141-65-083, 141-65-084, 141-65-085
PROJECT SITE ADDRESS:
 SOUTHWEST CORNER OF 66TH STREET &
 MCKELLIPS ROAD
PROJECT SITE AREA(S):
 NET AREA = 1.63 AC (71,040 SF)
 DISTURBED AREA = 1.6± AC

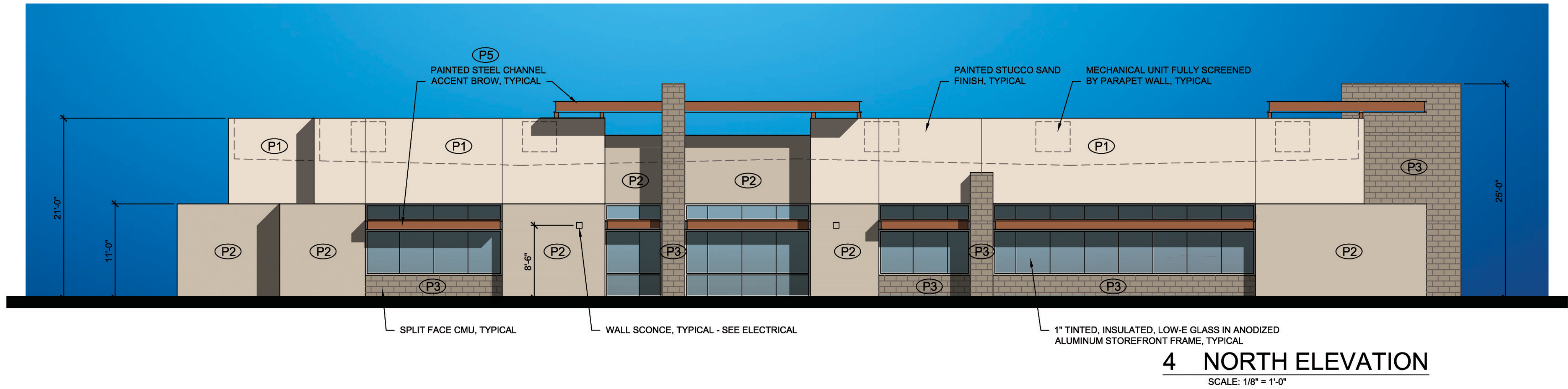
HORIZONTAL ADJUSTMENT: NONE
HORIZONTAL ROTATION: NONE

BASIN ID	TOP CONTOUR ELEVATION	BOTTOM CONTOUR ELEVATION	RETENTION VOLUME PROVIDED, V _P (CF)	RETENTION VOLUME REQUIRED, V _R (CF)
A	1496.0	1493.0	13,504	11,325
TOTAL			13,504	11,325

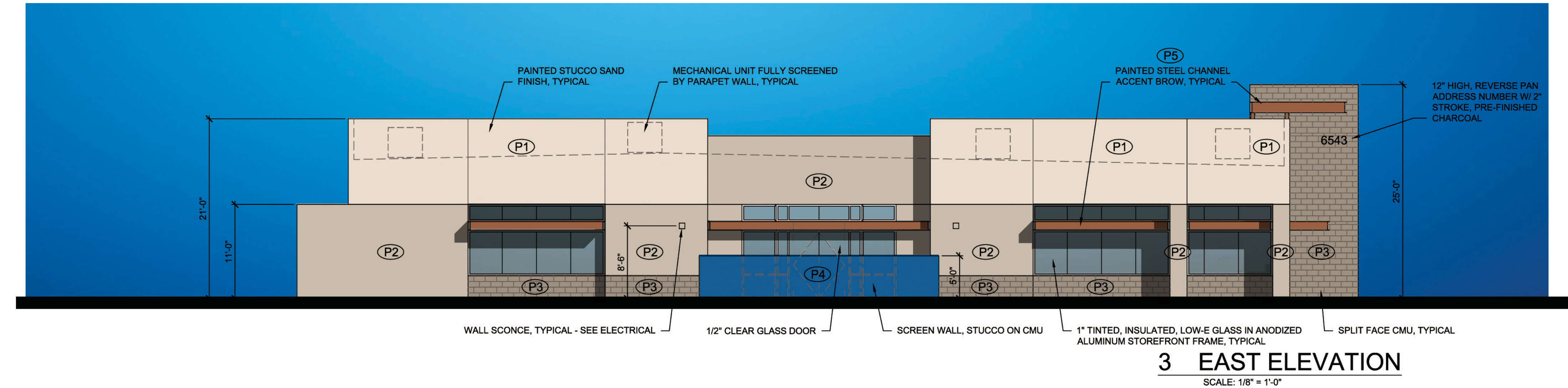
V _R =	C x (P/12) x A
DESIGN STORM:	100-YEAR, 2-HOUR
RAINFALL DEPTH, P:	2.16 INCHES
V _P (BASIN) =	0.5 x (TOP CONTOUR AREA + BOTTOM CONTOUR AREA) x (TOP CONTOUR ELEVATION - BOTTOM CONTOUR ELEVATION)

MESA MEDICAL
66TH STREET & MCKELLIPS ROAD
MESA, ARIZONA
PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

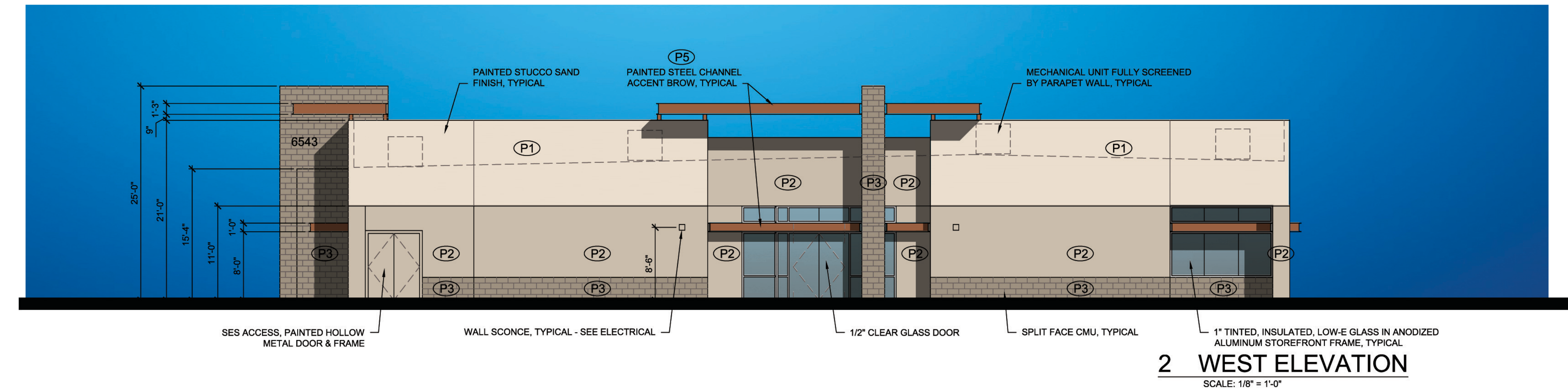
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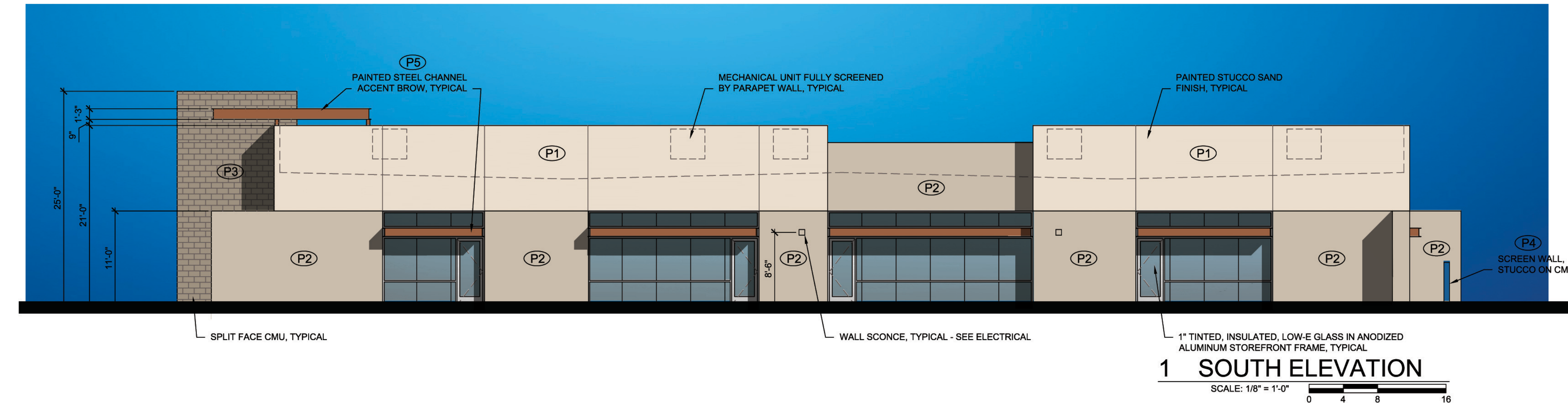
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



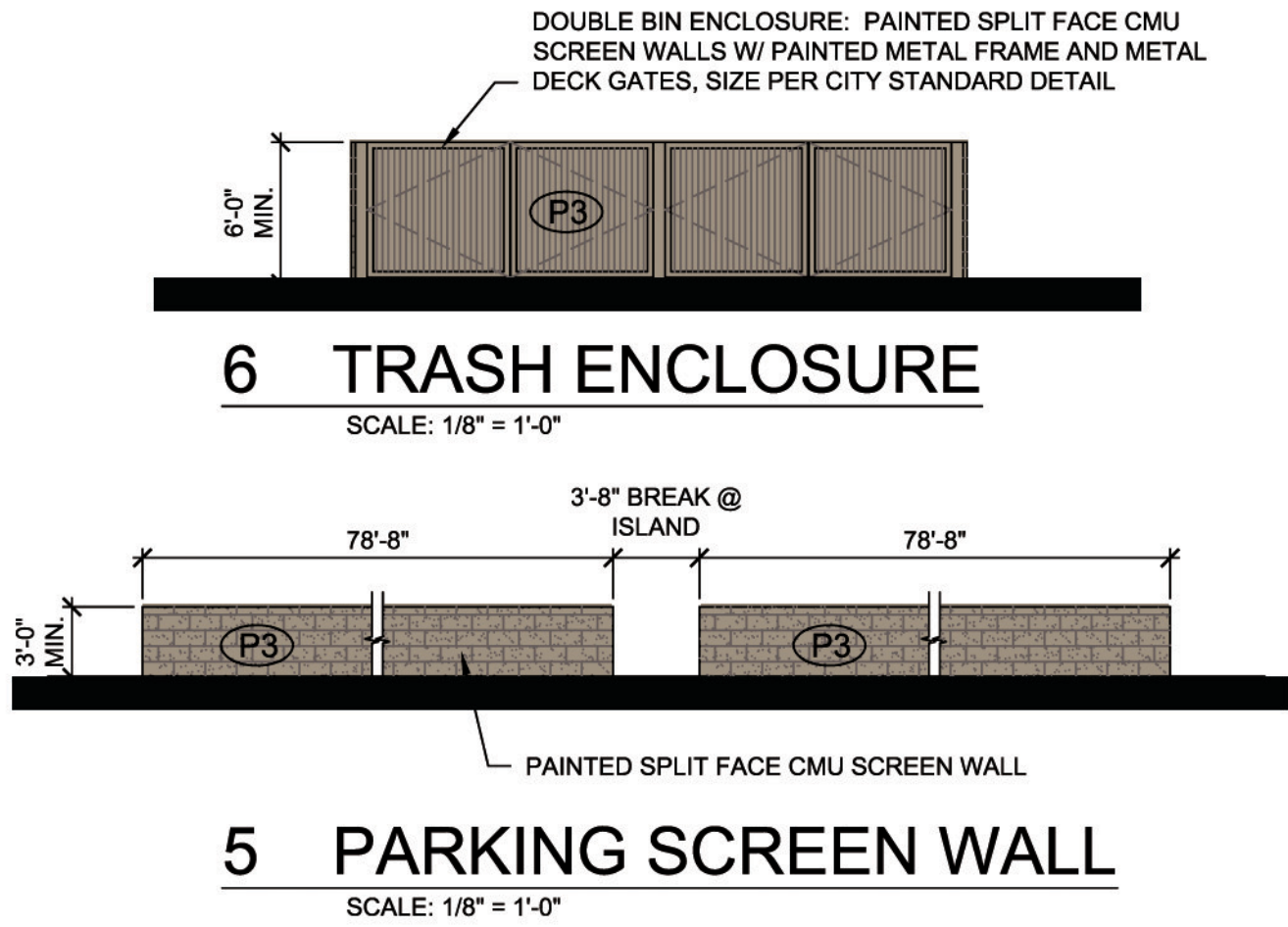
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



6 TRASH ENCLOSURE
SCALE: 1/8" = 1'-0"

5 PARKING SCREEN WALL
SCALE: 1/8" = 1'-0"

PAINT & MATERIAL LEGEND:

ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT

- | | |
|----|--------------------------------|
| P1 | DEC741 'BONE WHITE', LRV 69 |
| P2 | DEC752 'BIRCHWOOD', LRV 49 |
| P3 | DEC750 'BISON BEIGE', LRV 27 |
| P4 | DE5881 'NEWBURY PORT', LRV 10 |
| P4 | DET467 'HARRISON RUST', LRV 15 |

ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.

GLASS & FRAMES:

CLEAR LOW REFLECTIVE VISION GLASS:
GUARDIAN SNR 43 / CLEAR; 1" INSULATED UNITS, 1/4" PANES W/ MILL SPACER.
VISIBLE LIGHT TRANSMITTANCE: 43%
SOLAR TRANSMITTANCE: 17%
U-V TRANSMITTANCE: 19%
SUMMER / WINTER U-VALUE: 0.27 / 0.29
SHADING CO-EFFICIENT: 0.26
SHGC: 0.23

CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES

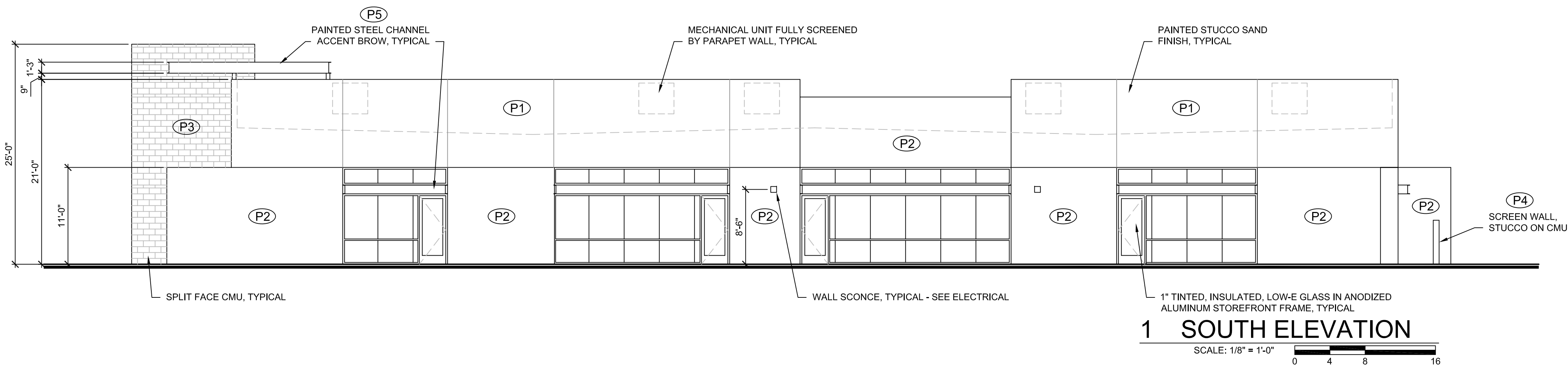
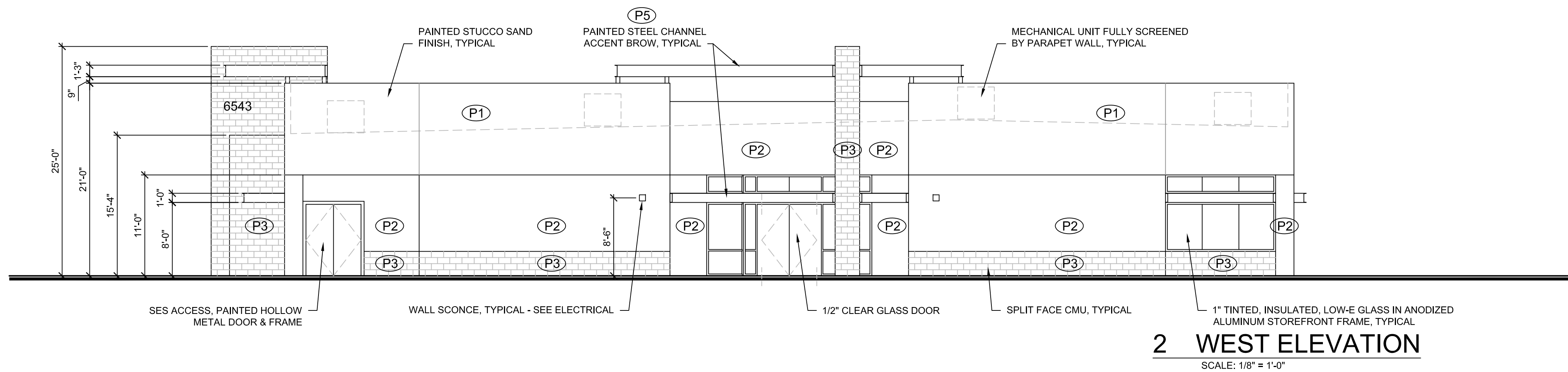
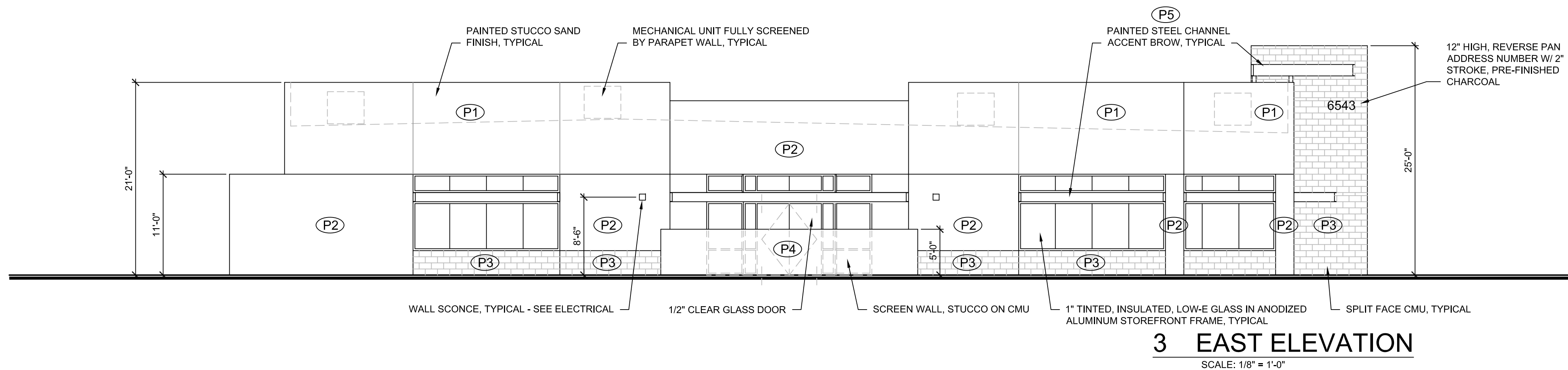
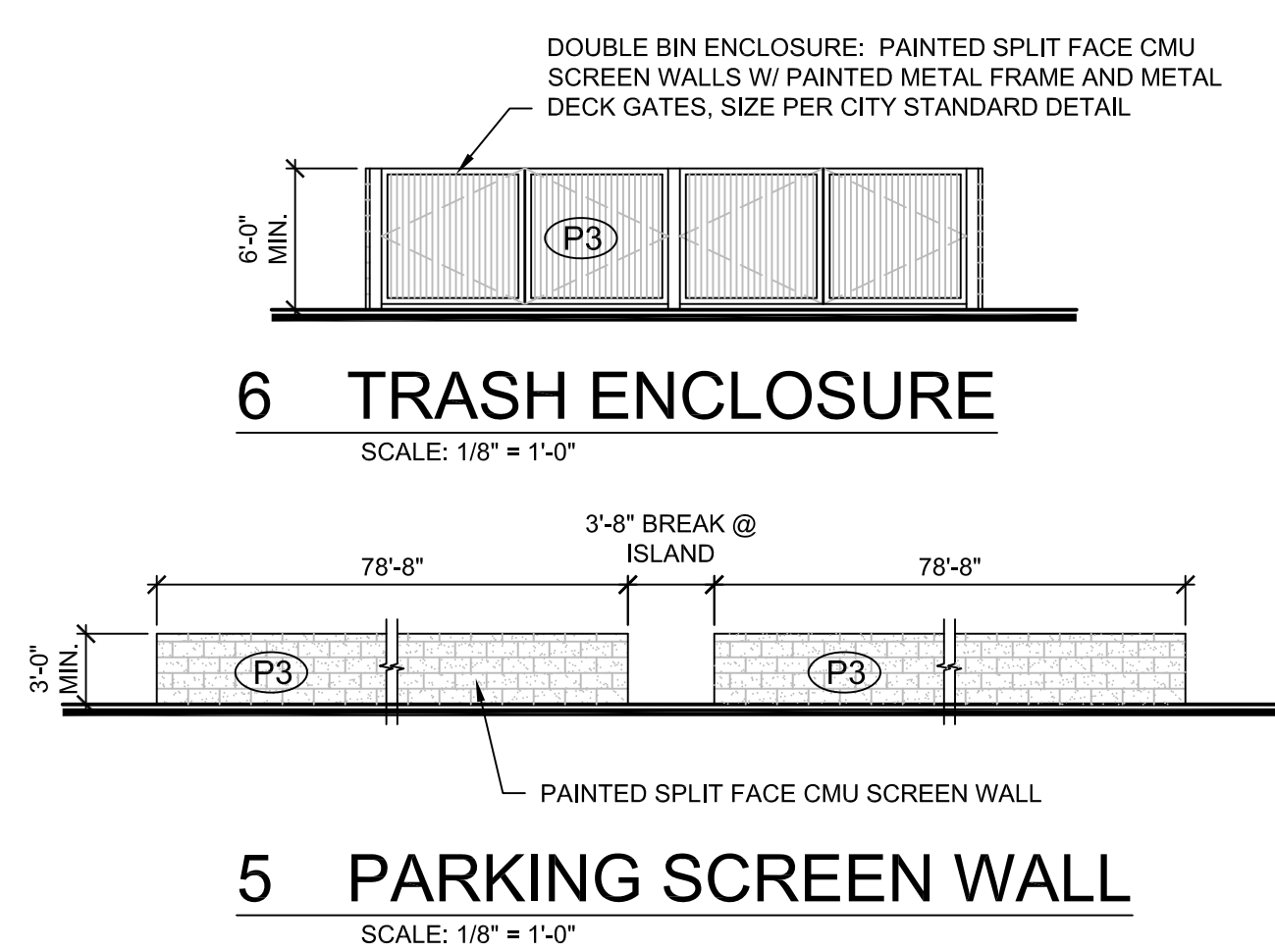
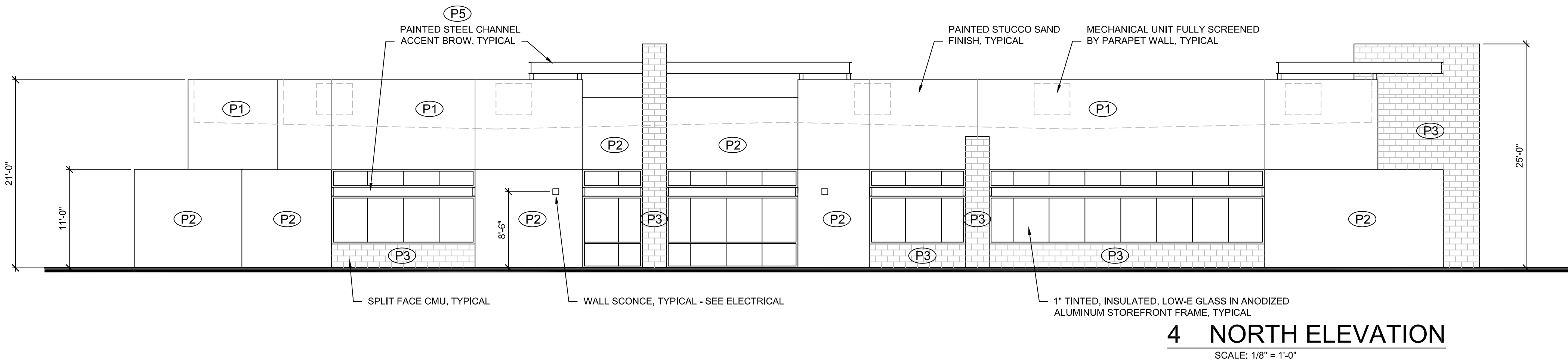
ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

PRE-SUBMITTAL # PS16-0104

SSB - MESA MEDICAL
MESA, AZ
EXTERIOR ELEVATIONS

A-201
37010
03OCT17



PAINT & MATERIAL LEGEND:

ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT

P1 DEC741 'BONE WHITE', LRV 69

P2 DEC752 'BIRCHWOOD', LRV 49

P3 DEC750 'BISON BEIGE', LRV 27

P4 DE5881 'NEWBURY PORT', LRV 10

P4 DET467 'HARRISON RUST', LRV 15

ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.

GLASS & FRAMES:

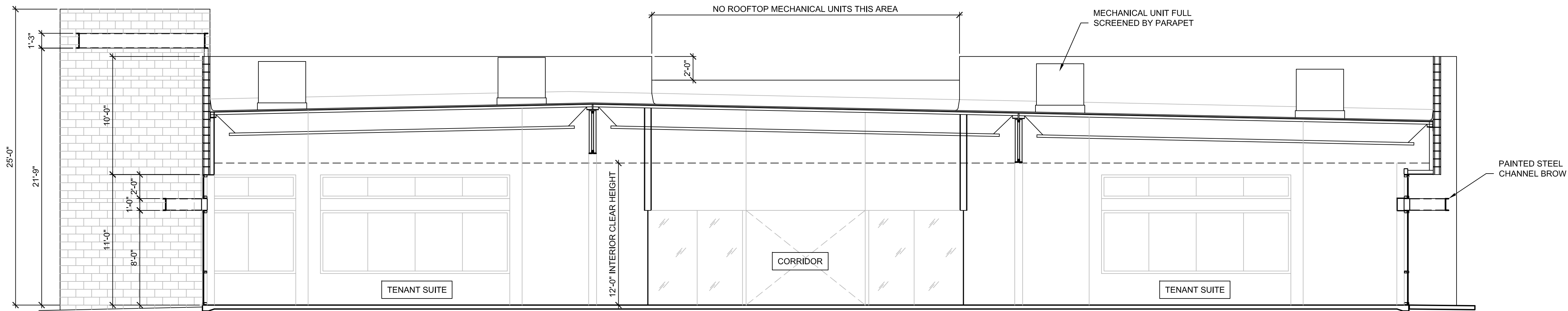
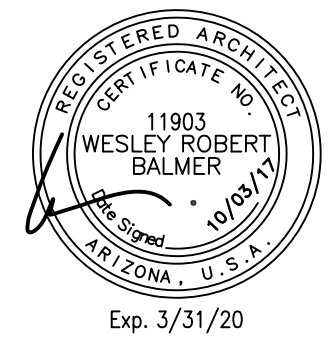
CLEAR LOW REFLECTIVE VISION GLASS:
GUARDIAN SNR 43 / CLEAR; 1\"/>

CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES

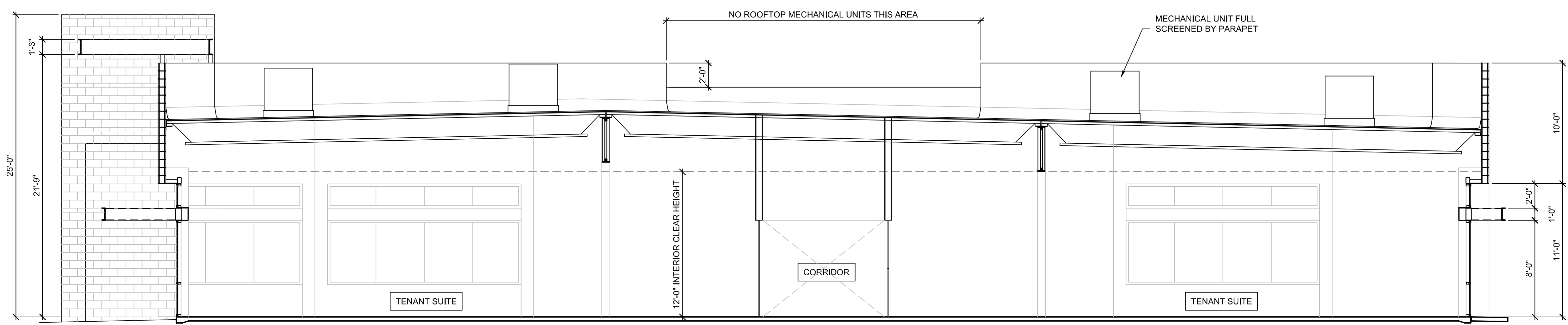
ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

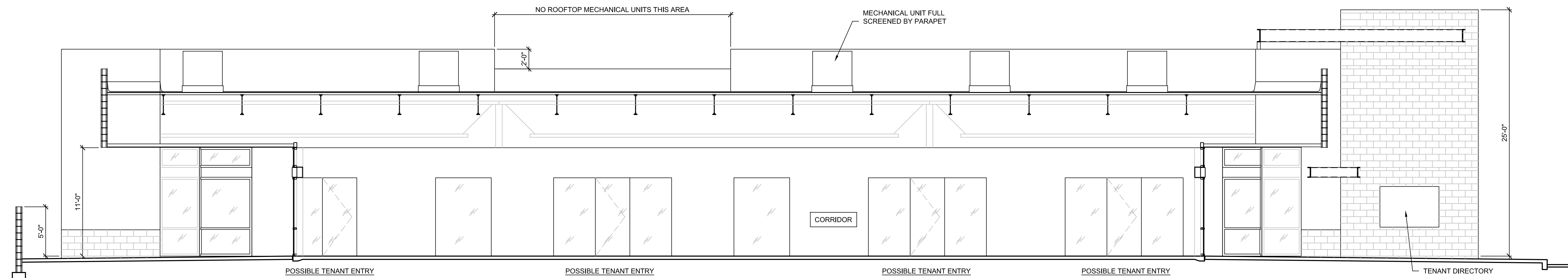
PRE-SUBMITTAL # PS16-0104



3 BUILDING SECTION
SCALE: 3/16" = 1'-0"
0 2 4 8



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"
0 2 4 8



1 BUILDING SECTION
SCALE: 3/16" = 1'-0"
0 2 4 8

SSB - MESA MEDICAL
MESA, AZ
BUILDING SECTIONS

A-301
37010
03OCT17







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MESA, AZ

08.25.17

MESA MEDICAL





SUN STATE BUILDERS 1050 W. Washington Street #214 Tempe, AZ 85281 480.894.1286 www.sunstatebuilders.com

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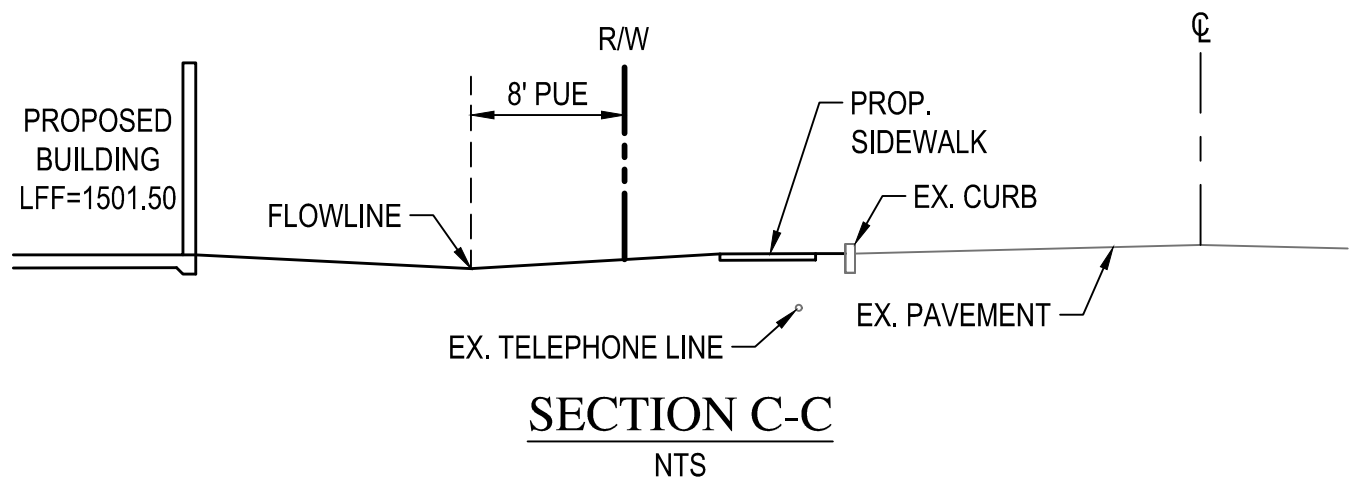
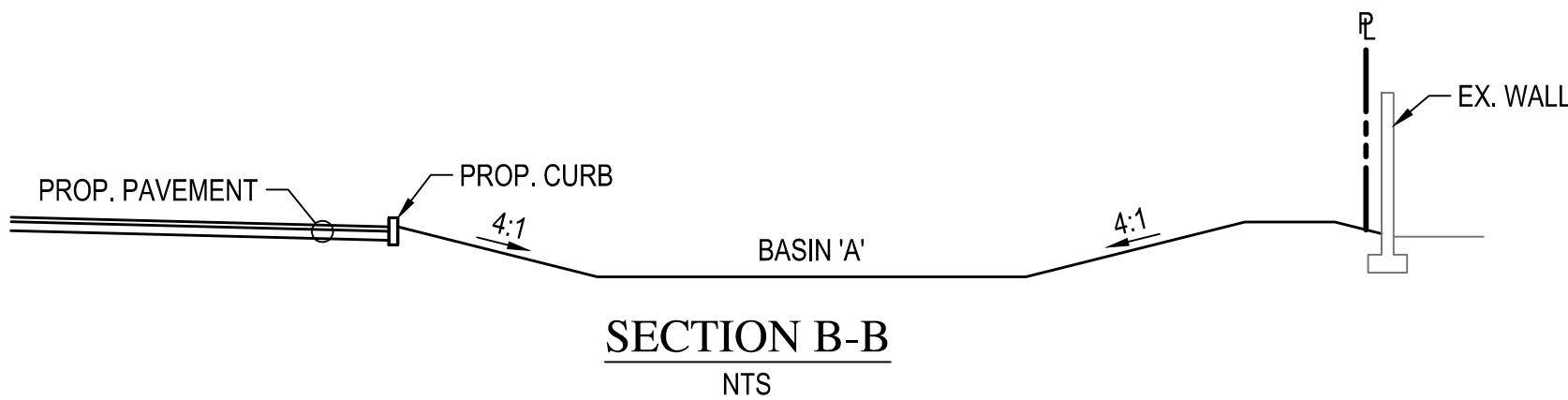
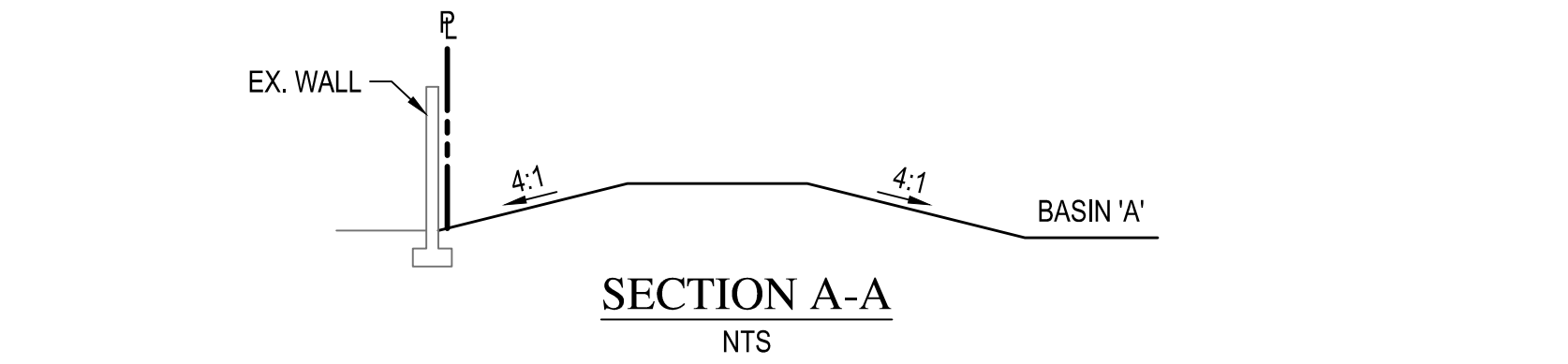
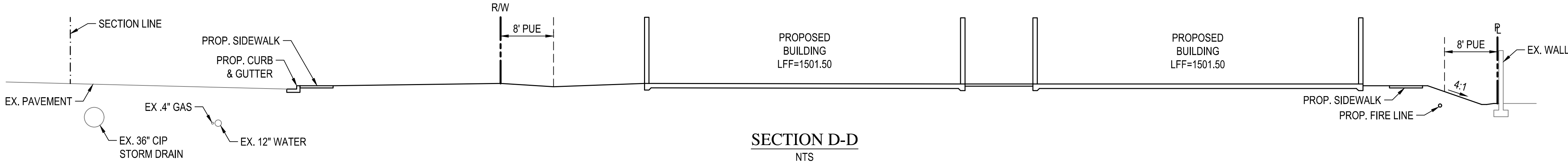
MESA, AZ
08.25.17

MESA MEDICAL



LEGEND	
EXISTING SURVEY	PROPOSED GRADING, DRAINAGE & PAVING
SECTION LINE	MAJOR CONTOUR
RIGHT OF WAY	MINOR CONTOUR
PROPERTY LINE	SPOT ELEVATIONS
ROAD CENTERLINE	STORM DRAIN PIPE
EASEMENT	STORM DRAIN CATCH BASIN
UG ELECTRIC (BURIED CABLE)	SLOPE ARROW
OHE	GRADE BREAK/RIDGE
T	RIP RAP
TV	
CABLE TELEVISION	
CHAIN LINK FENCE	
4" G (MATERIAL)	
8" S (MATERIAL)	
STORM DRAIN PIPE	
6" W (MATERIAL)	
MAJOR CONTOUR	
MINOR CONTOUR	
SPOT ELEVATION	
FIRE HYDRANT	
WATER VALVE	
STREET/PARKING LIGHT	
UTILITY POLE	

ABBREVIATIONS					
BB	BOTTOM OF BANK	G.S.	GAS SERVICE	SMH	SEWER MANHOLE
BC	BACK OF CURB	G.V.	GAS VALVE	SS	SEWER SERVICE
C	CONCRETE ELEVATION	I.V.	IRRIGATION VALVE	S.V.E.	SIGHT VISIBILITY EASEMENT
CF	CUBIC FEET	I.V.B.	IRRIGATION VALVE BOX	S.V.T.	SIGHT VISIBILITY TRIANGLE
CL	CENTER LINE	LF	LINEAR FEET	TB	TOP OF BANK
C.O.	CLEAN OUT	LFF	LOWEST FINISHED FLOOR ELEVATION	TC	TOP OF CURB
CO	CURB OPENING	NG	NATURAL GROUND ELEVATION	T.J.B.	TELEPHONE JUNCTION BOX
C.T.R.	CABLE TV RISER	P	PAVEMENT ELEVATION	U.E.	UTILITY EASEMENT
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE	U.P.	UTILITY POLE
E.M.	ELECTRICAL METER	PUE	PUBLIC UTILITY EASEMENT	VCP	VITRIFIED CLAY PIPE
E.O.	ELECTRICAL OUTLET	RIM	RIM ELEVATION	VG	VALLEY GUTTER
FG	FINISHED GROUND	R/W	RIGHT-OF-WAY	V _p	VOLUME PROVIDED
FH	FIRE HYDRANT	SD	STORM DRAIN	V _r	VOLUME REQUIRED
FL	FLOW LINE ELEVATION	SDMH	STORM DRAIN MANHOLE	WE	WATER EASEMENT
G	GUTTER ELEVATION	SE	SEWER EASEMENT	WO	WALL OPENING
GB	GRADE BREAK	S.J.B.	STREET LIGHT JUNCTION BOX	W.S.	WATER SERVICE
G.M.	GAS METER	S.L.	STREET LIGHT	SVT	SIGHT VISIBILITY TRIANGLE



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In Maricopa County (R02) (R03-110)

MESA MEDICAL

66TH STREET & MCKELLIPS ROAD

MESA, ARIZONA

PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

DATE					
DESCRIPTION					

45668

NICHOLAS E. BROWN

Professional Engineer

ARIZONA, U.S.A.

EXPIRES 03-31-19

SCALE (HORIZ.) N/A

SCALE (VERT.) N/A

DATE 10/03/2017

JOB NUMBER 174657

SHEET 2 OF 2

Mesa Medical

SWC McKellips & 66th Street

Citizen Participation Plan

August 22, 2017

Purpose

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform residents and property owners, neighborhood associations concerning the following development request:

1. To rezone the site from RS-9 to Neighborhood Commercial (NC) with a PAD Overlay.

By providing opportunities for citizen participation, the Applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plan.

Contact

Those coordinating the Citizen Participation activities are listed as follows:

Pew & Lake, PLC.
1744 S. Val Vista Drive,
Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)

Sean B. Lake
sean.lake@pewandlake.com

Valerie Claussen
vclaussen@pewandlake.com

Neighborhood Meeting

A neighborhood meeting is scheduled to be held at Mendoza Elementary School on August 29th. Notices were mailed to those individuals listed on the contact list, including all property owners within 1000' of the subject property (see attached list). Registered neighborhood contacts/HOAs within 1-mile of the property were also be notified. The registered neighborhood contacts list was obtained from the City of Mesa Neighborhood

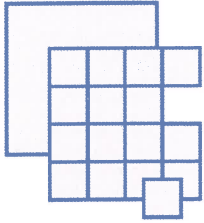
Outreach Division. A copy of the notification letter for the neighborhood meeting is included with this Citizen Participation Plan. Meeting minutes and sign-in sheets will be provided in the Final Citizen Participation Report.

Attached Exhibits

- A) Notification letter for the neighborhood meeting.
- B) Notification Map of surrounding property owners.
- C) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property.

Schedule:

Neighborhood Meeting	August 29, 2017
Formal Application	August 28, 2017
Follow-Up Submittal	October 3, 2017
Planning & Zoning Public Hearing	November 15, 2017
City Council Introduction	TBD (December 2017)
City Council Final Action	TBD (December 2017)



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

August 14, 2017

Dear Neighbor:

We are pleased to invite you to a second neighborhood meeting to receive your comments on an application being made to the City of Mesa for an office/commercial development located at the southwest corner of McKellips and 66th Street (APNs 141-65-082, -083, -084 and -085). The application includes a request for a rezoning of approximately 1.83 acres from the RS-9 to C-1 (Neighborhood Commercial) zoning district and for site plan approval.

A second neighborhood meeting has been scheduled to give property owners in this area another opportunity to meet with the applicant and property owner, and to learn more about the proposed project.

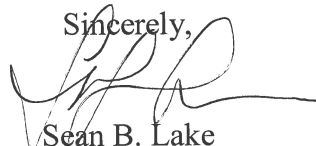
The details of this meeting are as follows:

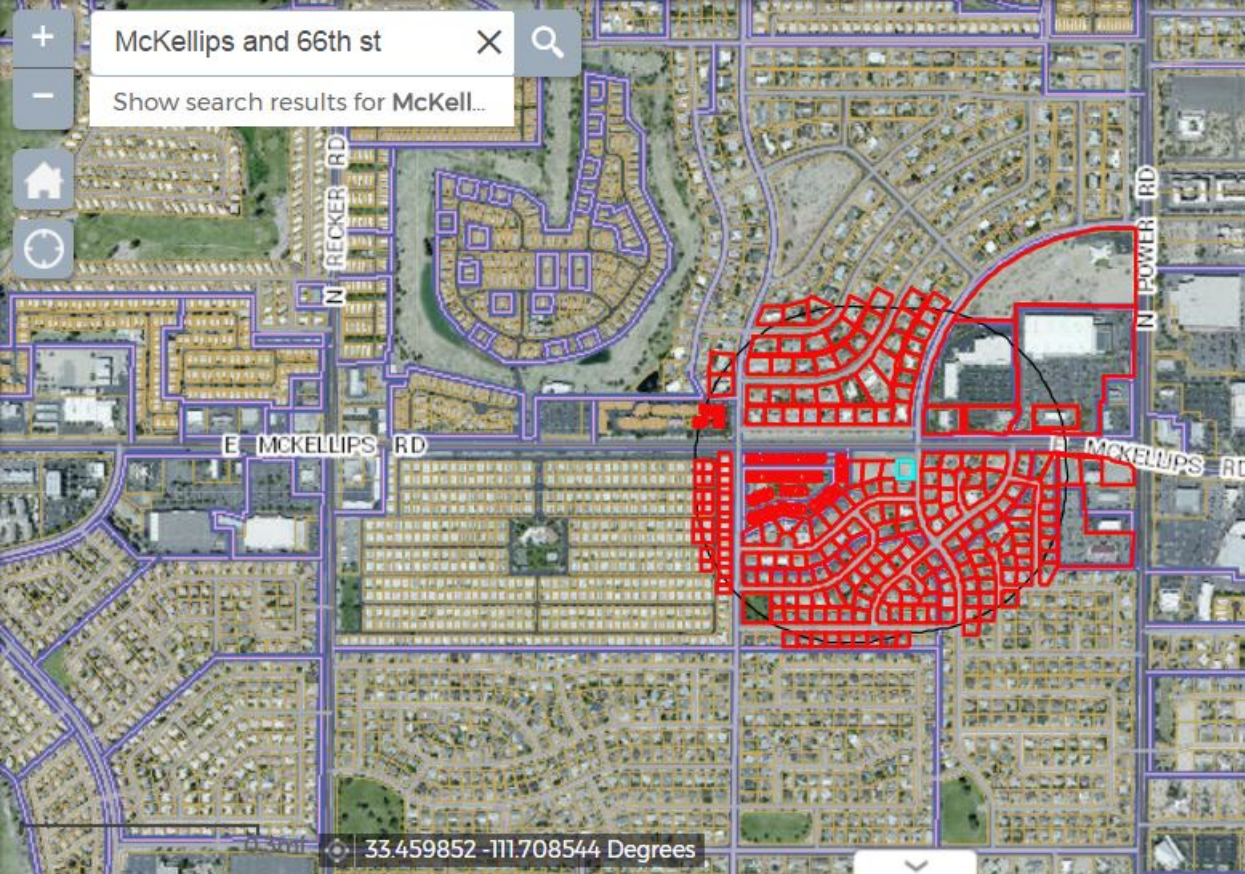
Date: Tuesday, August 29, 2017

Time: 6:00 p.m.

Place: Mendoza Elementary
Media Center
5831 E McLellan Rd
Mesa, AZ 85205

If you have any questions regarding this matter prior to the neighborhood meeting, please contact me, or Valerie Claussen with our office at (480) 461-4670.

Sincerely,

Sean B. Lake
PEW & LAKE, PLC



Options ▾ Filter by Map Extent 📍 Zoom to ☒ Clear Selection ↻ Refresh

Search Results: Parcels ✕

APN	Floor	Parcel Number	Owner Name	Mailing Address1	Mailing Address City	M
-----	-------	---------------	------------	------------------	----------------------	---

321 features 0 selected

1945 NORTH 66TH STREET LLC
4026 S HOLBROOK LN
TEMPE, AZ 85282

2014-2 IH BORROWER LP
901 MAIN ST STE-4700
DALLAS, TX 75202

ACKERMAN DENNIS R
6250 E JASMINE ST
MESA, AZ 85205

ALLSBURY JERRY E/DEBORAH S
1837 N 66TH ST
MESA, AZ 85205

ANCHIE ROBERT/JOHNSON SOPHIA
6419 E JUNE ST
MESA, AZ 85205

ANDERSON ANDY L/JOANN E TR
6538 E JENSEN ST
MESA, AZ 85205

AUMANN BARBARA A
1951 N 64TH ST UNIT 37
MESA, AZ 85205

AYALA GABRIEL A/JENNIFER
1855 N SAFFRON CIR
MESA, AZ 85205

AZERSKY ROBIN D/MARK I/JANET M
1865 N 67TH ST
MESA, AZ 85205

BAETSLE JEANETTE M
1951 N 64TH ST #38
MESA, AZ 85205

BANDUSKY CHILDREN BENEFIT
TRUST
2909 E HERMOSA VISTA DR
MESA, AZ 85213

BAYER WILLIAM C/MARLENE R TR
1045 CYPRESS
WITCHITA, KS 672070000

BIERWAGEN LINDA S
1951 N 64TH ST UNIT 18
MESA, AZ 85205

BITTERMAN AARON J/SHARON N
6442 E JUNE ST
MESA, AZ 85205

BITTNER NAM S
1951 N 64TH ST NO 1
MESA, AZ 85205

BLANTON DOUGLAS B & PAMALA K
8440 E HERMOSA VISTA
MESA, AZ 85207

BLANTON F DARLYNE TR
6410 E JUNE ST
MESA, AZ 85205

BORTVIT TRACY
1849 N SAFFRON CIR
MESA, AZ 85205

BORTZ FAMILY REVOCABLE TRUST
6525 E RUSTIC DR
MESA, AZ 85215

BOULTER NATHAN R
6704 E JUNIPER ST
MESA, AZ 85205

BOYLE SANDRA J
1951 N 64TH ST 68
MESA, AZ 85205

BRANDT ROBERT W & BARBARA A
6437 E HOLIDAY DR
MESA, AZ 85205

BRANDT RUTH H/ROBERT W TR
6443 E HOLIDAY DR
MESA, AZ 85201

BRIGHT RUEL T/SABRINA K
13339 S 154TH ST
GILBERT, AZ 85296

BRINKER RESTAURANT
CORPORATION
POBOX 802206
DALLAS, TX 75380

BURKEY JACK R/CHRISTINA J
1822 N RED CLIFF
MESA, AZ 85207

BURTON RODNEY DALE/VALERIE
ERIE
4764 ANDERSON AVE
BOWSER, BC V0R1G0

CAMPBELL DAVID/SANDRA
6534 E JENSEN ST
MESA, AZ 85205

CAMPBELL DELORES M
1951 N 66TH PL
MESA, AZ 85205

CARDENAS CRUZ C/MARIA
CHRISTINA
6528 E JASMINE ST
MESA, AZ 85205

CARUFEL ROBERT D/THEA A TR
6532 E RUSTIC DR
MESA, AZ 85215

CATES ROBERT G & MARY HELEN
1862 N 67TH ST
MESA, AZ 85205

CAUCHON ROD/DIANE M
6505 E JUNE ST
MESA, AZ 85205

CHAPMAN PAUL/ROBYN R TR
653 W DEXTER WAY
SAN TAN VALLEY, AZ 85143

CHAU DUY
6449 E JUNE ST
MESA, AZ 85205

CHRISTIANSON NATHANIEL ETAL
1938 N 67TH ST
MESA, AZ 852053776

CLIBURN JAMES R/VANESSA M
6524 E JULEP ST
MESA, AZ 85205

COEN DOUGLAS W/JANET F TR
6402 E PEBBLE DR
MESA, AZ 85215

COFFER PERRY D/TUREE
6518 E JULEP ST
MESA, AZ 85205

COLE RANDALL S/SUSAN
2101 N 64TH ST
MESA, AZ 85215

COLQUETTE LARRY/LINDA
6436 E PEBBLE DR
MESA, AZ 85215

CORRAL PHOENIX MESA LLC
7317 E GREENWAY RD
SCOTTSDALE, AZ 85260

COX JAMES H
6562 E JASMINE ST
MESA, AZ 85205

CROTTS LARRY M
6462 E RUSTIC DR
MESA, AZ 85215

CULLIPHER ROBIN L & TERRY L
2032 N 64TH ST
MESA, AZ 85202

DANA MARLA ANN TR
6436 E HOLIDAY DR
MESA, AZ 85215

DAVIS JERRY
1950 N 66TH PL
MESA, AZ 85205

DAVIS JERRY MILTON
1950 N 66TH PL
MESA, AZ 85205

DEBORAH K CLAUSEN LIVING TRUST
2824 N POWER RD BOX 113381
MESA, AZ 85215

DECELLES DAVID M/SALATA TINA L
6456 E JULEP ST
MESA, AZ 85205

DECKER JESSICA
6559 E JASMINE ST
MESA, AZ 85205

DENMAN STEPHANIE
1859 N 67TH ST
MESA, AZ 85205

DIAZ JOSE R JR & BLANDINA C
6430 E JULEP ST
MESA, AZ 852053730

DIFONDI JEANA M/RAYMOND F
1923 N 66TH ST
MESA, AZ 85205

DINSMORE TENIA JEAN/JOHN W
1917 N 67TH ST
MESA, AZ 85205

DLUZANSKY JOHN STEPHEN &
SUSAN M
1036 N SAFFRON CIR
MESA, AZ 85205

DOBSON MARK WILSON
131 W 1ST ST STE A
MESA, AZ 85201

DORGAN LISA A
1843 N 66TH ST
MESA, AZ 85205

DOSTALEK DELBERT R/MARY K TR
6387 S PALO BLANCO DR
GOLD CANYON, AZ 85118

DRENNON JOSHUA A/SHANNON M
1942 N 66TH PLACE
MESA, AZ 85205

DUARTE THEODORE/RUFINA M
1362 S VINEYARD
MESA, AZ 85210

DUHRSSSEN EMMA
6508 E JASMINE ST
MESA, AZ 85205

DUNCAN LESLIE L
6546 E JASMINE ST
MESA, AZ 85205

DUNCAN RICK L/BETTY J
6441 E JULEP ST
MESA, AZ 85205

EAST VALLEY FREE WILL BAPTIST
CHURCH
6343 E MAIN ST
MESA, AZ 852050000

EDWARDS LONNIE L/BARBARA S
2202 GRANT
LONGMONT, CO 80501

EGGER RUTH R
1829 N SAFFRON
MESA, AZ 85205

ERVIN JAMES R/DUKE-ERVIN LORI L
6409 E HOLIDAY DR
MESA, AZ 85215

ESPARZA JIM S
6466 E JULEP ST
MESA, AZ 85205

ESPINOZA CRISTINA
6544 E JENSEN ST
MESA, AZ 85205

ET MT LIMITED PARTNERSHIP
6209 E MCKELLIPS RD 276
MESA, AZ 85212

ET MT LTD PARTNERSHIP
6209 E MCKELLIPS RD 276
MESA, AZ 85215

EVANS KEENAN
1323 E LOUIS WAY
TEMPE, AZ 85284

FARNSWORTH KATHRYN L
6448 E RUSTIC DR
MESA, AZ 85205

FERRENCE MICHAEL T/PATRIA J
6522 E JUNE ST
MESA, AZ 85205

FINLEY SONJA
6432 E JUNE ST
MESA, AZ 85205

FISCHER JOHN R
2664 FRONT ROYAL DR
COLORADO SPRINGS, CO 80919

FONG GORDON J
6457 E JULEP ST
MESA, AZ 85205

FOX GLORIA C
1951 N 64TH ST UNIT 40
MESA, AZ 85205

FRANK BEVERLY D
11320 NE 33RD AVE
VANCOUVER, WA 98686

FROST DUSTIN P
6541 E JUNE ST
MESA, AZ 85205

GAGNON ASHLEY A/SOCORRO
6536 E DELMON DR
MESA, AZ 85215

GANESAN
GURUMURTHY/KAUSALYA TR
1951 N 64TH ST UNIT 2
MESA, AZ 85205

GARDNER BRYAN K
6525 E JASMINE
MESA, AZ 85205

GIEBELS HUBERT M/IRENE TR
6521 E JUNE ST
MESA, AZ 85205

GLEASON JOSEPH D/PATRICIA J
6546 E DELMON
MESA, AZ 85207

GLOCK GREGORY
6454 E JUNE ST
MESA, AZ 85205

GOODSON CONNIE E
1951 N 64TH ST NO 28
MESA, AZ 85205

GORDIA ENTERPRISES LLC
6242 E MCLELLAN RD
MESA, AZ 85205

GORNIK DAVEY/SUSAN
6501 E RUSTIC DR
MESA, AZ 85215

GRONE KATHARINE S TR
658 W GROVE CR
MESA, AZ 852105153

GROVE JEWELL C/LOIS A
1011 PARK ST
MINOT, ND 58701

GROVES DANIEL E/BEVERLY A
6531 E JUNE ST
MESA, AZ 85205

HALL CURTIS L/EMILIE E
6455 E RUSTIC DR
MESA, AZ 85215

HANCOCK PAUL/SARA
6422 E JUNE ST
MESA, AZ 85205

HANSEN MICHAEL/KRISTEN
6518 E RUSTIC DR
MESA, AZ 85215

HANSON MORRIS D & JULIE A
6432 E RUSTIC DR
MESA, AZ 85205

HATCH BETTY G/EWTON BURGESS
L
1951 N 64TH ST UNIT 63
MESA, AZ 85205

HATFIELD SANDRA
1951 N 64TH ST UNIT 46
MESA, AZ 85205

HERNANDEZ BENIGNO/MONICA
9828 E OLLA AVE
MESA, AZ 85212

HERSHNER KENNETH E/MARY S
6518 E JENSEN ST
MESA, AZ 852020000

HINDSON JO D/ANDREW ROBERT
6448 E JULEP ST
MESA, AZ 85205

HOLLAND ROY D/JACQUELINE S TR
PO BOX 466
SPEARFISH, SD 577830466

HOLLIDAY BEATRICE E
1951 N 64TH ST 51
MESA, AZ 852050000

HOME DEPOT U S A INC
PO BOX 105842
ATLANTA, GA 303485842

HUCHEL KENNETH K/CARROLL
LINDA H
15840 E BRODIEA DR
FOUNTAIN HILLS, AZ 85268

INGLE BRIAN DALE
1951 N 64TH CT UNIT 60
MESA, AZ 85205

INMAN NEAL K/CECILIA
1945 N 66TH PL
MESA, AZ 85205

JAMES E CLEM LIVING TRUST
27411 VIA AMISTOSO
MISSION VIEJO, CA 92692

JAMES MARY
1951 N 64TH ST UNIT 44
MESA, AZ 85205

JANSEN DAVID
1851 N 66TH ST
MESA, AZ 85205

JASMANN JOY A
1951 N 64TH ST UNIT 22
MESA, AZ 85205

JAUREGUI AURORA R/DINA
6515 E JENSEN
MESA, AZ 85205

JAZWIETZ JOAN DANA
1951 N 64TH ST UNIT 32
MESA, AZ 85205

JOHNSON DOROTHY J TR
1951 N 64TH ST UNIT 9
MESA, AZ 85205

JOHNSTON-HOFFMAN DIANNE
E/HOFFMAN ARTHUR G
6447 E RUSTIC DR
MESA, AZ 85215

JUANITA NEWMAN FAMILY TRUST
1951 N 64TH ST UNIT 73
MESA, AZ 85205

KALLSTROM KENNETH C &
MICHELLE D
6446 JENSEN STREET E
MESA, AZ 85205

KALVANS ELVIS/LAUREN RACHEL
6621 E JASMINE ST
MESA, AZ 85205

KANOCZ DEAN/WILLIAMS JENNIFER
6431 E HOLIDAY DR
MESA, AZ 85215

KARR JOHN ALAN/CHERIE
6464 E JUNE ST
MESA, AZ 85205

KENNARD THELMA A
6462 E JENSEN ST
MESA, AZ 85205

KEPHART OREN R/TINA L
6513 E JULEP ST
MESA, AZ 85205

KERR FAMILY LIVING TRUST
1951 N 64TH ST NO 43
MESA, AZ 85205

KING GARY R & KATHY E
6417 E RUSTIC DR
MESA, AZ 85205

KIRK JAMES R & ROBYN L
45554 W MEADOWS LN
MARICOPA, AZ 85135

KISSELL JAMES
1951 N 64TH ST UNIT 67
MESA, AZ 85205

KITTELSON ANN
1856 N 67TH ST
MESA, AZ 85205

KLOPPING FAMILY TRUST DATED
AUGUST 5 2009
6637 E JASMIN ST
MESA, AZ 85205

KOBE KARL FREDRICK TR
1951 N 64TH ST UNIT 13
MESA, AZ 85205

KOPPEL DAVID T/CANDACE M
P O BOX 22095
MESA, AZ 85277

KROLL OSCAR/DOROTHY M TR
508 N 15TH ST
BISMARCK, ND 58501

LAM HELEN
2241 HARVARD ST SUITE 200
SACRAMENTO, CA 95815

LANDON BARBARA L/ERIC E
1861 N 65TH CIR
MESA, AZ 85205

LANGAN PATRICK W/YVETTE
1863 N SAFFRON CIR
MESA, AZ 85205

LARRY AND JUANITA ANDERSON
TRUST SURVIVORS TR
2261 N RECKER RD
MESA, AZ 85215

LINDA MARIE ROBERTSON LIVING
TRUST
1951 N 64TH ST UNIT 74
MESA, AZ 85205

LINDSAY JOANNE M
6426 E PEBBLE DR
MESA, AZ 85215

LONG RICHARD H/AMBER M
1906 N 67TH ST
MESA, AZ 85205

LUCILLE L HACKWORTH LIVING
TRUST
6526 E DELMON DR
MESA, AZ 85215

LUNDGREN CHET A
6514 E JASMINE ST
MESA, AZ 85215

MANCINI PATSY O/RANDY
E/MELODY M TR
3293 LYNN OAKS DRIVE
SAN JOSE, CA 951170000

MARGIE BERTOLDO LIVING TRUST
1951 N 64TH ST UNIT 70
MESA, AZ 85205

MARIE L GOODMAN TR
314 E MAGEE RD
TUCSON, AZ 85704

MARKS DAVID A/TAMI LYN
1922 N 67TH ST
MESA, AZ 85205

MARLIN BRAIN J/KATHY LOU
6515 E RUSTIC DR
MESA, AZ 85215

MARQUEZ SAUL C/MARGARET A
6418 E RUSTIC DR
MESA, AZ 85205

MARTINEZ NANCY A/LINDA K
3009 S ABBEY CIR
MESA, AZ 85212

MARY L NICHOLSON FAMILY LIVING
TRUST
1955 N 66TH ST
MESA, AZ 85205

MASSOW LYNETTE A
142 GEORGE ST
MIDDLE TOWN, CT 6457

MAYTAN MICHAEL/MCGUIRE
PATRICIA
6514 E PEBBLE DR
MESA, AZ 85215

MCCORMACK TERRI A
6409 E JUNE ST
MESA, AZ 85205

MCGEHEE DAVE C/CAROL J
6502 E RUSTIC DR
MESA, AZ 85205

MCKIBBIN TIMOTHY A
1929 N 66TH PL
MESA, AZ 85205

MCMILLAN RICHARD M/IRMA M
1949 N 67TH ST
MESA, AZ 85205

MEDINA FAMILY TRUST
6516 E DELMON DR
MESA, AZ 85215

MESA CITY OF
20 E MAIN ST STE 650
MESA, AZ 85211

MICHAELSON JOYCE E
PO BOX 212381
ANCHORAGE, AK 995032381

MILLER DORTHY J
1951 N 64TH ST UNIT 41
MESA, AZ 85205

MITCHELL MICHAEL A
6452 E JENSEN ST
MESA, AZ 852053754

MOODY CHARLES J/PAMELA ANN
6457 E JUNE ST
MESA, AZ 852050000

MOOREHEAD JAMES C III/VICKI R
6411 E HOLIDAY DR
MESA, AZ 85215

MORRISON VICTORINE S/FORD
SUZANNE
2610 E ORION ST
GILBERT, AZ 85234

MORTENSEN KAREN/WALLNER
DAWN M
1951 N 64TH ST UNIT 26
MESA, AZ 85205

MOSELEY CAROL L
1951 N 64TH ST UNIT 45
MESA, AZ 85205

MS MCKELLIPS L L C
1343 N TECH BLVD STE STE 119
GILBERT, AZ 85233

MURRAY LORNA L
1951 N 64TH ST UNIT 71
MESA, AZ 852053623

NANCY J ERMAN REVOCABLE TR
6529 E JENSEN ST
MESA, AZ 85205

NARDONE JAMES V
6453 E JUNE ST
MESA, AZ 85205

NAUMANN JOANNA G TR
3306 E JAEGER CIR
MESA, AZ 85213

NEAL KENNETH G/SUTLIFF DAVID
6640 E JASMINE ST
MESA, AZ 85205

NIXON WANDA/RICHARD
6423 E JULEP
MESA, AZ 85205

NOLAN BRENDA
1951 N 64TH ST UNIT 3
MESA, AZ 85205

OHSMAN JOSEPH
1951 N 64TH ST UNIT 54
MESA, AZ 85205

ORDUNA VIRGINIO ROJAS
1846 N 66TH ST
MESA, AZ 85205

OROZCO DANIEL
1860 N SAFFRON CIR
MESA, AZ 85205

ORTEGA ROBERT C
6607 E JASMINE ST
MESA, AZ 85205

ORTIZ EMIGDIO/BARBARA
4 ELBOW PL
ST ALBERT, AB T8N 6X3

OWEN DEREK
6405 E RUSTIC DR
MESA, AZ 85205

PACE TYLER F
1937 N 67TH ST
MESA, AZ 85205

PARKER FAMILY LIVING TRUST
4328 E CAPRI NO 156
MESA, AZ 85206

PEDERSON MICHAEL W/LESLIE
2033 N 64TH ST
MESA, AZ 85215

PENINGTON FRED T /MARCELLA J TR
1951 N 64TH ST 58
MESA, AZ 85205

PERKINS SHARON J
6416 E HOLIDAY DR
MESA, AZ 85215

PERNA JAIMIE/MITCHELL
6461 E JENSEN ST
MESA, AZ 85205

PIEPER LIVING TRUST
1951 N 64TH ST UNIT 4
MESA, AZ 85205

PITTS JOHN D & AMARA
6523 E JENSEN ST
MESA, AZ 85205

PORTER KENT/ANN MARIE
1836 N 65TH CIR
MESA, AZ 85205

POWERS ROBERT E/ARLENE G
1916 N 66TH ST
MESA, AZ 85205

PRATHER RICHARD A
6448 E PEBBLE
MESA, AZ 85201

QUASS JAMES R/JANE M
2311 GREEN VALLEY DR
BILLINGS, MT 59102

RAUL A CABALLERO
TRUST/CABALLERO GLORIA
6544 E DELMON DR
MESA, AZ 85215

RAVEN TODD P
6516 E JUNE ST
MESA, AZ 85205

REEDY TREVOR/DECKER JOHANNA L
1947 N 67TH ST
MESA, AZ 85205

REESE FAMILY TRUST
1828 N SAFFRON
MESA, AZ 85205

RICHARD A AND LYNEA E PARADIS
FAMILY TRUST
6429 E JUNE ST
MESA, AZ 85205

RICKS JERRY D/MARGARITA V TR
6414 E PEBBLE DR
MESA, AZ 85215

RIELLY RED MOUNTAIN LLC/H J RED
MOUNTAIN/ETAL
503 32ND ST STE 200
NEWPORT BEACH, CA 92663

RIGGS DUSTIN
6536 E JASMINE STREET
MESA, AZ 85205

ROBBINS LISA
6453 E JULEP ST
MESA, AZ 85205

ROBERTSON NICK
PO BOX 81312
PHOENIX, AZ 85069

ROBINSON REED S/BEVERLY G
1913 N 66TH ST
MESA, AZ 85205

ROMAN LOUIS/FONTAINE MAUREEN
1951 N 64TH ST UNIT 24
MESA, AZ 85205

ROOTVELD FRITS
1951 N 64TH ST NO 34
MESA, AZ 85205

ROSEMANN JACQUELYN C
1951 N 64TH ST NO 48
MESA, AZ 85205

RUSSO MATTHEW/DIANA
6429 E JENSEN ST
MESA, AZ 85205

RUSTAD EDYTHE/SHIRLEY
1919 60TH AVE NW
ROSEGLEN, ND 58775

SAULEN JOSEPH M
1914 N 67TH ST
MESA, AZ 85205

SCAVUZZO MARIA
1951 N 64TH ST 12
MESA, AZ 85205

SCHAEFER JUSTINE M/O'BRIEN
JUSTINE M
1844 N SAFFRON CIR
MESA, AZ 85205

SCHUBBE TRAVIS J/EMILY S
6536 E PEBBLE DR
MESA, AZ 85215

SEARS DIANE S
1951 N 64TH ST NO 42
MESA, AZ 85205

SEEHORN JAMES E/DJUANA L
6532 E JUNE ST
MESA, AZ 85205

SERVAL HOLDINGS LLC
2486 E PARK CT
GILBERT, AZ 85234

SEXSON DANIEL J
1838 N 66TH ST
MESA, AZ 85205

SHERYL DAWN FULMER TRUST
6408 E JULEP ST
MESA, AZ 85205

SHIRLEY M SCHWENGELS LIVING
TRUST
1951 N 64TH ST UNIT 65
MESA, AZ 85205

SHORT THOMAS G JR
1951 N 64TH ST UNIT 50
MESA, AZ 85205

SKOUSEN DARREN SCOTT/MARJORY
STEELE
6447 E JULEP ST
MESA, AZ 85205

SMITH DONALD E
1951 N 64TH ST UNIT 31
MESA, AZ 85205

SMITH SAMANATHA L
1822 N 66TH ST
MESA, AZ 85205

SPANGLER KENNETH J/HELEN E
2026 N 64TH STREET
MESA, AZ 85216

SQUIER DAVID E/MARGARET
7950 E KEATS AVE 219
MESA, AZ 85209

SRISUK RANGSAN/SOMLUCK
6438 E JENSEN ST
MESA, AZ 852050000

ST CROIX HOMES GROUP LLC
1355 S CORRINE DR
GILBERT, AZ 85296

STEARNS MARGARET J
1849 N 65TH CIRCLE
MESA, AZ 85205

STEVENSON SCOTT/KARRI
3059 UALENA ST NO 415
HONOLULU, HI 96819

STRAUSS GARY R/DEBRA E
1925 N 67TH ST
MESA, AZ 85205

SUTTON PAUL R/BONNIE L
1831 N 66TH ST
MESA, AZ 85205

SWENSON DENNIS M/CONSTANCE C
5360 LAKESHORE DR
LITTLETON, CO 80123

SZUCS JAMES/SHARRON
BOX 375
KIPLING, SA S0G 2S0

THOMAS DAN W/LEONARD
MARGARET E
1932 N 66TH PL
MESA, AZ 85205

THOMAS DEBORAH J TR
6431 E RUSTIC DR
MESA, AZ 85205

THOMPSON ELISABETH
1848 N 65TH CIR
MESA, AZ 85205

TIDWELL KEITH G/KATHY M
1922 N 66TH PL
MESA, AZ 85205

TODAYS OPPORTUNITY INC
6250 E NANCE ST
MESA, AZ 85215

TOM GALIOS AND JOY GALIOS JOINT
REVOCABLE TRU
9451 E EVANS PL
DENVER, CO 80231

TOMS HOLDING LLC
116 N SUNRISE ST
MESA, AZ 85207

TR23 LLC
PO BOX 52427
ATLANTA, GA 30355

TRACEY DIANA
1951 N 64TH ST UNIT 17
MESA, AZ 85205

TURNER JOHN M/BONNY L
1951 N 64TH ST UNIT 57
MESA, AZ 85205

TURNER WARREN HELM JR
6542 E JUNE ST
MESA, AZ 85205

VAN GOULD BARRY/LYNNE
6463 E JULEP ST
MESA, AZ 85205

VERNON D JOHNSON AND BARBARA
JOHNSON TRUST
1951 N 64TH ST UNIT-20
MESA, AZ 85215

VILLANEUVA FRANK/MERCY
1830 N 66TH ST
MESA, AZ 85205

WAHL WILLIAM C
1057 E 7TH PL
MESA, AZ 85203

WALKER KARL/JOANNE TR
8704 N COVE RD
PARK CITY, UT 84098

WALLARD AGNES ERMA
1951 N 64TH ST UNIT 66
MESA, AZ 85205

WALLARD LINDA MARION
1951 N 64TH ST NO 69
MESA, AZ 85205

WATKINSON ANDREA J
4401 E CONTESSA #2
MESA, AZ 852050000

WATT NANCY
6519 E JULEP ST
MESA, AZ 85205

WEISENBERGER JAMES T & KAREN C
6502 E PEBBLE DR
MESA, AZ 85205

WELKER CONNIE
3649 S 263RD ST
KENT, WA 98032

WESTGATE GV AT PAINTED
MOUNTAIN LLC
5601 WINDHOVER DR
ORLANDO, FL 32819

WHITE TREVOR/DANIELLE
6431 E JULEP ST
MESA, AZ 85205

WHITLEY DENNIS/CAROL
6465 E RUSTIC DR
MESA, AZ 85215

WIGAND DEBORAH J
1820 N SAFFRON CIR
MESA, AZ 85205

WILLIAM RUSSO AND ROSE HANSEN
LIVING TRUST
1951 N 64TH ST UNIT 27
MESA, AZ 85205

WILTSIE CORINNE LYNNE
6430 E JENSEN ST
MESA, AZ 85205

WINKLE MARK P/JACKIE
6503 E JULEP ST
MESA, AZ 85205

WOOD COURTNEY N/KIMBERLY B
6445 E JENSEN ST
MESA, AZ 85205

WOODCOCK PEGGY E/RITI
1951 N 64TH ST 25
MESA, AZ 85205

WOOLINGTON MICHAEL S/LENA
6545 E RUSTIC DR
MESA, AZ 85215

WRIGHT CHRISTINE
1951 N 64TH ST UNIT 56
MESA, AZ 85205

ZALANKA RAYMOND W III
14536 N 90TH LN
PEORIA, AZ 85381

Mesa Medical

SWC McKellips & 66th Street

Citizen Participation Report

August 30, 2017
Rev. September 26, 2017

Purpose

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform residents and property owners, neighborhood associations concerning the following development request:

1. To rezone the site from RS-9 to Neighborhood Commercial (NC) with a PAD Overlay.

By providing opportunities for citizen participation, the Applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plan.

Contact

Those coordinating the Citizen Participation activities are listed as follows:

Pew & Lake, PLC.
1744 S. Val Vista Drive,
Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)

Sean B. Lake
sean.lake@pewandlake.com

Valerie Claussen
vclaussen@pewandlake.com

Neighborhood Meetings

Two neighborhood meeting have been held in conjunction with this rezoning proposal. They were both held in the media center at Mendoza Elementary School. The first meeting was held very early on in the process on January 25, 2107. This was about a month after the pre-submittal application meeting had been held with the City. The second meeting was held on August 29, 2017, the day after the formal submittal was made.

Notices were mailed to those individuals listed on the contact list, including all property owners within 1000' of the subject property. Registered neighborhood contacts/HOAs within 1-mile of the property were also be notified. The registered neighborhood contacts list was obtained from the City of Mesa Neighborhood Outreach Division. A copy of the notification letters for each of the neighborhood meetings is included with this Citizen Participation Plan, as well as meeting minutes and sign-in sheets of both meetings.

January 25th Meeting

Five neighbors were in attendance to the meeting. Their biggest concern was access to the property off of 66th Street. They only wanted a single-story building, that there would be landscape buffer of not less than 20 feet on the shared property line and that the commercial uses would be restricted to ensure there would not be high-turnover uses permitted.

August 29th Meeting

Six neighbors were in attendance to the meeting. The site plan had undergone some substantial revision and building elevations were prepared and the uses had evolved to cater to medical offices only. Three of the neighbors had attended the last meeting and they were very pleased with the revised site plan and were glad to see that the access to 66th Street had been eliminated and they were pleased with the flow and layout of the site. They again reiterated that they wanted to see this building built and not have another kind of commercial use be put there instead.

Attached Exhibits

- 1) August 29, 2017 Neighborhood Meeting Materials
 - a. Notification letter
 - b. Meeting Summary
 - c. Meeting Sign-In Sheet
 - d. Notification Map of surrounding property owners
 - e. List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property

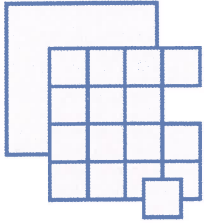
- 2) January 25, 2017 Neighborhood Meeting Materials
 - a. Notification letter
 - b. Meeting Summary
 - c. Meeting Sign-In Sheet
 - d. Notification Map of surrounding property owners
 - e. List of property owners within 1000 feet of the subject property and registered neighborhood contacts within 1 mile of the property

- 3) 11-15-2017 Planning and Zoning Board Notification Material
 - a. Draft copy of P&Z Notification Letter
 - b. Notification Map of surrounding property owners within 500 feet
 - c. List of property owners within 500 feet of the subject property and registered neighborhood contacts within one-half mile

- 4) Draft copy of the 10-10-2017 DRB Notification Letter

Schedule:

1 st Neighborhood Meeting	January 25, 2017
Formal Submittal to City	August 28, 2017
2 nd Neighborhood Meeting	August 29, 2017
Follow-Up Submittal	October 3, 2017
Planning & Zoning Public Hearing	November 15, 2017
City Council Introduction	TBD (December 2017)
City Council Final Action	TBD (January 2018)



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

August 14, 2017

Dear Neighbor:

We are pleased to invite you to a second neighborhood meeting to receive your comments on an application being made to the City of Mesa for an office/commercial development located at the southwest corner of McKellips and 66th Street (APNs 141-65-082, -083, -084 and -085). The application includes a request for a rezoning of approximately 1.83 acres from the RS-9 to C-1 (Neighborhood Commercial) zoning district and for site plan approval.

A second neighborhood meeting has been scheduled to give property owners in this area another opportunity to meet with the applicant and property owner, and to learn more about the proposed project.

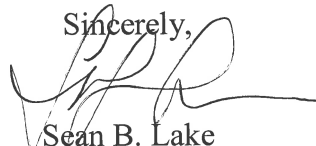
The details of this meeting are as follows:

Date: Tuesday, August 29, 2017

Time: 6:00 p.m.

Place: Mendoza Elementary
Media Center
5831 E McLellan Rd
Mesa, AZ 85205

If you have any questions regarding this matter prior to the neighborhood meeting, please contact me, or Valerie Claussen with our office at (480) 461-4670.

Sincerely,

Sean B. Lake
PEW & LAKE, PLC

Mesa Medical (66th St & McKellips) Neighborhood Meeting Summary

August 29, 2017 at 6:00 pm

Mendoza Elementary School
Media Center
5831 E McLellan Rd
Mesa, AZ 85205

Meeting began at 6:05 pm

Mr. Lake made introductions and gave a brief presentation regarding the project which included the following key points:

- ❖ Project consists of four lots that have been left undeveloped for more than thirty years and does not appear to be the right location for residential
- ❖ Proposal consists of a single story 14,000 square foot office building that anticipates medical uses, such as a primary care doctor, dentist, physical therapist type offices
 - Associated site improvements include the perimeter landscaping, the parking lot landscaping, site retention and McKellips Road frontage improvements such as the curb, gutter and sidewalk
- ❖ The revised site plan incorporated the feedback received from the last neighborhood meeting which was to not have any vehicular access from 66th Street and for a single story building.

Questions, Answers and Comments were taken. (See table below)

Meeting concluded at 6:36 pm

<i>Public Comment</i>	<i>Applicant Response</i>
<i>Any improvement is better than a vacant lot or a used car lot. It's such a distraction that I am really glad to see this going in.</i>	Noted. The cars have been parking the excess right-of-way that is actually the City's property and we've been working with the City on reporting this issue.
<i>I really think you took into consideration the traffic flow in the area and eliminated the 66th Street access and I like that.</i>	Noted.
<i>What does the City look at in their review of the project?</i>	They complete a technical review that includes things such as the landscape perimeters and the landscaping in the parking lot, they look at the number of parking stalls and also the site's drainage and if enough retention is provided. They also review the architecture of the building.

<i>There have been a lot of changes to this plan and this looks way better!</i>	Noted. We took the comments from the last meeting and incorporated into this revised proposal.
<i>I like the plan, but I do want to make sure that a convenience store doesn't sneak in there with a commercial zoning that would be on the property. My concern is changing it from residential to commercial and not having this building be what is actually built.</i>	We can work with the City to either look at an office zoning district (instead of the neighborhood commercial/C-1) and we will also be tying the zoning approval to this site plan. If this is not what is built then anything different would have to go through a rezoning process.
<i>I live directly across the street from this lot and I have tried to make the corner look better with repainting, there is already so much noise from the road, and I feel like this project will impact me and my property values.</i>	We have eliminated access to the site from 66 th Street to mitigate neighborhood traffic concerns, we are proposing a very attractive building and we do not believe that the use or development of this property in this manner would affect your property value.
<i>Will the project have covered parking?</i>	Covered parking is a common element in medical office complexes and is something that has been discussed and may happen in the future based on the tenant's needs or requests.
<i>Do you already have a tenant?</i>	No, we are in the process of doing some more intense marketing of the property now that we're to this point. We have had a couple of informal discussions with a doctor and an urgent care.
<i>I've been wanting something to happen in this area because it's been vacant and I think there's a positive business environment right now and this will be a good thing for the area.</i>	Noted.

Neighborhood Meeting
Sign-In Sheet

Applicant:

MS MCKELLIPS, LLC

Property Location:

(SEC McKellips & 66th Street)

Date:

August 29, 2017

Meeting Location:
Mendoza Elementary School
Media Center
5831 E McLellan Mesa 85205

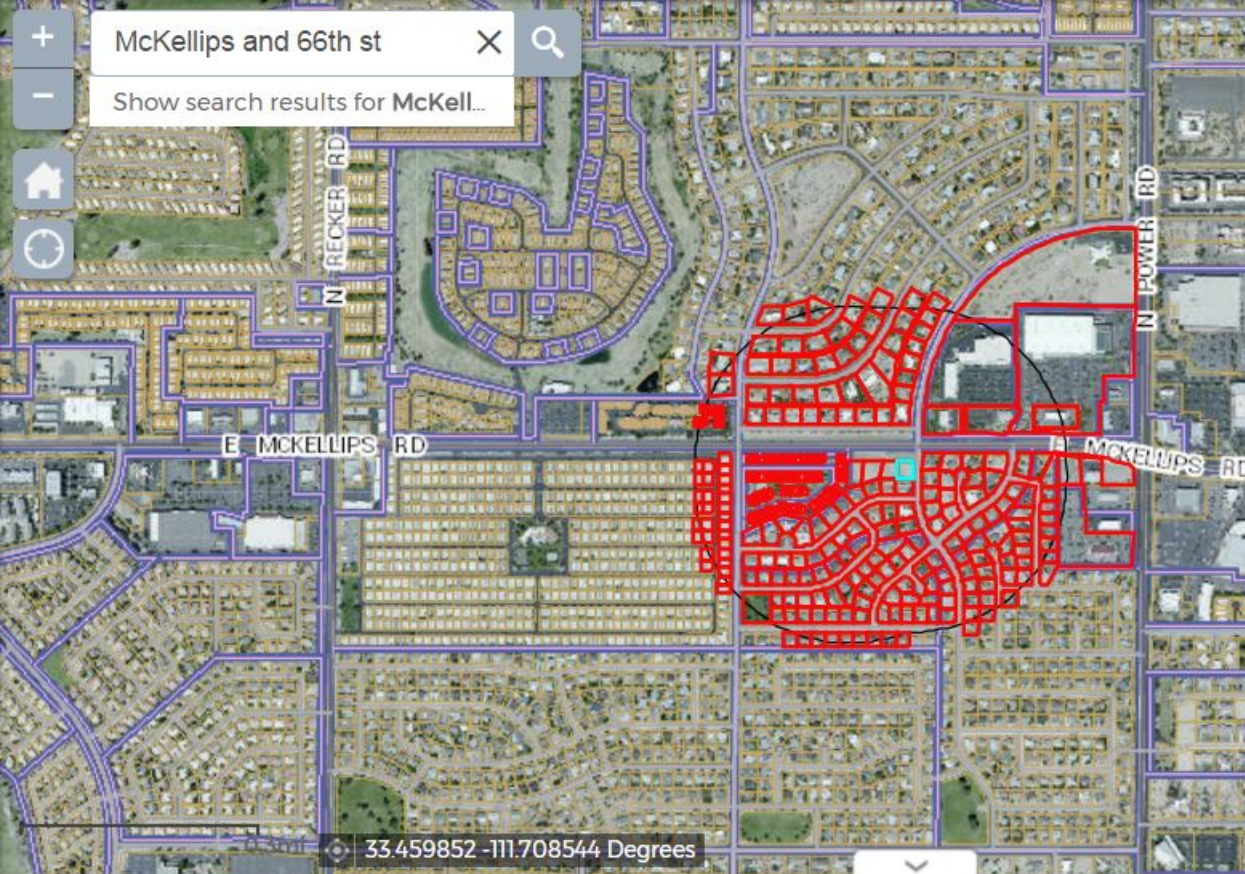
Time:

6:00 PM

Case:

#	NAME	ADDRESS	ZIP	Email	PHONE
1	AUBERT GIEBELS	6521 E JUNE ST.	85205	Dutch 21 E. COR. WET	480-985-2412
2	TODD ROVEN	6516 E. JUNE ST.	85205	TODD_RAVEN@yahoo.com	(480) 205-4911
3	Sheryl Fulmer	6408 E. Jupiter St	85205	Haskers868@hotmail.com	480-703-9851
4	Linda Wallard	1951 N 64 th Street #69	85205	Lindawallard@gmail.com	602 829 8134
5	MARY STALLMAN	1955 N. 66 th STREET	85205	mhall4427@yahoo.com	(480) 262-0913
6	Jim S ESPINOZA	6466 E JUPITER ST	85205		480-227-1538
7					
8					
9					
10					
11					
12					

DOCS
①



Options Filter by Map Extent Zoom to Clear Selection Refresh

Search Results: Parcels

APN	Floor	Parcel Number	Owner Name	Mailing Address1	Mailing Address City	M
-----	-------	---------------	------------	------------------	----------------------	---

321 features 0 selected

1945 NORTH 66TH STREET LLC
4026 S HOLBROOK LN
TEMPE, AZ 85282

2014-2 IH BORROWER LP
901 MAIN ST STE-4700
DALLAS, TX 75202

ACKERMAN DENNIS R
6250 E JASMINE ST
MESA, AZ 85205

ALLSBURY JERRY E/DEBORAH S
1837 N 66TH ST
MESA, AZ 85205

ANCHIE ROBERT/JOHNSON SOPHIA
6419 E JUNE ST
MESA, AZ 85205

ANDERSON ANDY L/JOANN E TR
6538 E JENSEN ST
MESA, AZ 85205

AUMANN BARBARA A
1951 N 64TH ST UNIT 37
MESA, AZ 85205

AYALA GABRIEL A/JENNIFER
1855 N SAFFRON CIR
MESA, AZ 85205

AZERSKY ROBIN D/MARK I/JANET M
1865 N 67TH ST
MESA, AZ 85205

BAETSLE JEANETTE M
1951 N 64TH ST #38
MESA, AZ 85205

BANDUSKY CHILDREN BENEFIT
TRUST
2909 E HERMOSA VISTA DR
MESA, AZ 85213

BAYER WILLIAM C/MARLENE R TR
1045 CYPRESS
WITCHITA, KS 672070000

BIERWAGEN LINDA S
1951 N 64TH ST UNIT 18
MESA, AZ 85205

BITTERMAN AARON J/SHARON N
6442 E JUNE ST
MESA, AZ 85205

BITTNER NAM S
1951 N 64TH ST NO 1
MESA, AZ 85205

BLANTON DOUGLAS B & PAMALA K
8440 E HERMOSA VISTA
MESA, AZ 85207

BLANTON F DARLYNE TR
6410 E JUNE ST
MESA, AZ 85205

BORTVIT TRACY
1849 N SAFFRON CIR
MESA, AZ 85205

BORTZ FAMILY REVOCABLE TRUST
6525 E RUSTIC DR
MESA, AZ 85215

BOULTER NATHAN R
6704 E JUNIPER ST
MESA, AZ 85205

BOYLE SANDRA J
1951 N 64TH ST 68
MESA, AZ 85205

BRANDT ROBERT W & BARBARA A
6437 E HOLIDAY DR
MESA, AZ 85205

BRANDT RUTH H/ROBERT W TR
6443 E HOLIDAY DR
MESA, AZ 85201

BRIGHT RUEL T/SABRINA K
13339 S 154TH ST
GILBERT, AZ 85296

BRINKER RESTAURANT
CORPORATION
POBOX 802206
DALLAS, TX 75380

BURKEY JACK R/CHRISTINA J
1822 N RED CLIFF
MESA, AZ 85207

BURTON RODNEY DALE/VALERIE
ERIE
4764 ANDERSON AVE
BOWSER, BC V0R1G0

CAMPBELL DAVID/SANDRA
6534 E JENSEN ST
MESA, AZ 85205

CAMPBELL DELORES M
1951 N 66TH PL
MESA, AZ 85205

CARDENAS CRUZ C/MARIA
CHRISTINA
6528 E JASMINE ST
MESA, AZ 85205

CARUFEL ROBERT D/THEA A TR
6532 E RUSTIC DR
MESA, AZ 85215

CATES ROBERT G & MARY HELEN
1862 N 67TH ST
MESA, AZ 85205

CAUCHON ROD/DIANE M
6505 E JUNE ST
MESA, AZ 85205

CHAPMAN PAUL/ROBYN R TR
653 W DEXTER WAY
SAN TAN VALLEY, AZ 85143

CHAU DUY
6449 E JUNE ST
MESA, AZ 85205

CHRISTIANSON NATHANIEL ETAL
1938 N 67TH ST
MESA, AZ 852053776

CLIBURN JAMES R/VANESSA M
6524 E JULEP ST
MESA, AZ 85205

COEN DOUGLAS W/JANET F TR
6402 E PEBBLE DR
MESA, AZ 85215

COFFER PERRY D/TUREE
6518 E JULEP ST
MESA, AZ 85205

COLE RANDALL S/SUSAN
2101 N 64TH ST
MESA, AZ 85215

COLQUETTE LARRY/LINDA
6436 E PEBBLE DR
MESA, AZ 85215

CORRAL PHOENIX MESA LLC
7317 E GREENWAY RD
SCOTTSDALE, AZ 85260

COX JAMES H
6562 E JASMINE ST
MESA, AZ 85205

CROTTS LARRY M
6462 E RUSTIC DR
MESA, AZ 85215

CULLIPHER ROBIN L & TERRY L
2032 N 64TH ST
MESA, AZ 85202

DANA MARLA ANN TR
6436 E HOLIDAY DR
MESA, AZ 85215

DAVIS JERRY
1950 N 66TH PL
MESA, AZ 85205

DAVIS JERRY MILTON
1950 N 66TH PL
MESA, AZ 85205

DEBORAH K CLAUSEN LIVING TRUST
2824 N POWER RD BOX 113381
MESA, AZ 85215

DECELLES DAVID M/SALATA TINA L
6456 E JULEP ST
MESA, AZ 85205

DECKER JESSICA
6559 E JASMINE ST
MESA, AZ 85205

DENMAN STEPHANIE
1859 N 67TH ST
MESA, AZ 85205

DIAZ JOSE R JR & BLANDINA C
6430 E JULEP ST
MESA, AZ 852053730

DIFONDI JEANA M/RAYMOND F
1923 N 66TH ST
MESA, AZ 85205

DINSMORE TENIA JEAN/JOHN W
1917 N 67TH ST
MESA, AZ 85205

DLUZANSKY JOHN STEPHEN &
SUSAN M
1036 N SAFFRON CIR
MESA, AZ 85205

DOBSON MARK WILSON
131 W 1ST ST STE A
MESA, AZ 85201

DORGAN LISA A
1843 N 66TH ST
MESA, AZ 85205

DOSTALEK DELBERT R/MARY K TR
6387 S PALO BLANCO DR
GOLD CANYON, AZ 85118

DRENNON JOSHUA A/SHANNON M
1942 N 66TH PLACE
MESA, AZ 85205

DUARTE THEODORE/RUFINA M
1362 S VINEYARD
MESA, AZ 85210

DUHRSSSEN EMMA
6508 E JASMINE ST
MESA, AZ 85205

DUNCAN LESLIE L
6546 E JASMINE ST
MESA, AZ 85205

DUNCAN RICK L/BETTY J
6441 E JULEP ST
MESA, AZ 85205

EAST VALLEY FREE WILL BAPTIST
CHURCH
6343 E MAIN ST
MESA, AZ 852050000

EDWARDS LONNIE L/BARBARA S
2202 GRANT
LONGMONT, CO 80501

EGGER RUTH R
1829 N SAFFRON
MESA, AZ 85205

ERVIN JAMES R/DUKE-ERVIN LORI L
6409 E HOLIDAY DR
MESA, AZ 85215

ESPARZA JIM S
6466 E JULEP ST
MESA, AZ 85205

ESPINOZA CRISTINA
6544 E JENSEN ST
MESA, AZ 85205

ET MT LIMITED PARTNERSHIP
6209 E MCKELLIPS RD 276
MESA, AZ 85212

ET MT LTD PARTNERSHIP
6209 E MCKELLIPS RD 276
MESA, AZ 85215

EVANS KEENAN
1323 E LOUIS WAY
TEMPE, AZ 85284

FARNSWORTH KATHRYN L
6448 E RUSTIC DR
MESA, AZ 85205

FERRENCE MICHAEL T/PATRIA J
6522 E JUNE ST
MESA, AZ 85205

FINLEY SONJA
6432 E JUNE ST
MESA, AZ 85205

FISCHER JOHN R
2664 FRONT ROYAL DR
COLORADO SPRINGS, CO 80919

FONG GORDON J
6457 E JULEP ST
MESA, AZ 85205

FOX GLORIA C
1951 N 64TH ST UNIT 40
MESA, AZ 85205

FRANK BEVERLY D
11320 NE 33RD AVE
VANCOUVER, WA 98686

FROST DUSTIN P
6541 E JUNE ST
MESA, AZ 85205

GAGNON ASHLEY A/SOCORRO
6536 E DELMON DR
MESA, AZ 85215

GANESAN
GURUMURTHY/KAUSALYA TR
1951 N 64TH ST UNIT 2
MESA, AZ 85205

GARDNER BRYAN K
6525 E JASMINE
MESA, AZ 85205

GIEBELS HUBERT M/IRENE TR
6521 E JUNE ST
MESA, AZ 85205

GLEASON JOSEPH D/PATRICIA J
6546 E DELMON
MESA, AZ 85207

GLOCK GREGORY
6454 E JUNE ST
MESA, AZ 85205

GOODSON CONNIE E
1951 N 64TH ST NO 28
MESA, AZ 85205

GORDIA ENTERPRISES LLC
6242 E MCLELLAN RD
MESA, AZ 85205

GORNIK DAVEY/SUSAN
6501 E RUSTIC DR
MESA, AZ 85215

GRONE KATHARINE S TR
658 W GROVE CR
MESA, AZ 852105153

GROVE JEWELL C/LOIS A
1011 PARK ST
MINOT, ND 58701

GROVES DANIEL E/BEVERLY A
6531 E JUNE ST
MESA, AZ 85205

HALL CURTIS L/EMILIE E
6455 E RUSTIC DR
MESA, AZ 85215

HANCOCK PAUL/SARA
6422 E JUNE ST
MESA, AZ 85205

HANSEN MICHAEL/KRISTEN
6518 E RUSTIC DR
MESA, AZ 85215

HANSON MORRIS D & JULIE A
6432 E RUSTIC DR
MESA, AZ 85205

HATCH BETTY G/EWTON BURGESS
L
1951 N 64TH ST UNIT 63
MESA, AZ 85205

HATFIELD SANDRA
1951 N 64TH ST UNIT 46
MESA, AZ 85205

HERNANDEZ BENIGNO/MONICA
9828 E OLLA AVE
MESA, AZ 85212

HERSHNER KENNETH E/MARY S
6518 E JENSEN ST
MESA, AZ 852020000

HINDSON JO D/ANDREW ROBERT
6448 E JULEP ST
MESA, AZ 85205

HOLLAND ROY D/JACQUELINE S TR
PO BOX 466
SPEARFISH, SD 577830466

HOLLIDAY BEATRICE E
1951 N 64TH ST 51
MESA, AZ 852050000

HOME DEPOT U S A INC
PO BOX 105842
ATLANTA, GA 303485842

HUCHEL KENNETH K/CARROLL
LINDA H
15840 E BRODIEA DR
FOUNTAIN HILLS, AZ 85268

INGLE BRIAN DALE
1951 N 64TH CT UNIT 60
MESA, AZ 85205

INMAN NEAL K/CECILIA
1945 N 66TH PL
MESA, AZ 85205

JAMES E CLEM LIVING TRUST
27411 VIA AMISTOSO
MISSION VIEJO, CA 92692

JAMES MARY
1951 N 64TH ST UNIT 44
MESA, AZ 85205

JANSEN DAVID
1851 N 66TH ST
MESA, AZ 85205

JASMANN JOY A
1951 N 64TH ST UNIT 22
MESA, AZ 85205

JAUREGUI AURORA R/DINA
6515 E JENSEN
MESA, AZ 85205

JAZWIETZ JOAN DANA
1951 N 64TH ST UNIT 32
MESA, AZ 85205

JOHNSON DOROTHY J TR
1951 N 64TH ST UNIT 9
MESA, AZ 85205

JOHNSTON-HOFFMAN DIANNE
E/HOFFMAN ARTHUR G
6447 E RUSTIC DR
MESA, AZ 85215

JUANITA NEWMAN FAMILY TRUST
1951 N 64TH ST UNIT 73
MESA, AZ 85205

KALLSTROM KENNETH C &
MICHELLE D
6446 JENSEN STREET E
MESA, AZ 85205

KALVANS ELVIS/LAUREN RACHEL
6621 E JASMINE ST
MESA, AZ 85205

KANOCZ DEAN/WILLIAMS JENNIFER
6431 E HOLIDAY DR
MESA, AZ 85215

KARR JOHN ALAN/CHERIE
6464 E JUNE ST
MESA, AZ 85205

KENNARD THELMA A
6462 E JENSEN ST
MESA, AZ 85205

KEPHART OREN R/TINA L
6513 E JULEP ST
MESA, AZ 85205

KERR FAMILY LIVING TRUST
1951 N 64TH ST NO 43
MESA, AZ 85205

KING GARY R & KATHY E
6417 E RUSTIC DR
MESA, AZ 85205

KIRK JAMES R & ROBYN L
45554 W MEADOWS LN
MARICOPA, AZ 85135

KISSELL JAMES
1951 N 64TH ST UNIT 67
MESA, AZ 85205

KITTELSON ANN
1856 N 67TH ST
MESA, AZ 85205

KLOPPING FAMILY TRUST DATED
AUGUST 5 2009
6637 E JASMIN ST
MESA, AZ 85205

KOBE KARL FREDRICK TR
1951 N 64TH ST UNIT 13
MESA, AZ 85205

KOPPEL DAVID T/CANDACE M
P O BOX 22095
MESA, AZ 85277

KROLL OSCAR/DOROTHY M TR
508 N 15TH ST
BISMARCK, ND 58501

LAM HELEN
2241 HARVARD ST SUITE 200
SACRAMENTO, CA 95815

LANDON BARBARA L/ERIC E
1861 N 65TH CIR
MESA, AZ 85205

LANGAN PATRICK W/YVETTE
1863 N SAFFRON CIR
MESA, AZ 85205

LARRY AND JUANITA ANDERSON
TRUST SURVIVORS TR
2261 N RECKER RD
MESA, AZ 85215

LINDA MARIE ROBERTSON LIVING
TRUST
1951 N 64TH ST UNIT 74
MESA, AZ 85205

LINDSAY JOANNE M
6426 E PEBBLE DR
MESA, AZ 85215

LONG RICHARD H/AMBER M
1906 N 67TH ST
MESA, AZ 85205

LUCILLE L HACKWORTH LIVING
TRUST
6526 E DELMON DR
MESA, AZ 85215

LUNDGREN CHET A
6514 E JASMINE ST
MESA, AZ 85215

MANCINI PATSY O/RANDY
E/MELODY M TR
3293 LYNN OAKS DRIVE
SAN JOSE, CA 951170000

MARGIE BERTOLDO LIVING TRUST
1951 N 64TH ST UNIT 70
MESA, AZ 85205

MARIE L GOODMAN TR
314 E MAGEE RD
TUCSON, AZ 85704

MARKS DAVID A/TAMI LYN
1922 N 67TH ST
MESA, AZ 85205

MARLIN BRAIN J/KATHY LOU
6515 E RUSTIC DR
MESA, AZ 85215

MARQUEZ SAUL C/MARGARET A
6418 E RUSTIC DR
MESA, AZ 85205

MARTINEZ NANCY A/LINDA K
3009 S ABBEY CIR
MESA, AZ 85212

MARY L NICHOLSON FAMILY LIVING
TRUST
1955 N 66TH ST
MESA, AZ 85205

MASSOW LYNETTE A
142 GEORGE ST
MIDDLE TOWN, CT 6457

MAYTAN MICHAEL/MCGUIRE
PATRICIA
6514 E PEBBLE DR
MESA, AZ 85215

MCCORMACK TERRI A
6409 E JUNE ST
MESA, AZ 85205

MCGEHEE DAVE C/CAROL J
6502 E RUSTIC DR
MESA, AZ 85205

MCKIBBIN TIMOTHY A
1929 N 66TH PL
MESA, AZ 85205

MCMILLAN RICHARD M/IRMA M
1949 N 67TH ST
MESA, AZ 85205

MEDINA FAMILY TRUST
6516 E DELMON DR
MESA, AZ 85215

MESA CITY OF
20 E MAIN ST STE 650
MESA, AZ 85211

MICHAELSON JOYCE E
PO BOX 212381
ANCHORAGE, AK 995032381

MILLER DORTHY J
1951 N 64TH ST UNIT 41
MESA, AZ 85205

MITCHELL MICHAEL A
6452 E JENSEN ST
MESA, AZ 852053754

MOODY CHARLES J/PAMELA ANN
6457 E JUNE ST
MESA, AZ 852050000

MOOREHEAD JAMES C III/VICKI R
6411 E HOLIDAY DR
MESA, AZ 85215

MORRISON VICTORINE S/FORD
SUZANNE
2610 E ORION ST
GILBERT, AZ 85234

MORTENSEN KAREN/WALLNER
DAWN M
1951 N 64TH ST UNIT 26
MESA, AZ 85205

MOSELEY CAROL L
1951 N 64TH ST UNIT 45
MESA, AZ 85205

MS MCKELLIPS L L C
1343 N TECH BLVD STE STE 119
GILBERT, AZ 85233

MURRAY LORNA L
1951 N 64TH ST UNIT 71
MESA, AZ 852053623

NANCY J ERMAN REVOCABLE TR
6529 E JENSEN ST
MESA, AZ 85205

NARDONE JAMES V
6453 E JUNE ST
MESA, AZ 85205

NAUMANN JOANNA G TR
3306 E JAEGER CIR
MESA, AZ 85213

NEAL KENNETH G/SUTLIFF DAVID
6640 E JASMINE ST
MESA, AZ 85205

NIXON WANDA/RICHARD
6423 E JULEP
MESA, AZ 85205

NOLAN BRENDA
1951 N 64TH ST UNIT 3
MESA, AZ 85205

OHSMAN JOSEPH
1951 N 64TH ST UNIT 54
MESA, AZ 85205

ORDUNA VIRGINIO ROJAS
1846 N 66TH ST
MESA, AZ 85205

OROZCO DANIEL
1860 N SAFFRON CIR
MESA, AZ 85205

ORTEGA ROBERT C
6607 E JASMINE ST
MESA, AZ 85205

ORTIZ EMIGDIO/BARBARA
4 ELBOW PL
ST ALBERT, AB T8N 6X3

OWEN DEREK
6405 E RUSTIC DR
MESA, AZ 85205

PACE TYLER F
1937 N 67TH ST
MESA, AZ 85205

PARKER FAMILY LIVING TRUST
4328 E CAPRI NO 156
MESA, AZ 85206

PEDERSON MICHAEL W/LESLIE
2033 N 64TH ST
MESA, AZ 85215

PENINGTON FRED T /MARCELLA J TR
1951 N 64TH ST 58
MESA, AZ 85205

PERKINS SHARON J
6416 E HOLIDAY DR
MESA, AZ 85215

PERNA JAIMIE/MITCHELL
6461 E JENSEN ST
MESA, AZ 85205

PIEPER LIVING TRUST
1951 N 64TH ST UNIT 4
MESA, AZ 85205

PITTS JOHN D & AMARA
6523 E JENSEN ST
MESA, AZ 85205

PORTER KENT/ANN MARIE
1836 N 65TH CIR
MESA, AZ 85205

POWERS ROBERT E/ARLENE G
1916 N 66TH ST
MESA, AZ 85205

PRATHER RICHARD A
6448 E PEBBLE
MESA, AZ 85201

QUASS JAMES R/JANE M
2311 GREEN VALLEY DR
BILLINGS, MT 59102

RAUL A CABALLERO
TRUST/CABALLERO GLORIA
6544 E DELMON DR
MESA, AZ 85215

RAVEN TODD P
6516 E JUNE ST
MESA, AZ 85205

REEDY TREVOR/DECKER JOHANNA L
1947 N 67TH ST
MESA, AZ 85205

REESE FAMILY TRUST
1828 N SAFFRON
MESA, AZ 85205

RICHARD A AND LYNEA E PARADIS
FAMILY TRUST
6429 E JUNE ST
MESA, AZ 85205

RICKS JERRY D/MARGARITA V TR
6414 E PEBBLE DR
MESA, AZ 85215

RIELLY RED MOUNTAIN LLC/H J RED
MOUNTAIN/ETAL
503 32ND ST STE 200
NEWPORT BEACH, CA 92663

RIGGS DUSTIN
6536 E JASMINE STREET
MESA, AZ 85205

ROBBINS LISA
6453 E JULEP ST
MESA, AZ 85205

ROBERTSON NICK
PO BOX 81312
PHOENIX, AZ 85069

ROBINSON REED S/BEVERLY G
1913 N 66TH ST
MESA, AZ 85205

ROMAN LOUIS/FONTAINE MAUREEN
1951 N 64TH ST UNIT 24
MESA, AZ 85205

ROOTVELD FRITS
1951 N 64TH ST NO 34
MESA, AZ 85205

ROSEMANN JACQUELYN C
1951 N 64TH ST NO 48
MESA, AZ 85205

RUSSO MATTHEW/DIANA
6429 E JENSEN ST
MESA, AZ 85205

RUSTAD EDYTHE/SHIRLEY
1919 60TH AVE NW
ROSEGLEN, ND 58775

SAULEN JOSEPH M
1914 N 67TH ST
MESA, AZ 85205

SCAVUZZO MARIA
1951 N 64TH ST 12
MESA, AZ 85205

SCHAEFER JUSTINE M/O'BRIEN
JUSTINE M
1844 N SAFFRON CIR
MESA, AZ 85205

SCHUBBE TRAVIS J/EMILY S
6536 E PEBBLE DR
MESA, AZ 85215

SEARS DIANE S
1951 N 64TH ST NO 42
MESA, AZ 85205

SEEHORN JAMES E/DJUANA L
6532 E JUNE ST
MESA, AZ 85205

SERVAL HOLDINGS LLC
2486 E PARK CT
GILBERT, AZ 85234

SEXSON DANIEL J
1838 N 66TH ST
MESA, AZ 85205

SHERYL DAWN FULMER TRUST
6408 E JULEP ST
MESA, AZ 85205

SHIRLEY M SCHWENGELS LIVING
TRUST
1951 N 64TH ST UNIT 65
MESA, AZ 85205

SHORT THOMAS G JR
1951 N 64TH ST UNIT 50
MESA, AZ 85205

SKOUSEN DARREN SCOTT/MARJORY
STEELE
6447 E JULEP ST
MESA, AZ 85205

SMITH DONALD E
1951 N 64TH ST UNIT 31
MESA, AZ 85205

SMITH SAMANATHA L
1822 N 66TH ST
MESA, AZ 85205

SPANGLER KENNETH J/HELEN E
2026 N 64TH STREET
MESA, AZ 85216

SQUIER DAVID E/MARGARET
7950 E KEATS AVE 219
MESA, AZ 85209

SRISUK RANGSAN/SOMLUCK
6438 E JENSEN ST
MESA, AZ 852050000

ST CROIX HOMES GROUP LLC
1355 S CORRINE DR
GILBERT, AZ 85296

STEARNS MARGARET J
1849 N 65TH CIRCLE
MESA, AZ 85205

STEVENSON SCOTT/KARRI
3059 UALENA ST NO 415
HONOLULU, HI 96819

STRAUSS GARY R/DEBRA E
1925 N 67TH ST
MESA, AZ 85205

SUTTON PAUL R/BONNIE L
1831 N 66TH ST
MESA, AZ 85205

SWENSON DENNIS M/CONSTANCE C
5360 LAKESHORE DR
LITTLETON, CO 80123

SZUCS JAMES/SHARRON
BOX 375
KIPLING, SA S0G 2S0

THOMAS DAN W/LEONARD
MARGARET E
1932 N 66TH PL
MESA, AZ 85205

THOMAS DEBORAH J TR
6431 E RUSTIC DR
MESA, AZ 85205

THOMPSON ELISABETH
1848 N 65TH CIR
MESA, AZ 85205

TIDWELL KEITH G/KATHY M
1922 N 66TH PL
MESA, AZ 85205

TODAYS OPPORTUNITY INC
6250 E NANCE ST
MESA, AZ 85215

TOM GALIOS AND JOY GALIOS JOINT
REVOCABLE TRU
9451 E EVANS PL
DENVER, CO 80231

TOMS HOLDING LLC
116 N SUNRISE ST
MESA, AZ 85207

TR23 LLC
PO BOX 52427
ATLANTA, GA 30355

TRACEY DIANA
1951 N 64TH ST UNIT 17
MESA, AZ 85205

TURNER JOHN M/BONNY L
1951 N 64TH ST UNIT 57
MESA, AZ 85205

TURNER WARREN HELM JR
6542 E JUNE ST
MESA, AZ 85205

VAN GOULD BARRY/LYNNE
6463 E JULEP ST
MESA, AZ 85205

VERNON D JOHNSON AND BARBARA
JOHNSON TRUST
1951 N 64TH ST UNIT-20
MESA, AZ 85215

VILLANEUVA FRANK/MERCY
1830 N 66TH ST
MESA, AZ 85205

WAHL WILLIAM C
1057 E 7TH PL
MESA, AZ 85203

WALKER KARL/JOANNE TR
8704 N COVE RD
PARK CITY, UT 84098

WALLARD AGNES ERMA
1951 N 64TH ST UNIT 66
MESA, AZ 85205

WALLARD LINDA MARION
1951 N 64TH ST NO 69
MESA, AZ 85205

WATKINSON ANDREA J
4401 E CONTESSA #2
MESA, AZ 852050000

WATT NANCY
6519 E JULEP ST
MESA, AZ 85205

WEISENBERGER JAMES T & KAREN C
6502 E PEBBLE DR
MESA, AZ 85205

WELKER CONNIE
3649 S 263RD ST
KENT, WA 98032

WESTGATE GV AT PAINTED
MOUNTAIN LLC
5601 WINDHOVER DR
ORLANDO, FL 32819

WHITE TREVOR/DANIELLE
6431 E JULEP ST
MESA, AZ 85205

WHITLEY DENNIS/CAROL
6465 E RUSTIC DR
MESA, AZ 85215

WIGAND DEBORAH J
1820 N SAFFRON CIR
MESA, AZ 85205

WILLIAM RUSSO AND ROSE HANSEN
LIVING TRUST
1951 N 64TH ST UNIT 27
MESA, AZ 85205

WILTSIE CORINNE LYNNE
6430 E JENSEN ST
MESA, AZ 85205

WINKLE MARK P/JACKIE
6503 E JULEP ST
MESA, AZ 85205

WOOD COURTNEY N/KIMBERLY B
6445 E JENSEN ST
MESA, AZ 85205

WOODCOCK PEGGY E/RITI
1951 N 64TH ST 25
MESA, AZ 85205

WOOLINGTON MICHAEL S/LENA
6545 E RUSTIC DR
MESA, AZ 85215

WRIGHT CHRISTINE
1951 N 64TH ST UNIT 56
MESA, AZ 85205

ZALANKA RAYMOND W III
14536 N 90TH LN
PEORIA, AZ 85381

McKellips/66th Street Neighborhood Meeting Minutes

Mendoza Elementary
Media Center
5831 E McClellan Rd
Mesa, AZ 85205

January 25, 2017 at 6 pm

Meeting began at 6:00 pm

Mr. Lake made introductions.

Mr. Lake then made a presentation regarding the project and some of the following key points:

- ❖ Only a pre-application to the City of Mesa has been submitted, and prior to formal application wanted to meet with the neighbors to gather input, comments and any concerns with proposal.
- ❖ The site plan was shown and discussed including the following:
 - It's a 1.83 acre site and approximately 10,000 SF of building
 - There is more parking than code requires, but that is if it's a medical use more parking is needed
 - More parking provided to prevent any overflow on adjacent streets
 - Request is for a rezoning from RS-9 (residential) to C-1 (NC) commercial zoning and for site plan approval (to build on the site)
- ❖ The development review process was described and explained and included the following:
 - Formal submittal made to the City
 - City Staff reviews the documents and materials
 - Staff schedules the item to be heard by City Planning Commission
 - Planning Commission meeting is held and they make a recommendation to the City Council
 - City Council hears the request and makes the final decision on whether or not to approve the rezoning
- ❖ The major concerns and comments from the neighbors in attendance were the following:
 - Prohibit driveway access onto 66th Street. Limit to only emergency access
 - Landscaping along the rear setback and make sure there is a buffer with trees blocking the building provided. A minimum of 20 feet is preferred.
 - Only a single story building would be acceptable
 - Restrict uses in the commercial zoning district to ensure that there are not high turn-over, drive-thrus or convenience stores allowed. Medical, sandwich shop, T-Mobile like stores are acceptable.
 - Make sure that it is low level lighting that is used in the project, particularly lighting closer to the shared property line (along the rear of the property).

Questions, Answers and Comments were taken. (See table below)

Meeting concluded at 7:02 pm

<i>Public Comment</i>	<i>Applicant Response</i>
<i>When do neighbors have a real say on whether or not this project is approved? We have seen four different proposals on this property.</i>	The ultimate decision is the City Councils on whether or not to approve the rezoning. This is the first proposal that we have represented for this property owner. We are not familiar with other proposals that have been made or at which point they were in the process.
<i>I feel like this [project] would ruin my property values. It can be anything it wants to be and I'm not interested in it being here at this location. How does the project affect the property values?</i>	We can't answer that and have learned to never try. On the flip side, what is the impact with the property being vacant?
<i>Traffic is already really bad in this area. Is that a driveway there for anyone to use? I'll fight that driveway all the way. I do not want it there [off 66th Street]. I live on the corner there and will fight it too. It's an accident waiting to happen.</i>	Planning professionals love collectors to reduce direct access to arterials and provide alternatives for circulation.
<i>What is that area shown at the back of the building abutting the neighboring property? Does it limit access to the back of the building? Is there only access from the front of the building? Is it a single story building?</i>	It is intended to be retention and natural drainage area with landscaping. Yes, there will be no access to the rear of the building. There is not an ally or driveway along the back. The proposed building is single story.
<i>In 10 years, could a bar go in there?</i>	No, it would require a rezoning of the property to a more intense zoning district.
<i>Based on zoning offices and retail would be permitted, but to what extent? What do you see going in there?</i>	Office, medical, sandwich shop, no drive-thrus or high turn-over uses, such as a fast food restaurant. The site layout isn't conducive to those uses either.
<i>My biggest objection is the 66th Street driveway.</i>	Noted.
<i>Nothing has happened on this lot in 40 years. It's used often for parking and sometimes cars for sale. Why can't it be made a green space and park or a catch basin?</i>	This is privately owned property and the desire is to develop it in some fashion. We are not aware that this is a good location for the City to use as a catch basin in their regional plans, nor have we been approached by the City that this is the case.
<i>Thank you [to the property owner] for keeping the lot clean and keeping cars off the lot and from posting.</i>	Thank you. We have tried to do our best.
<i>Would this project then provide sidewalks in the area? How would they connect to the neighborhood that does not have sidewalks?</i>	Yes, sidewalk improvements would be completed along McKellips and 66 th Street along the frontages of the property. There would then have to be a transition made from the project site to the adjacent property.

<i>I'd like the property to development more like the subdivision to the west, with the gated community. Why are you not interested in putting townhomes here?</i>	This wasn't considered before, or thought to be a preferred use of the site by the neighbors.
<i>I'm very familiar with zoning and commercial development. I flip and sell a lot of commercial properties in the area and throughout the Valley, and while I'm not a neighbor and live in this area, I'm just not in support of this project. The project can change hands and open up a convenience store for instance. I think it's important to also let the neighbors know that they have a say and have options through a legal protest process. There's no guarantee that they can rezone the property. I want to do something nice on my property, but I'm just waiting.</i>	Through the zoning commercial uses can be restricted and that is absolutely something we would consider and implement. Yes, the rezoning request is ultimately up to the City Council to decide.
<i>There is only one property owner on the corner, the rest of June Street along the [shared] property line are all rentals. They aren't here.</i>	State and city laws require notification to property owners within a specified distance from a project site. Property owner information is gathered from current tax records.
<i>Is it a long ways before something happens?</i>	The realistic timeframe is that rezoning is about 6 months, design review or site plan can take another 4 months, plus construction document approvals is likely another 4 months, so actual construction of the site being completed is likely 2 years.
<i>Why does the sale sign say medical/office?</i>	The broker is working on pre-marketing the site to garner interest in the property. We would also look at build to suite if there was a specific user. We don't have a specific user at this time.
<i>Why not just zone the property to office medical zoning? Why a rezone to C-1?</i>	We wanted and need enough flexibility to have other non-intense uses, like a walk-up restaurant or dessert place. As mentioned earlier, we would exclude fast food and drive through uses from being permitted.
<i>Would the City allow this to be built? Wouldn't a crash gate that could be used in a true emergency be sufficient for access to 66th Street?</i>	We will be looking in to this option and bring a proposal to the City the limits the access to 66 th Street.
<i>During previous development in the immediate area we thought that the traffic counts would require Jasmine to have a traffic signal, but they weren't high enough.</i>	Noted.

<p><i>How will the project affect overall traffic in the area? Because I don't want people using 66th Street as a cut through. There are no sidewalks in the area. People are walking in the street. They have little signs and cones out, that's how dangerous it is. Neighbors should be able to play in their front yard.</i></p>	<p>We will consider limiting access to 66th Street to address these concerns.</p>
<p><i>Can a business be restricted from operating 24 hours a day/7 days a week.</i></p>	<p>We can look into that further. The intent of the zoning is to keep it neighborhood, or low intensity commercial. So it is anticipated that the stores (or users) would not have extended hours.</p>

Neighborhood Meeting Sign-In Sheet

Applicant:

Pew & Lake, PLC

Property Location:

KAIN (SWC McKellips & 66th Street)
(Maricopa County APNs 141-65-082, -083, -084 and -085)

Date:

January 25, 2017

Meeting Location:

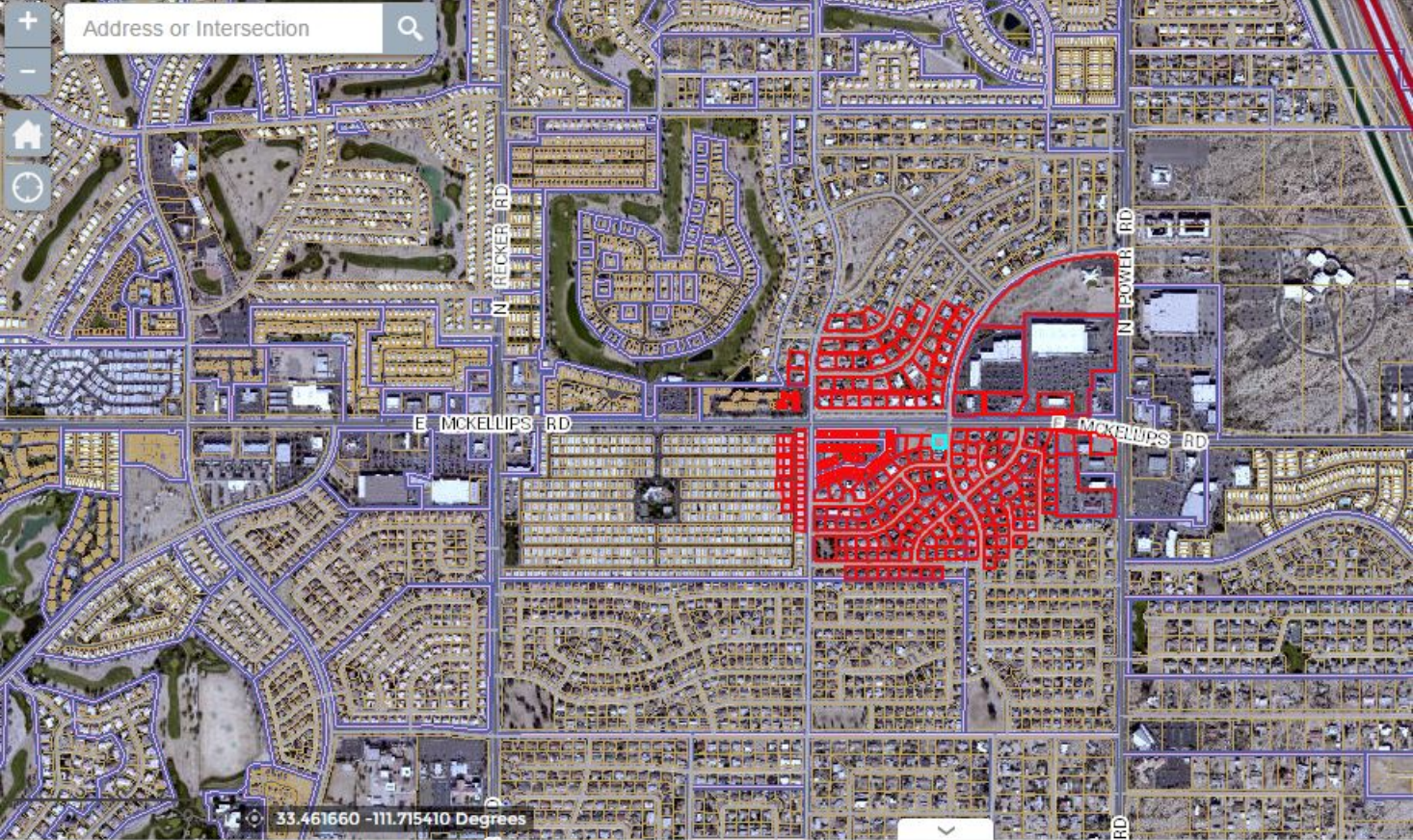
Mendoza Elementary School
Media Center
5831 E McLellan Road
Mesa, AZ 85205

Time:

6:00 PM

Case:

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Jim S. ESPARZA	6466 E JULIA STREET	85205	Jim.fds.9@gmail.com	
2	H. GIEBELS	6521 E JUNE ST.	85205		
3	WILLIAM TURNER	6542 E. JUNE ST.	85205		(602) 999-2134
4	ALAN STALLMAN	1955 N. 66 TH ST	85205		602-370-5509
5	KA Klopping	6637 E Jasmine St	85205	bigred2521@gmail.com	
6					
7					
8					
9					
10					
11					
12					



Options Filter by Map Extent Zoom to Clear Selection Refresh

Search Results: Parcels

APN	Floor	Parcel Number	Owner Name	Mailing Address1	Mailing Address City	Mailing Address State	Mailing Address Zip Code	Property Street Number	P S
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317 features 0 selected

1945 NORTH 66TH STREET LLC
4026 S HOLBROOK LN
TEMPE, AZ 85282

2014-2 IH BORROWER LP
901 MAIN ST STE-4700
DALLAS, TX 75202

ACKERMAN DENNIS R
6250 E JASMINE ST
MESA, AZ 85205

ALLSBURY JERRY E/DEBORAH S
1837 N 66TH ST
MESA, AZ 85205

ANCHIE ROBERT/JOHNSON SOPHIA
6419 E JUNE ST
MESA, AZ 85205

ANDERSON ANDY L/JOANN E TR
6538 E JENSEN ST
MESA, AZ 85205

ASTON SUSAN RAE
6461 E JENSEN ST
MESA, AZ 85205

AUMANN BARBARA A
1951 N 64TH ST UNIT 37
MESA, AZ 85205

AYALA GABRIEL A/JENNIFER
1855 N SAFFRON CIR
MESA, AZ 85205

AZERSKY ROBIN D/MARK I/JANET M
1865 N 67TH ST
MESA, AZ 85205

BAETSLE JEANETTE M
1951 N 64TH ST #38
MESA, AZ 85205

BANDUSKY CHILDREN BENEFIT
TRUST
2909 E HERMOSA VISTA DR
MESA, AZ 85213

BAYER WILLIAM C/MARLENE R TR
1045 CYPRESS
WITCHITA, KS 672070000

BIERWAGEN LINDA S
1951 N 64TH ST UNIT 18
MESA, AZ 85205

BITTERMAN AARON J/SHARON N
6442 E JUNE ST
MESA, AZ 85205

BITTNER NAM S
1951 N 64TH ST NO 1
MESA, AZ 85205

BLANTON DOUGLAS B & PAMALA K
8440 E HERMOSA VISTA
MESA, AZ 85207

BLANTON F DARLYNE TR
6410 E JUNE ST
MESA, AZ 85205

BORTVIT TRACY
1849 N SAFFRON CIR
MESA, AZ 85205

BORTZ FAMILY REVOCABLE TRUST
6525 E RUSTIC DR
MESA, AZ 85215

BOULTER NATHAN R
6704 E JUNIPER ST
MESA, AZ 85205

BOYLE SANDRA J
1951 N 64TH ST 68
MESA, AZ 85205

BRANDT ROBERT W & BARBARA A
6437 E HOLIDAY DR
MESA, AZ 85205

BRANDT RUTH H/ROBERT W TR
6443 E HOLIDAY DR
MESA, AZ 85201

BRIGHT RUEL T/SABRINA K
13339 S 154TH ST
GILBERT, AZ 85296

BRINKER RESTAURANT
CORPORATION
POBOX 802206
DALLAS, TX 75380

BURKEY JACK R/CHRISTINA J
1822 N RED CLIFF
MESA, AZ 85207

BURTON RODNEY DALE/VALERIE
ERIE
4764 ANDERSON AVE
BOWSER, BC V0R1G0

CAMPBELL DAVID/SANDRA
6534 E JENSEN ST
MESA, AZ 85205

CAMPBELL DELORES M
1951 N 66TH PL
MESA, AZ 85205

CARDENAS CRUZ C/MARIA
CHRISTINA
6528 E JASMINE ST
MESA, AZ 85205

CARUFEL ROBERT D/THEA A TR
6532 E RUSTIC DR
MESA, AZ 85215

CATES ROBERT G & MARY HELEN
1862 N 67TH ST
MESA, AZ 85205

CAUCHON ROD/DIANE M
6505 E JUNE ST
MESA, AZ 85205

CHAPMAN PAUL/ROBYN R TR
653 W DEXTER WAY
SAN TAN VALLEY, AZ 85143

CHAU DUY
6449 E JUNE ST
MESA, AZ 85205

CHRISTIANSON NATHANIEL ETAL
1938 N 67TH ST
MESA, AZ 852053776

CLIBURN JAMES R/VANESSA M
6524 E JULEP ST
MESA, AZ 85205

COEN DOUGLAS W/JANET F TR
6402 E PEBBLE DR
MESA, AZ 85215

COFFER PERRY D/TUREE
6518 E JULEP ST
MESA, AZ 85205

COLE RANDALL S/SUSAN
2101 N 64TH ST
MESA, AZ 85215

COLQUETTE LARRY/LINDA
6436 E PEBBLE DR
MESA, AZ 85215

CORRAL PHOENIX MESA LLC
7317 E GREENWAY RD
SCOTTSDALE, AZ 85260

COX JAMES H
6562 E JASMINE ST
MESA, AZ 85205

CROTTS LARRY M
6462 E RUSTIC DR
MESA, AZ 85215

CULLIPHER ROBIN L & TERRY L
2032 N 64TH ST
MESA, AZ 85202

DANA MARLA ANN TR
6436 E HOLIDAY DR
MESA, AZ 85215

DAVIS JERRY
1950 N 66TH PL
MESA, AZ 85205

DAVIS JERRY MILTON
1950 N 66TH PL
MESA, AZ 85205

DEBORAH K CLAUSEN LIVING
TRUST
2824 N POWER RD BOX 113381
MESA, AZ 85215

DECELLES DAVID M/SALATA TINA L
6456 E JULEP ST
MESA, AZ 85205

DECKER JESSICA
6559 E JASMINE ST
MESA, AZ 85205

DENMAN STEPHANIE
1859 N 67TH ST
MESA, AZ 85205

DIAZ JOSE R JR & BLANDINA C
6430 E JULEP ST
MESA, AZ 852053730

DIFONDI JEANA M/RAYMOND F
1923 N 66TH ST
MESA, AZ 85205

DINSMORE TENIA JEAN/JOHN W
1917 N 67TH ST
MESA, AZ 85205

DLUZANSKY JOHN STEPHEN &
SUSAN M
1036 N SAFFRON CIR
MESA, AZ 85205

DOBSON MARK WILSON
131 W 1ST ST STE A
MESA, AZ 85201

DORGAN LISA A
1843 N 66TH ST
MESA, AZ 85205

DOSTALEK DELBERT R/MARY K TR
6387 S PALO BLANCO DR
GOLD CANYON, AZ 85118

DRENNON JOSHUA A/SHANNON M
1942 N 66TH PLACE
MESA, AZ 85205

DUARTE THEODORE/RUFINA M
1362 S VINEYARD
MESA, AZ 85210

DUHRSSSEN EMMA
6508 E JASMINE ST
MESA, AZ 85205

DUNCAN LESLIE L
6546 E JASMINE ST
MESA, AZ 85205

DUNCAN RICK L/BETTY J
6441 E JULEP ST
MESA, AZ 85205

EAST VALLEY FREE WILL BAPTIST
CHURCH
6343 E MAIN ST
MESA, AZ 852050000

EDWARDS LONNIE L/BARBARA S
2202 GRANT
LONGMONT, CO 80501

EGGER RUTH R
1829 N SAFFRON CIR
MESA, AZ 85205

ERVIN JAMES R/DUKE-ERVIN LORI L
6409 E HOLIDAY DR
MESA, AZ 85215

ESPARZA JIM S
6466 E JULEP ST
MESA, AZ 85205

ESPINOZA CRISTINA
6544 E JENSEN ST
MESA, AZ 85205

ET MT LIMITED PARTNERSHIP
6209 E MCKELLIPS RD 276
MESA, AZ 85212

ET MT LTD PARTNERSHIP
6209 E MCKELLIPS RD 276
MESA, AZ 85215

EVANS KEENAN
1323 E LOUIS WAY
TEMPE, AZ 85284

FARNSWORTH KATHRYN L
6448 E RUSTIC DR
MESA, AZ 85205

FERRENCE MICHAEL T/PATRIA J
6522 E JUNE ST
MESA, AZ 85205

FINLEY SONJA
6432 E JUNE ST
MESA, AZ 85205

FISCHER JOHN R
2664 FRONT ROYAL DR
COLORADO SPRINGS, CO 80919

FONG GORDON J
6457 E JULEP ST
MESA, AZ 85205

FOSTER JERRY P/MARY CAROL
130 RICHLAND CT
MANCHESTER, TN 37355

FOX GLORIA C
1951 N 64TH ST UNIT 40
MESA, AZ 85205

FRANK BEVERLY D
11320 NE 33RD AVE
VANCOUVER, WA 98686

FROST DUSTIN P
6541 E JUNE ST
MESA, AZ 85205

GAGNON ASHLEY A/SOCORRO
6536 E DELMON DR
MESA, AZ 85215

GANESAN
GURUMURTHY/KAUSALYA TR
1951 N 64TH ST UNIT 2
MESA, AZ 85205

GARDNER BRYAN K
6525 E JASMINE
MESA, AZ 85205

GIEBELS HUBERT M/IRENE TR
6521 E JUNE ST
MESA, AZ 85205

GLEASON JOSEPH D/PATRICIA J
6546 E DELMON
MESA, AZ 85207

GLOCK GREGORY
6454 E JUNE ST
MESA, AZ 85205

GOODSON CONNIE E
1951 N 64TH ST NO 28
MESA, AZ 85205

GORDIA ENTERPRISES LLC
6242 E MCLELLAN RD
MESA, AZ 85205

GORNIK DAVEY/SUSAN
6501 E RUSTIC DR
MESA, AZ 85215

GOWEY J LAWRENCE/BRENDA L
6405 E RUSTIC DR
MESA, AZ 852050000

GRONE KATHARINE S TR
6624 E VILLEROY ST
MESA, AZ 85214

GROVE JEWELL C/LOIS A
1011 PARK ST
MINOT, ND 58701

GROVES DANIEL E/BEVERLY A
6531 E JUNE ST
MESA, AZ 85205

HACKWORTH ULYESS R/LUCILLE L
6526 E DELMON DR
MESA, AZ 85215

HALL CURTIS L/EMILIE E
6455 E RUSTIC DR
MESA, AZ 85215

HANCOCK PAUL/SARA
6422 E JUNE ST
MESA, AZ 85205

HANSEN MICHAEL/KRISTEN
6518 E RUSTIC DR
MESA, AZ 85215

HANSON MORRIS D & JULIE A
6432 E RUSTIC DR
MESA, AZ 85205

HATCH BETTY G/EWTON BURGESS
L
1951 N 64TH ST UNIT 63
MESA, AZ 85205

HATFIELD SANDRA
1951 N 64TH ST UNIT 46
MESA, AZ 85205

HERSHNER KENNETH E/MARY S
6518 E JENSEN ST
MESA, AZ 852020000

HINDSON JO D/ANDREW ROBERT
6448 E JULEP ST
MESA, AZ 85205

HOLLAND ROY D/JACQUELINE S TR
PO BOX 466
SPEARFISH, SD 577830466

HOLLIDAY BEATRICE E
1951 N 64TH ST 51
MESA, AZ 852050000

HOME DEPOT U S A INC
PO BOX 105842
ATLANTA, GA 303485842

HUCHEL KENNETH K/CARROLL
LINDA H
15840 E BRODIEA DR
FOUNTAIN HILLS, AZ 85268

ILNICKY PETER
1004 S SANTA BARBARA
MESA, AZ 85202

INMAN NEAL K/CECILIA
1945 N 66TH PL
MESA, AZ 85205

JAMES E CLEM LIVING TRUST
27411 VIA AMISTOSO
MISSION VIEJO, CA 92692

JAMES MARY
1951 N 64TH ST UNIT 44
MESA, AZ 85205

JANSEN DAVID
1851 N 66TH ST
MESA, AZ 85205

JASMANN JOY A
1951 N 64TH ST UNIT 22
MESA, AZ 85205

JAUREGUI AURORA R/DINA
6515 E JENSEN
MESA, AZ 85205

JAZWIETZ JOAN DANA
1951 N 64TH ST UNIT 32
MESA, AZ 85205

JOHNSON DOROTHY J TR
1951 N 64TH ST UNIT 9
MESA, AZ 85205

JOHNSTON-HOFFMAN DIANNE
E/HOFFMAN ARTHUR G
6447 E RUSTIC DR
MESA, AZ 85215

JUANITA NEWMAN FAMILY TRUST
1951 N 64TH ST UNIT 73
MESA, AZ 85205

KALLSTROM KENNETH C &
MICHELLE D
6446 JENSEN STREET E
MESA, AZ 85205

KANOCZ DEAN/WILLIAMS JENNIFER
6431 E HOLIDAY DR
MESA, AZ 85215

KARR JOHN ALAN/CHERIE
6464 E JUNE ST
MESA, AZ 85205

KENNARD THELMA A
6462 E JENSEN ST
MESA, AZ 85205

KEPHART OREN R/TINA L
6513 E JULEP ST
MESA, AZ 85205

KERR FAMILY LIVING TRUST
1951 N 64TH ST NO 43
MESA, AZ 85205

KING GARY R & KATHY E
6417 E RUSTIC DR
MESA, AZ 85205

KIRK JAMES R & ROBYN L
45554 W MEADOWS LN
MARICOPA, AZ 85135

KITTELSON ANN
1856 N 67TH ST
MESA, AZ 85205

KLOPPING FAMILY TRUST DATED
AUGUST 5 2009
6637 E JASMIN ST
MESA, AZ 85205

KOBE KARL FREDRICK TR
1951 N 64TH ST UNIT 13
MESA, AZ 85205

KOPPEL DAVID T/CANDACE M
P O BOX 22095
MESA, AZ 85277

KROLL OSCAR/DOROTHY M TR
508 N 15TH ST
BISMARCK, ND 58501

LAM HELEN
2241 HARVARD ST SUITE 200
SACRAMENTO, CA 95815

LANDON BARBARA L/ERIC E
1861 N 65TH CIR
MESA, AZ 85205

LANGAN PATRICK W/YVETTE
1863 N SAFFRON CIR
MESA, AZ 85205

LARRY AND JUANITA ANDERSON
TRUST SURVIVORS TR
2261 N RECKER RD
MESA, AZ 85215

LINDA MARIE ROBERTSON LIVING
TRUST
1951 N 64TH ST UNIT 74
MESA, AZ 85205

LINDSAY JOANNE M
6426 E PEBBLE DR
MESA, AZ 85215

LONG RICHARD H/AMBER M
1906 N 67TH ST
MESA, AZ 85205

LUNDGREN CHET A
6514 E JASMINE ST
MESA, AZ 85215

MANCINI PATSY O/RANDY
E/MELODY M TR
3293 LYNN OAKS DRIVE
SAN JOSE, CA 951170000

MARGIE BERTOLDO LIVING TRUST
1951 N 64TH ST UNIT 70
MESA, AZ 85205

MARIE L GOODMAN TR
314 E MAGEE RD
TUCSON, AZ 85704

MARLIN BRAIN J/KATHY LOU
6515 E RUSTIC DR
MESA, AZ 85215

MARQUEZ SAUL C/MARGARET A
6418 E RUSTIC DR
MESA, AZ 85205

MARTINEZ NANCY A/LINDA K
3009 S ABBEY CIR
MESA, AZ 85212

MARY L NICHOLSON FAMILY LIVING
TRUST
1955 N 66TH ST
MESA, AZ 85205

MASSOW LYNETTE A
142 GEORGE ST
MIDDLE TOWN, CT 6457

MAYTAN MICHAEL/MCGUIRE
PATRICIA
6514 E PEBBLE DR
MESA, AZ 85215

MCAULIFFE ELEANOR
6516 E JUNE ST
MESA, AZ 85205

MCCORMACK TERRI A
6409 E JUNE ST
MESA, AZ 85205

MCGEHEE DAVE C/CAROL J
6502 E RUSTIC DR
MESA, AZ 85205

MCKIBBIN TIMOTHY A
1929 N 66TH PL
MESA, AZ 85205

MCMILLAN RICHARD M/IRMA M
1949 N 67TH ST
MESA, AZ 85205

MEDINA FAMILY TRUST
6516 E DELMON DR
MESA, AZ 85215

MESA CITY OF
20 E MAIN ST STE 650
MESA, AZ 85211

MICHAELSON JOYCE E
1231 W NORTHERN LIGHTS BLVD
UNIT 801
ANCHORAGE, AL 99503

MILLER DORTHY J
1951 N 64TH ST UNIT 41
MESA, AZ 85205

MITCHELL MICHAEL A
6452 E JENSEN ST
MESA, AZ 852053754

MIZER DOROTHY I
6416 E JULEP
MESA, AZ 85205

MOODY CHARLES J/PAMELA ANN
6457 E JUNE ST
MESA, AZ 852050000

MOONEY BRIAN J/KIMBERLEY D
6621 E JASMINE ST
MESA, AZ 85205

MOOREHEAD JAMES C III/VICKI R
6411 E HOLIDAY DR
MESA, AZ 85215

MORRISON VICTORINE S/FORD
SUZANNE
2610 E ORION ST
GILBERT, AZ 85234

MORTENSEN KAREN/WALLNER
DAWN M
1951 N 64TH ST UNIT 26
MESA, AZ 85205

MOSELEY CAROL L
1951 N 64TH ST UNIT 45
MESA, AZ 85205

MS MCKELLIPS L L C
1343 N TECH BLVD STE STE 119
GILBERT, AZ 85233

NANCY J ERMAN REVOCABLE TR
6529 E JENSEN ST
MESA, AZ 85205

NARDONE JAMES V
6453 E JUNE ST
MESA, AZ 85205

NAUMANN JOANNA G TR
3306 E JAEGER CIR
MESA, AZ 85213

NEAL KENNETH G/SUTLIFF DAVID
6640 E JASMINE ST
MESA, AZ 85205

NIXON WANDA/RICHARD
6423 E JULEP
MESA, AZ 85205

NOLAN BRENDA
1951 N 64TH ST UNIT 3
MESA, AZ 85205

OHSMAN JOSEPH
1951 N 64TH ST UNIT 54
MESA, AZ 85205

ORDUNA VIRGINIO ROJAS
1846 N 66TH ST
MESA, AZ 85205

OROZCO DANIEL
1860 N SAFFRON CIR
MESA, AZ 85205

ORTEGA ROBERT C
6607 E JASMINE ST
MESA, AZ 85205

ORTIZ EMIGDIO/BARBARA
4 ELBOW PL
ST ALBERT, AB T8N 6X3

PACE TYLER F
1937 N 67TH ST
MESA, AZ 85205

PARKER FAMILY LIVING TRUST
4328 E CAPRI NO 156
MESA, AZ 85206

PEDERSON MICHAEL W/LESLIE
2033 N 64TH ST
MESA, AZ 85215

PENDING
PENDING
PENDING, PEND 0

PENINGTON FRED T /MARCELLA J TR
1951 N 64TH ST 58
MESA, AZ 85205

PERKINS SHARON J
6416 E HOLIDAY DR
MESA, AZ 85215

PIEPER LIVING TRUST
1951 N 64TH ST UNIT 4
MESA, AZ 85205

PITTS JOHN D & AMARA
6523 E JENSEN ST
MESA, AZ 85205

PORTER KENT/ANN MARIE
1836 N 65TH CIR
MESA, AZ 85205

POWERS ROBERT E/ARLENE G
1916 N 66TH ST
MESA, AZ 85205

PRATHER RICHARD A
6448 E PEBBLE
MESA, AZ 85201

QUASS JAMES R/JANE M
2311 GREEN VALLEY DR
BILLINGS, MT 59102

RAUL A CABALLERO
TRUST/CABALLERO GLORIA
6544 E DELMON DR
MESA, AZ 85215

REEDY TREVOR/DECKER JOHANNA L
1947 N 67TH ST
MESA, AZ 85205

REESE STEPHEN GLEN & DENISE
DIANE
1828 N SAFFRON CIR
MESA, AZ 85205

RICHARD A AND LYNEA E PARADIS
FAMILY TRUST
6429 E JUNE ST
MESA, AZ 85205

RICKS JERRY D/MARGARITA V TR
6414 E PEBBLE DR
MESA, AZ 85215

RIELLY RED MOUNTAIN LLC/H J RED
MOUNTAIN/ETAL
503 32ND ST STE 200
NEWPORT BEACH, CA 92663

RIGGS DUSTIN
6536 E JASMINE STREET
MESA, AZ 85205

ROBBINS LISA
6453 E JULEP ST
MESA, AZ 85205

ROBERTSON NICK
PO BOX 81312
PHOENIX, AZ 85069

ROBINSON REED S/BEVERLY G
1913 N 66TH ST
MESA, AZ 85205

ROMAN LOUIS/FONTAINE MAUREEN
1951 N 64TH ST UNIT 24
MESA, AZ 85205

ROOTVELD FRITS
1951 N 64TH ST NO 34
MESA, AZ 85205

ROSEMANN JACQUELYN C
1951 N 64TH ST NO 48
MESA, AZ 85205

RUSSO MATTHEW/DIANA
6429 E JENSEN ST
MESA, AZ 85205

RUSTAD EDYTHE/SHIRLEY
1919 60TH AVE NW
ROSEGLEN, ND 58775

SAULEN JOSEPH M
1914 N 67TH ST
MESA, AZ 85205

SCAVUZZO MARIA
1951 N 64TH ST 12
MESA, AZ 85205

SCHAEFER JUSTINE M/O'BRIEN
JUSTINE M
1844 N SAFFRON CIR
MESA, AZ 85205

SCHUBBE TRAVIS J/EMILY S
6536 E PEBBLE DR
MESA, AZ 85215

SEARS DIANE S
1951 N 64TH ST NO 42
MESA, AZ 85205

SEEHORN JAMES E/DJUANA L
6532 E JUNE ST
MESA, AZ 85205

SERVAL HOLDINGS LLC
2486 E PARK CT
GILBERT, AZ 85234

SEXSON DANIEL J
1838 N 66TH ST
MESA, AZ 85205

SHERYL DAWN FULMER TRUST
6408 E JULEP ST
MESA, AZ 85205

SHIRLEY M SCHWENGELS LIVING
TRUST
1951 N 64TH ST UNIT 65
MESA, AZ 85205

SHORT THOMAS G JR
1951 N 64TH ST UNIT 50
MESA, AZ 85205

SKOUSEN DARREN SCOTT/MARJORY
STEELE
6447 E JULEP ST
MESA, AZ 85205

SMITH DONALD E
1951 N 64TH ST UNIT 31
MESA, AZ 85205

SMITH RONALD D/DENISE A
1523 ADAMS
SAGINAW, MI 48602

SMITH SAMANATHA L
1822 N 66TH ST
MESA, AZ 85205

SPANGLER KENNETH J/HELEN E
2026 N 64TH STREET
MESA, AZ 85216

SQUIER DAVID E/MARGARET
1951 N 64TH ST UNIT 15
MESA, AZ 85205

SRISUK RANGSAN/SOMLUCK
6438 E JENSEN ST
MESA, AZ 852050000

STANDRING TANIA
1922 N 67TH ST
MESA, AZ 85205

STEARNS MARGARET J
1849 N 65TH CIRCLE
MESA, AZ 85205

STEVENSON SCOTT/KARRI
3059 UALENA ST NO 415
HONOLULU, HI 96819

STRAUSS GARY R/DEBRA E
1925 N 67TH ST
MESA, AZ 85205

SUTTON PAUL R/BONNIE L
1831 N 66TH ST
MESA, AZ 85205

SWENSON DENNIS M/CONSTANCE C
5360 LAKESHORE DR
LITTLETON, CO 80123

SZUCS JAMES/SHARRON
BOX 375
KIPLING, SA S0G 2S0

THOMAS DAN W/LEONARD
MARGARET E
1932 N 66TH PL
MESA, AZ 85205

THOMAS DEBORAH J TR
6431 E RUSTIC DR
MESA, AZ 85205

THOMPSON ELISABETH
1848 N 65TH CIR
MESA, AZ 85205

TIDWELL KEITH G/KATHY M
1922 N 66TH PL
MESA, AZ 85205

TODAYS OPPORTUNITY INC
6250 E NANCE ST
MESA, AZ 85215

TOM GALIOS AND JOY GALIOS JOINT
REVOCABLE TRU
9451 E EVANS PL
DENVER, CO 80231

TOMS HOLDING LLC
116 N SUNRISE ST
MESA, AZ 85207

TR23 LLC
PO BOX 52427
ATLANTA, GA 30355

TRACEY DIANA
1951 N 64TH ST UNIT 17
MESA, AZ 85205

TURNER JOHN M/BONNY L
1951 N 64TH ST UNIT 57
MESA, AZ 85205

TURNER WARREN HELM JR
6542 E JUNE ST
MESA, AZ 85205

VAN GOULD BARRY/LYNNE
6463 E JULEP ST
MESA, AZ 85205

VERNON D JOHNSON AND BARBARA
JOHNSON TRUST
1951 N 64TH ST UNIT-20
MESA, AZ 85215

VILLANEUVA FRANK/MERCY
1830 N 66TH ST
MESA, AZ 85205

WAHL WILLIAM C
1057 E 7TH PL
MESA, AZ 85203

WALKER KARL/JOANNE TR
8704 N COVE RD
PARK CITY, UT 84098

WALLARD AGNES ERMA
1951 N 64TH ST UNIT 66
MESA, AZ 85205

WALLARD LINDA MARION
1951 N 64TH ST NO 69
MESA, AZ 85205

WATKINSON ANDREA J
4401 E CONTESSA #2
MESA, AZ 852050000

WATT NANCY
6519 E JULEP ST
MESA, AZ 85205

WEISENBERGER JAMES T & KAREN C
6502 E PEBBLE DR
MESA, AZ 85205

WELKER CONNIE
3649 S 263RD ST
KENT, WA 98032

WESTGATE GV AT PAINTED
MOUNTAIN LLC
5601 WINDHOVER DR
ORLANDO, FL 32819

WHITE TREVOR/DANIELLE
6431 E JULEP ST
MESA, AZ 85205

WHITLEY DENNIS/CAROL
6465 E RUSTIC DR
MESA, AZ 85215

WIGAND DEBORAH J
1820 N SAFFRON CIR
MESA, AZ 85205

WILLIAM RUSSO AND ROSE HANSEN
LIVING TRUST
1951 N 64TH ST UNIT 27
MESA, AZ 85205

WILTSIE CORINNE LYNNE
6430 E JENSEN ST
MESA, AZ 85205

WINKLE MARK P/JACKIE
6503 E JULEP ST
MESA, AZ 85205

WOOD COURTNEY N/KIMBERLY B
6445 E JENSEN ST
MESA, AZ 85205

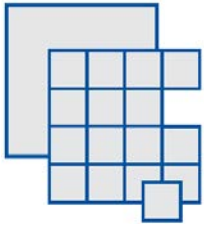
WOODCOCK PEGGY E/RITI
1951 N 64TH ST 25
MESA, AZ 85205

WOOLINGTON MICHAEL S/LENA
6545 E RUSTIC DR
MESA, AZ 85215

WRIGHT CHRISTINE
1951 N 64TH ST UNIT 56
MESA, AZ 85205

YATES GEORGE D/INGLE BRIAN
DALE
1951 N 64TH CT UNIT 60
MESA, AZ 85205

ZALANKA RAYMOND W III
14536 N 90TH LN
PEORIA, AZ 85381



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

Reese L. Anderson

Dear Neighbor:

Pew and Lake, PLC, on behalf of MS McKellips LLC, has made a rezoning application and request to the City of Mesa for a rezoning of approximately 2.4 acres from RS-9 to the NC (Neighborhood Commercial) zoning district with a Planned Area Development (PAD) overlay located at the southwest corner of McKellips and 66th Street for a 14,000 square foot medical office building and associated site improvements (APNs: 141-65-082, -083, -084 and -085).

This letter is being sent to all property owners within 500 feet, and all registered neighborhoods and HOAs within ½ mile of the property, at the request of the Mesa Planning Division. This request, **Case No. ZON17-0260**, is scheduled to be considered by the Mesa Planning and Zoning Board and you are invited to attend this meeting and provide any input you may have regarding this proposal. The details of the meeting are as follows:

Date: **Wednesday, November 15, 2017**

Time: **4:00 p.m.**

Place: **Mesa City Council Chambers**
57 East First Street
Mesa, AZ 85201

If you have any questions regarding the proposal prior to the meeting, please contact me at my office at 480-461-4670. The City of Mesa has assigned this case to Lesley Davis of the Planning Division Staff, who can be reached at (480) 644-4934 should you have any questions regarding the public hearing process.

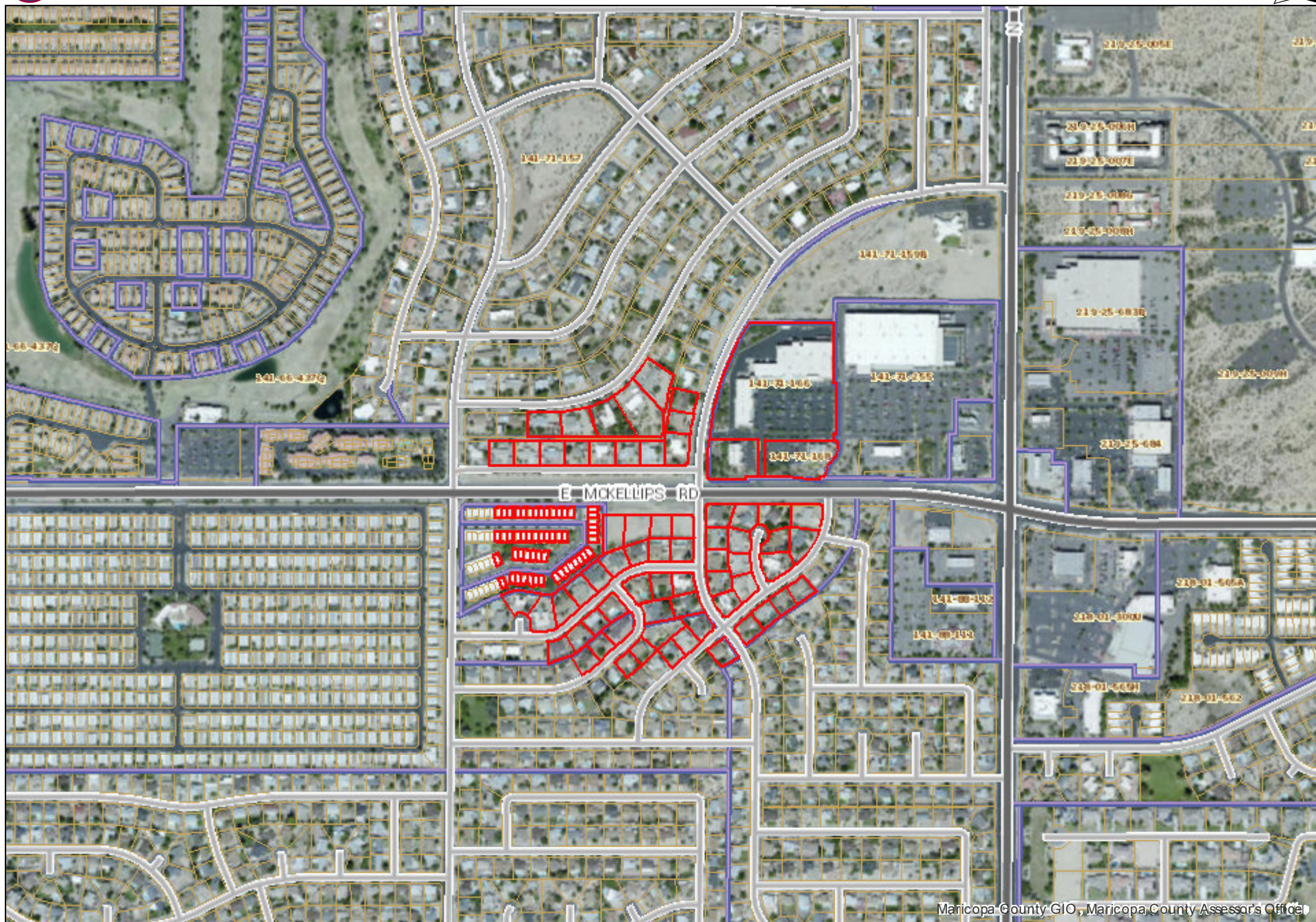
Sincerely,

Valerie Cravens

for

Sean B. Lake

PEW & LAKE, PLC



1945 NORTH 66TH STREET LLC
4026 S HOLBROOK LN
TEMPE AZ 85282

AUMANN BARBARA A
1951 N 64TH ST UNIT 37
MESA AZ 85205

BAETSLE JEANETTE M
1951 N 64TH ST #38
MESA AZ 85205

BIERWAGEN LINDA S
1951 N 64TH ST UNIT 18
MESA AZ 85205

BITTERMAN AARON J/SHARON N
6442 E JUNE ST
MESA AZ 85205

BOYLE SANDRA J
1951 N 64TH ST 68
MESA AZ 85205

BRINKER RESTAURANT
CORPORATION
POBOX 802206
DALLAS TX 75380

BURTON RODNEY DALE/VALERIE
ERIE
4764 ANDERSON AVE
BOWSER BC CANADA V0R1G0

CAMPBELL DELORES M
1951 N 66TH PL
MESA AZ 85205

CAUCHON ROD/DIANE M
6505 E JUNE ST
MESA AZ 85205

CHAU DUY
6449 E JUNE ST
MESA AZ 85205

CLIBURN JAMES R/VANESSA M
6524 E JULEP ST
MESA AZ 85205

COFFER PERRY D/TUREE
6518 E JULEP ST
MESA AZ 85205

COLQUETTE LARRY/LINDA
6436 E PEBBLE DR
MESA AZ 85215

COX JAMES H
6562 E JASMINE ST
MESA AZ 85205

DAVIS JERRY
1950 N 66TH PL
MESA AZ 85205

DEBORAH K CLAUSEN LIVING
TRUST
2824 N POWER RD BOX 113381
MESA AZ 85215

DECELLES DAVID M/SALATA TINA L
6456 E JULEP ST
MESA AZ 85205

DECKER JESSICA
6559 E JASMINE ST
MESA AZ 85205

DIFONDI JEANA M/RAYMOND F
1923 N 66TH ST
MESA AZ 85205

DOBSON MARK WILSON
131 W 1ST ST STE A
MESA AZ 85201

DRENNON JOSHUA A/SHANNON M
1942 N 66TH PLACE
MESA AZ 85205

DUARTE THEODORE/RUFINA M
1362 S VINEYARD #1086
MESA AZ 85210

DUNCAN LESLIE L
6546 E JASMINE ST
MESA AZ 85205

DURLAK MITCHELL P
8808 S BECK PL
HOMETOWN IL 60456

EDWARDS LONNIE L/BARBARA S
2202 GRANT
LONGMONT CO 80501

ESPARZA JIM S
6466 E JULEP ST
MESA AZ 85205

EVANS KEENAN
1323 E LOUIS WAY
TEMPE AZ 85284

FERRENCE MICHAEL T/PATRIA J
6522 E JUNE ST
MESA AZ 85205

FINLEY SONJA
6432 E JUNE ST
MESA AZ 85205

FISCHER JOHN R
2664 FRONT ROYAL DR
COLORADO SPRINGS CO 80919

FOX GLORIA C
1951 N 64TH ST UNIT 40
MESA AZ 85205

FRANK BEVERLY D
11320 NE 33RD AVE
VANCOUVER WA 98686

FROST DUSTIN P
6541 E JUNE ST
MESA AZ 85205

GIEBELS HUBERT M/IRENE TR
6521 E JUNE ST
MESA AZ 85205

GLOCK GREGORY
6454 E JUNE ST
MESA AZ 85205

GOODSON CONNIE E
1951 N 64TH ST NO 28
MESA AZ 85205

GORDIA ENTERPRISES LLC
6242 E MCLELLAN RD
MESA AZ 85205

GORNIK DAVEY/SUSAN
6501 E RUSTIC DR
MESA AZ 85215

GRONE KATHARINE S TR
658 W GROVE CIR
MESA AZ 85210

GROVE JEWELL C/LOIS A
1011 PARK ST
MINOT ND 58701

GROVES DANIEL E/BEVERLY A
6531 E JUNE ST
MESA AZ 85205

HALL CURTIS L/EMILIE E
6455 E RUSTIC DR
MESA AZ 85215

HATCH BETTY G/EWTON BURGESS
1951 N 64TH ST UNIT 63
MESA AZ 85205

HOLLIDAY BEATRICE E
1951 N 64TH ST 51
MESA AZ 85205

INGLE BRIAN DALE
1951 N 64TH CT UNIT 60
MESA AZ 85205

INMAN NEAL K/CECILIA
1945 N 66TH PL
MESA AZ 85205

JASMANN JOY A
1951 N 64TH ST UNIT 22
MESA AZ 85205

JAZWIETZ JOAN DANA
1951 N 64TH ST UNIT 32
MESA AZ 85205

JOHNSON DOROTHY J TR
1951 N 64TH ST UNIT 9
MESA AZ 85205

JOHNSTON-HOFFMAN DIANNE
E/HOFFMAN ARTHUR G
6447 E RUSTIC DR
MESA AZ 85215

KALVANS ELVIS/LAUREN RACHEL
6621 E JASMINE ST
MESA AZ 85205

KARR JOHN ALAN/CHERIE
6464 E JUNE ST
MESA AZ 85205

KEPHART OREN R/TINA L
6513 E JULEP ST
MESA AZ 85205

KISSELL JAMES
1951 N 64TH ST UNIT 67
MESA AZ 85205

KOBE KARL FREDRICK TR
1951 N 64TH ST UNIT 13
MESA AZ 85205

KROLL OSCAR/DOROTHY M TR
508 N 15TH ST
BISMARCK ND 58501

LAM HELEN
2241 HARVARD ST SUITE 200
SACRAMENTO CA 95815

LINDSAY JOANNE M
6426 E PEBBLE DR
MESA AZ 85215

LUCILLE L HACKWORTH LIVING
TRUST
6526 E DELMON DR
MESA AZ 85215

MARIE L GOODMAN TR
314 E MAGEE RD
TUCSON AZ 85704

MARTINEZ NANCY A/LINDA K
3009 S ABBEY CIR
MESA AZ 85212

MARY L NICHOLSON FAMILY LIVING
TRUST
1955 N 66TH ST
MESA AZ 85205

MASSOW LYNETTE A
142 GEORGE ST
MIDDLE TOWN CT 06457

MAYTAN MICHAEL/MCGUIRE
PATRICIA
6514 E PEBBLE DR
MESA AZ 85215

MCKIBBIN TIMOTHY A
1929 N 66TH PL
MESA AZ 85205

MEDINA FAMILY TRUST
6516 E DELMON DR
MESA AZ 85215

MOODY CHARLES J/PAMELA ANN
6457 E JUNE ST
MESA AZ 85205

MORRISON VICTORINE S/FORD
SUZANNE
2610 E ORION ST
GILBERT AZ 85234

MORTENSEN KAREN/WALLNER
DAWN M
1951 N 64TH ST UNIT 26 MESA AZ
85205

MS MCKELLIPS L L C
1343 N TECH BLVD STE STE 119
GILBERT AZ 85233

NARDONE JAMES V
6453 E JUNE ST
MESA AZ 85205

NEAL KENNETH G/SUTLIFF DAVID
6640 E JASMINE ST
MESA AZ 85205

OHSMAN JOSEPH
1951 N 64TH ST UNIT 54
MESA AZ 85205

ORTEGA ROBERT C
6607 E JASMINE ST
MESA AZ 85205

ORTIZ EMIGDIO/BARBARA
4 ELBOW PL ST
ALBERT AB CANADA T8N 6X3

PENINGTON FRED T /MARCELLA J TR
1951 N 64TH ST 58
MESA AZ 85205

POWERS ROBERT E/ARLENE G
1916 N 66TH ST
MESA AZ 85205

PRATHER RICHARD A
6448 E PEBBLE
MESA AZ 85201

RAVEN TODD P
6516 E JUNE ST
MESA AZ 85205

RICKS JERRY D/MARGARITA V TR
6414 E PEBBLE DR
MESA AZ 85215

RIELLY RED MOUNTAIN LLC/H J RED
MOUNTAIN/ETAL
503 32ND ST STE 200
NEWPORT BEACH CA 92663

ROBINSON REED S/BEVERLY G
1913 N 66TH ST
MESA AZ 85205

ROMAN LOUIS/FONTAINE MAUREEN
1951 N 64TH ST UNIT 24
MESA AZ 85205

ROOTVELD FRITS
1951 N 64TH ST NO 34
MESA AZ 85205

RUSTAD EDYTHE/SHIRLEY
1919 60TH AVE NW
ROSEGLEN ND 58775

SCAVUZZO MARIA
1951 N 64TH ST 12
MESA AZ 85205

SCHUBBE TRAVIS J/EMILY S
6536 E PEBBLE DR
MESA AZ 85215

SEEHORN JAMES E/DJUANA L
6532 E JUNE ST
MESA AZ 85205

SERVAL HOLDINGS LLC
2486 E PARK CT
GILBERT AZ 85234

SHIRLEY M SCHWENGELS LIVING
TRUST
1951 N 64TH ST UNIT 65
MESA AZ 85205

SMITH DONALD E
1951 N 64TH ST UNIT 31
MESA AZ 85205

SQUIER DAVID E/MARGARET
7950 E KEATS AVE 219
MESA AZ 85209

SWENSON DENNIS M/CONSTANCE C
5360 LAKESHORE DR
LITTLETON CO 80123

SZUCS JAMES/SHARRON
BOX 375
KIPLING SA CANADA S0G 2S0

THOMAS DAN W/LEONARD
MARGARET E
1932 N 66TH PL
MESA AZ 85205

THOMAS DEBORAH J TR
6431 E RUSTIC DR
MESA AZ 85205

TIDWELL KEITH G/KATHY M
1922 N 66TH PL
MESA AZ 85205

TODAYS OPPORTUNITY INC
6250 E NANCE ST
MESA AZ 85215

TOM GALIOS AND JOY GALIOS JOINT
REVOCABLE TRU
9451 E EVANS PL
DENVER CO 80231

TRACEY DIANA
1951 N 64TH ST UNIT 17
MESA AZ 85205

TURNER JOHN M/BONNY L
1951 N 64TH ST UNIT 57
MESA AZ 85205

TURNER WARREN HELM JR
6542 E JUNE ST
MESA AZ 85205

VERNON D JOHNSON AND BARBARA
JOHNSON TRUST
1951 N 64TH ST UNIT-20
MESA AZ 85215

WAHL WILLIAM C
1057 E 7TH PL
MESA AZ 85203

WALKER KARL/JOANNE TR
8704 N COVE RD
PARK CITY UT 84098

WALLARD AGNES ERMA
1951 N 64TH ST UNIT 66
MESA AZ 85205

WALLARD LINDA MARION
1951 N 64TH ST NO 69
MESA AZ 85205

WATT NANCY
6519 E JULEP ST
MESA AZ 85205

WEISENBERGER JAMES T & KAREN C
6502 E PEBBLE DR
MESA AZ 85205

WELKER CONNIE
3649 S 263RD ST
KENT WA 98032

WHITLEY DENNIS/CAROL
6465 E RUSTIC DR
MESA AZ 85215

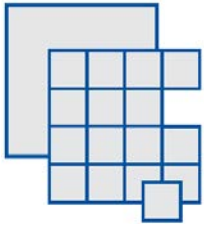
WILLIAM RUSSO AND ROSE HANSEN
LIVING TRUST
1951 N 64TH ST UNIT 27
MESA AZ 85205

WINKLE MARK P/JACKIE
6503 E JULEP ST
MESA AZ 85205

WOODCOCK PEGGY E/RITI
1951 N 64TH ST 25
MESA AZ 85205

WRIGHT CHRISTINE
1951 N 64TH ST UNIT 56
MESA AZ 85205

ZALANKA RAYMOND W III
14536 N 90TH LN
PEORIA AZ 85381



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

Notice of Public Meeting Design Review Board

Meeting Date: November 14, 2017

Meeting Time: 4:30 p.m.

Location: Lower Level City Council Chambers - 57 E. 1st Street

Proposed Development: Mesa Medical on McKellips

Project Address: SWC McKellips and 66th Street (6533 E McKellips Rd)

Parcel Numbers: 141-65-082, -028, -084 and -085

*Call Planning Division to verify date and time (480) 644-4273

Dear Neighbor,

Our client has applied for City of Mesa Design Review approval (**Case No. DRB17-00261**) for the development of an approximately 14,000 square foot medical office building. This letter is being sent to all neighboring property owners within 500 feet of the boundaries of the proposed development site and all Registered Neighborhoods and Homeowners Associations within 1,000 feet of the site as required by the Planning Division. You are invited to attend a work session of the Design Review Board and provide any input you may have regarding this proposal. Enclosed with this letter are copies of the site plan, landscape plan and elevations.

The Design Review Board reviews building design, landscape plans, parking layout and site layout. The Design Review Board does not review or discuss the actual use of the land (such as gas station, apartments or office building). Those issues are typically addressed by the Planning and Zoning Board, City Council or other public input processes.

For additional information concerning the design of the proposed development or the Design Review process, please contact the Mesa Planning Division at 55 North Center, or call the Mesa Planning Division Office at 480-644-4273. You may also call our office at 480-461-4670.

Sincerely,

Valerie Crane
for
Sean B. Lake
Pew & Lake, PLC

Enclosures

LEGAL DESCRIPTION

LOT(S) 46, 47, 48, 49, OF POMEROY ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 173 OF MAPS, PAGE 43 AND CERTIFICATE OF CORRECTION RECORDED MAY 30, 1975 IN DOCKET 11181, PAGE 168.

PROJECT DATA

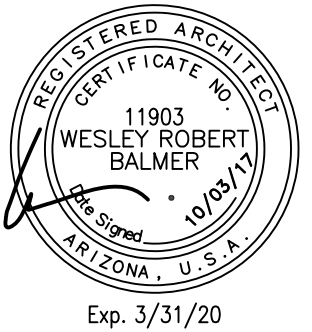
APN:	141-65-082, -083, -084 & -085
ADDRESS:	6543 E. McKELLIPS MESA, AZ 85034
ZONING:	NC (NEIGHBORHOOD COMMERCIAL)
PROPOSED USE:	MEDICAL / DENTAL / OFFICE
OCCUPANCY:	OFFICE (B)
CONSTRUCTION TYPE:	V-B, AFES (per NFPA 13)
SITE AREA:	GROSS: 105,260 S.F. (2.416 Acres) NET: 71,040 S.F. (1.631 Acres)
BUILDING AREA:	GROSS: 14,331 S.F. NET: 12,834 S.F.
LOT COVERAGE:	12,834 S.F. / 71,040 S.F. = 18%
PARKING REQUIRED:	12,834 S.F. / 200 S.F. = 64 Spaces
PARKING PROVIDED:	64 Total
ACCESSIBLE PKG. REQ'D:	2 Spaces
ACCESSIBLE PKG. PROV'D:	2 Spaces (included in total parking count)
COVERED PARKING:	12 Spaces (included in total parking count)
BICYCLE PARKING:	6.4 Spaces Required; 8 Spaces Provided
APPLICANT:	SEAN LAKE or VALERIE CLAUSSEN 1744 S. VAL VISTA DRIVE, SUITE 217 MESA, AZ 85209 480.461.4670 sean.lake@pewandlake.com valerie.claussen @pewandlake.com

BUILDING AREA DEFINITIONS:
GROSS AREA = OUTSIDE FACE OF WALL / BUILDING DRIP LINE
NET AREA = INSIDE FACE OF WALL / INSIDE FACE OF GLASS

SITE PLAN KEYNOTES

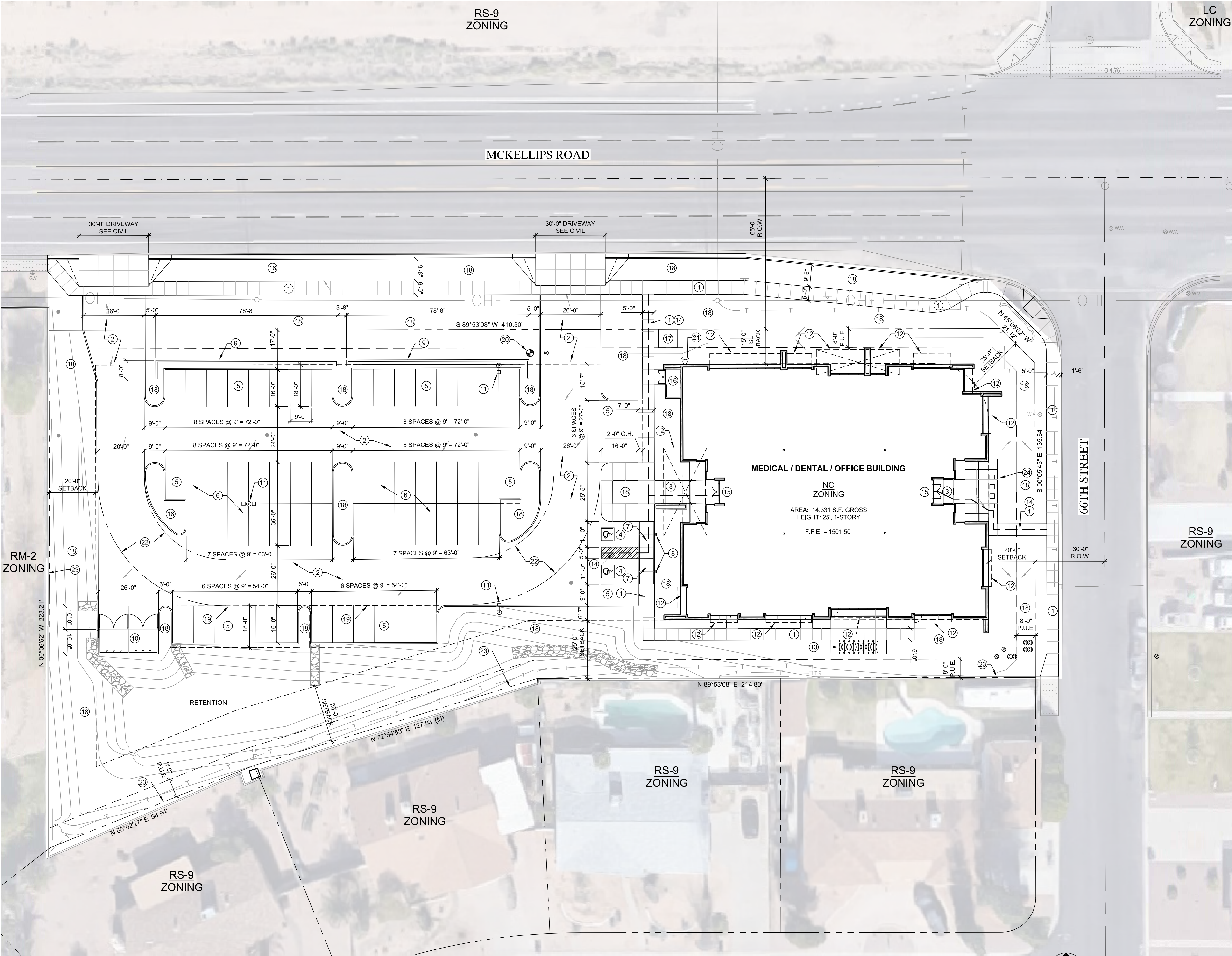
1. NEW CONCRETE SIDEWALK - WIDTH PER PLAN
2. NEW ASPHALT PAVEMENT - SEE CIVIL DRAWINGS
3. NEW CONCRETE ENTRY PAVEMENT - SEE CIVIL DRAWINGS
4. ACCESSIBLE PARKING SPACE (11'-0" WIDE x 16'-0" DEEP W/ 2'-0" OVERHANG, TWO SPACES SHARE 5' WIDE AISLE)
5. STANDARD PARKING SPACE (9'-0" WIDE x 16'-0" DEEP W/ 2'-0" OVERHANG)
6. STANDARD PARKING SPACE (9'-0" WIDE x 18'-0" DEEP)
7. ACCESSIBLE RAMP - SEE CIVIL DRAWINGS
8. ACCESSIBLE PARKING SPACE SIGNAGE
9. 3' HIGH, 8"x8"x16" SPLIT FACE CMU PARKING SCREEN WALL, PAINTED TO MATCH BUILDING COLOR P3 - SEE ELEVATION 5 / A-201
10. DOUBLE BIN REFUSE ENCLOSURE ON CONCRETE PAD WITH BOLLARDS PER CITY OF MESA STANDARD DETAILS PAINTED TO MATCH BUILDING COLOR P3 - SEE ELEVATION 6 / A-201
11. NEW LIGHT POLE & BASE - SEE ELECTRICAL DRAWINGS
12. PAINTED STEEL CHANNEL ACCENT BROW ABOVE - SEE ELEVATIONS
13. BICYCLE PARKING SPACE, 2' x 6' CLEAR SPACE, 2 SPACES SHARE ONE U-SHAPED RACK
14. ACCESSIBLE ROUTE TO ACCESSIBLE PARKING SPACES AND THE PUBLIC WAY
15. PRIMARY BUILDING ENTRY
16. SES - SEE ELECTRICAL DRAWINGS
17. TRANSFORMER - SEE ELECTRICAL DRAWINGS
18. LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
19. FUTURE PARKING CANOPY
20. NEW FIRE HYDRANT - SEE CIVIL DRAWINGS
21. NEW F.D.C. - SEE CIVIL DRAWINGS
22. FIRE TRUCK TURNING RADII - 35' INSIDE & 55' OUTSIDE RADII
23. EXISTING 6' HIGH PROPERTY LINE WALL
24. NEW 5' HIGH SCREEN WALL, STUCCO ON CMU

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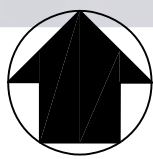


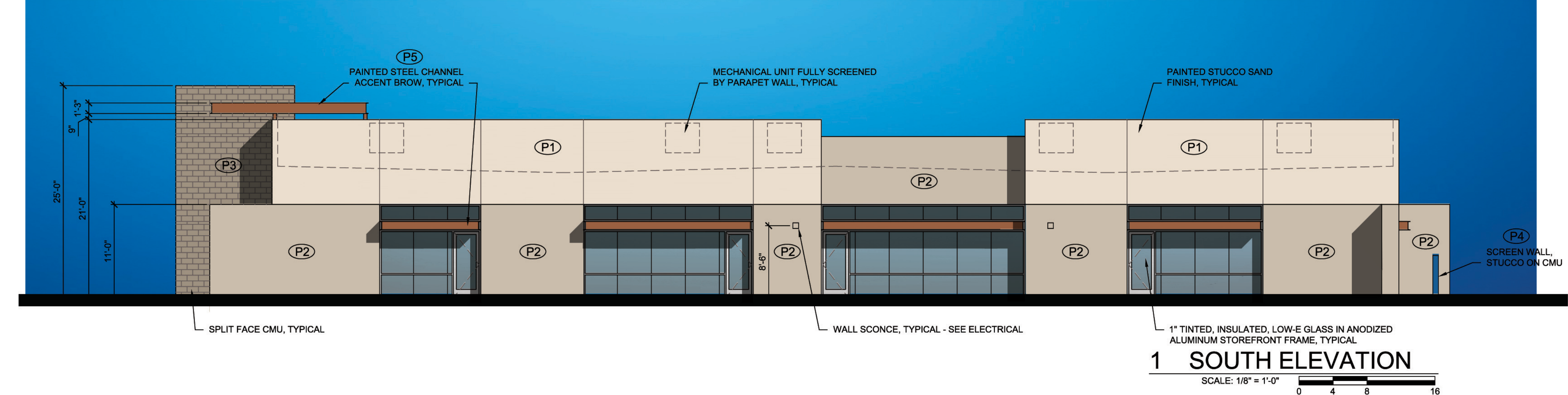
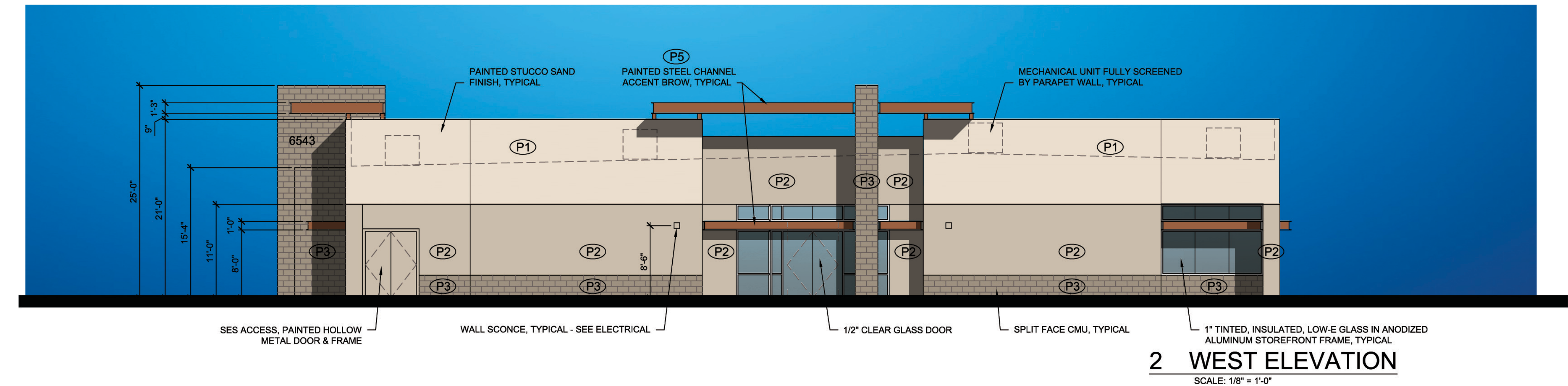
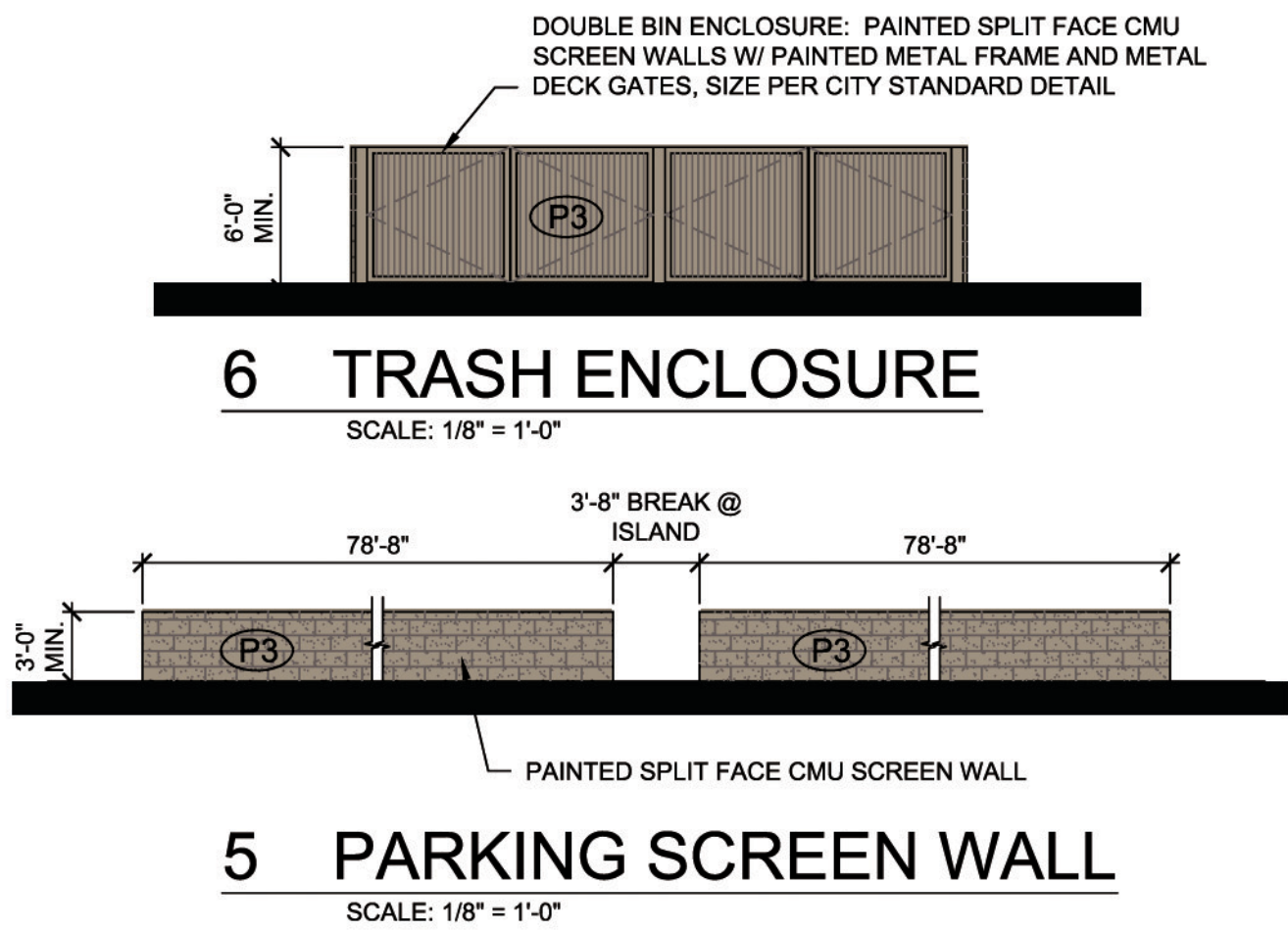
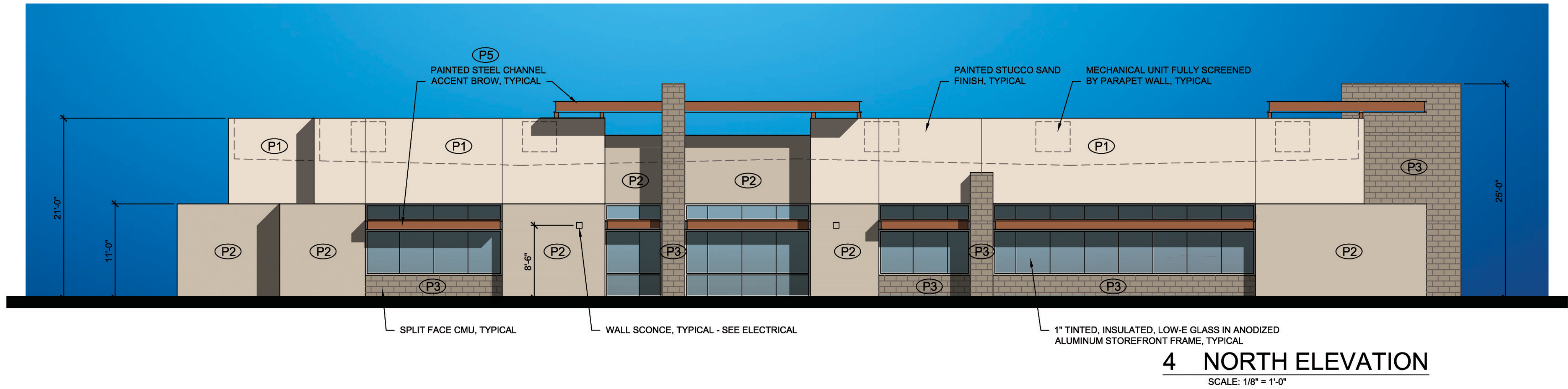
SSB - MESA MEDICAL
MESA, AZ
SITE PLAN

A-101
37010
03OCT17



SITE PLAN
SCALE: 1" = 20'-0"





PAINT & MATERIAL LEGEND:

ALL PAINTS TO BE DUNN EDWARDS OR DUNN EDWARDS EQUIVALENT

P1	DEC741 'BONE WHITE', LRV 69
P2	DEC752 'BIRCHWOOD', LRV 49
P3	DEC750 'BISON BEIGE', LRV 27
P4	DE5881 'NEWBURY PORT', LRV 10
P4	DET467 'HARRISON RUST', LRV 15

ALL BUILDING WALLS TO BE PAINTED STUCCO, SAND FINISH, U.N.O.

GLASS & FRAMES:

CLEAR LOW REFLECTIVE VISION GLASS:
GUARDIAN SNR 43 / CLEAR; 1\"/>

CLEAR ANODIZED ALUMINUM FRAME - SIZE AS REQUIRED TO MEET WIND LOADS FOR SPANS INDICATED OR AS REQUIRED BY LOCAL CODES

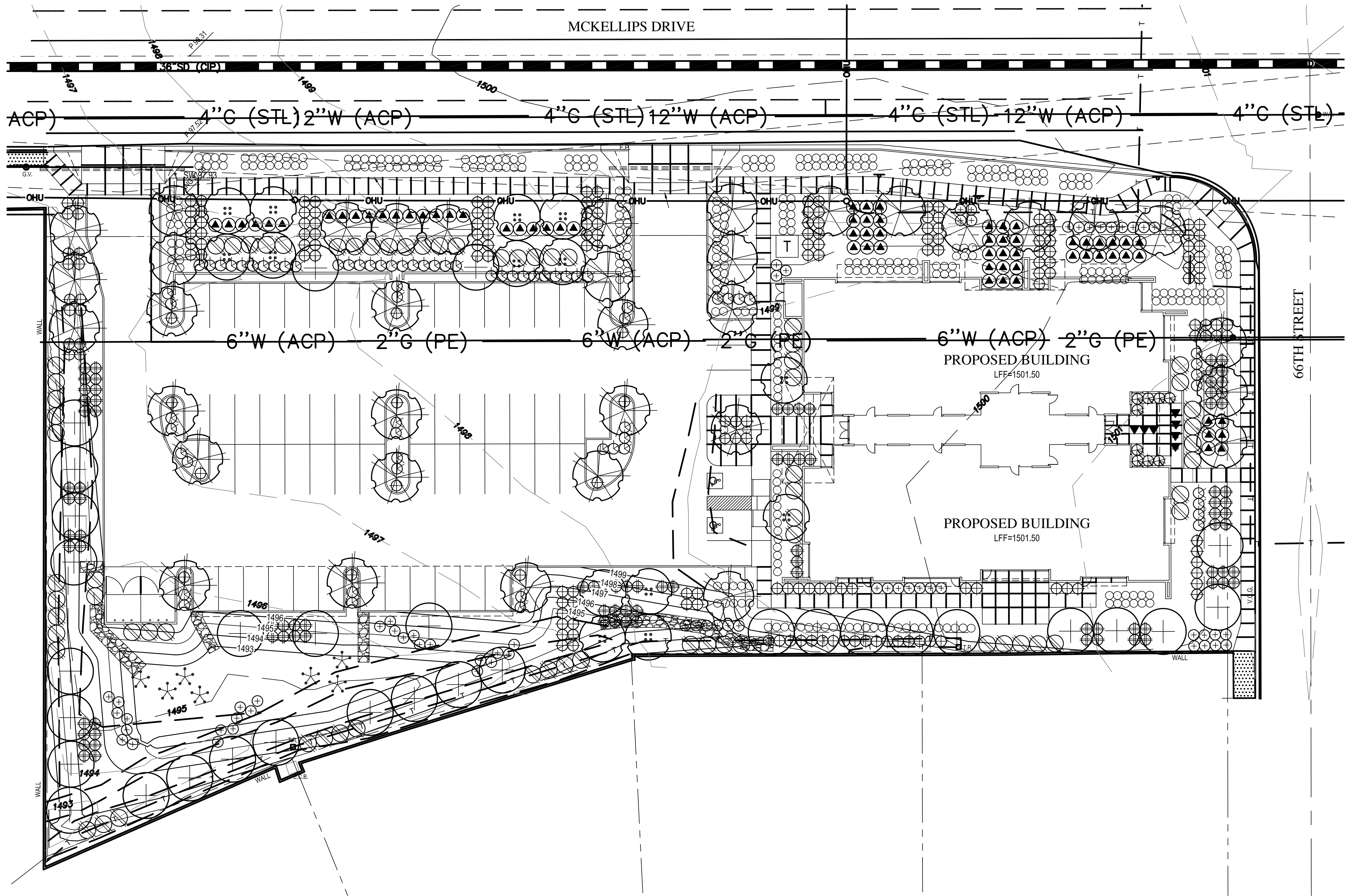
ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES MUST BE SCREENED TO THE HEIGHT OF THE HIGHEST EQUIPMENT AND/OR INTEGRATED WITH THE BUILDING DESIGN.

ALL BUILDING SIGNAGE UNDER SEPARATE PERMIT.

PRE-SUBMITTAL # PS16-0104

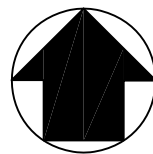
SSB - MESA MEDICAL
MESA, AZ
EXTERIOR ELEVATIONS

A-201
37010
03OCT17



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



CITY OF MESA LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH 'ARIZONIA NURSERY ASSOCIATION SPECIFICATIONS' FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.

ARTERIAL STREET:

- (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

MAJOR, MIDSECTION COLLECTOR STREET:

- (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE

COLLECTOR/INDUSTRIAL/COMMERICAL STREET:

- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

PUBLIC OR PRIVATE LOCAL STREET:

- (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

7. PLANT MATERIAL SIZES REQUIRED:

TREES: (TOTAL REQUIRED TREES):

- 25% SHALL BE 36" BOX OR LARGER
50% SHALL BE 24" BOX OR LARGER
NO TREES LESS THAN 15 GALLON

SHRUBS: (TOTAL REQUIRED SHRUBS):

- 50% SHALL BE 5 GALLON OR LARGER.
NO SHRUBS LESS THAN 1 GALLON

8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND
PARKING SHALL BE INSTALLED @ EACH END OF ROW OF STALLS AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES

9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO, OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.

10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION".

11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES".

12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS".

13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS

14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'

15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G. COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR

16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LCC.

17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

LANDSCAPE LEGEND

- PISTACHE 'RED PUSH'
RED PUSH PISTACHE
24" BOX (MATCHING)
- PISTACHE LENTISCUS
MASTIC TREE
36" BOX
- ACACIA SALICINA
WILLOW ACACIA
24" BOX
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- MUHLENBERGIA 'REGAL MIST'
REGAL MIST DEER GRASS
5 GALLON
- RUPELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
- AGAVE WEBERII
WEBBER'S AGAVE
5 GALLON
- NANDINA DOMESTICA
HEAVENLY BAMBOO
5 GALLON
- PACHYCEREUS MARINATUS
MEXICAN FENCE POST
24" BOX (5 TRUNK MIN.)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON

1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

8433 East Cholla St., Suite 101
Scottsdale, Arizona 85260
P. (602) 265-0320 F. (602) 266-6619

EMAIL: timmcqueen@tjmla.net



SSB - MESA MEDICAL
MESA, AZ
LANDSCAPE PLAN

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37010
09.30.17