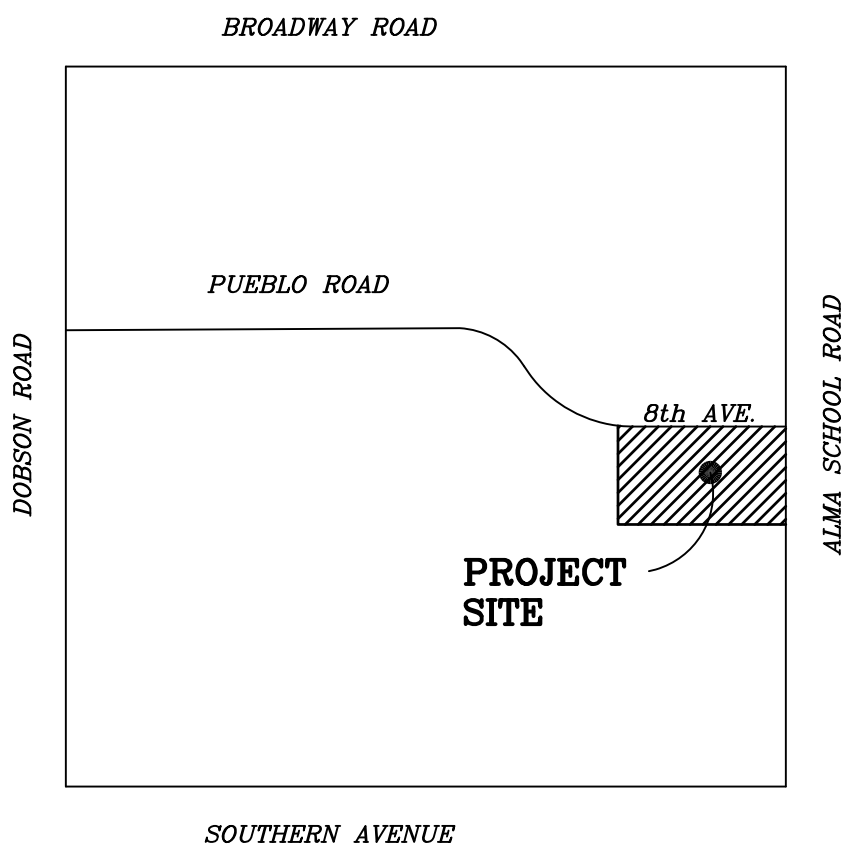


DRAINAGE EASEMENT STATEMENT

THE OWNERS OF THE PROPERTY ACKNOWLEDGE THE CITY OF MESA DRAINAGE EASEMENT ACROSS THE NORTHERN FORTY (40) FEET OF THE PROPERTY. THE OWNERS ARE ACKNOWLEDGE THE EXISTING STORM DRAIN PIPE WITHIN THE EASEMENT IS OWNED AND OPERATED BY THE CITY OF MESA. THE OWNERS WILL REMOVE AND REPLACE IN KIND ALL PHYSICAL IMPROVEMENT OVER THE DRAINAGE EASEMENT AS REQUIRED BY THE CITY OF MESA TO MAINTAIN THE DRAINAGE PIPE. AT THE REQUEST OF THE CITY OF MESA, THE OWNERS WILL IN A TIMELY MANNER REMOVE AND REPLACE IN KIND THE PAVING, CURBING, PRIVATE STORM WATER UTILITIES, REFUSE ENCLOSURE, VACUUM STATIONS, VACUUM CANOPIES AND ALL OTHER SUCH IMPROVEMENTS WITHIN THE DRAINAGE EASEMENT SO AS TO ALLOW THE CITY TO MAINTAIN THE EASEMENT FOR THE PURPOSES FOR WHICH THE EASEMENT WAS DEDICATED. THIS AGREEMENT SHALL TRANSFER WITH THE LAND UNTIL ALL PARTIES INVOLVED AGREE IN WRITING THE EASEMENT IS ABANDONED OR THE IMPROVEMENT OVER THE EASEMENT ARE PERMANENTLY REMOVED.

BUY IN'S - THERE ARE WATER AND SEWER BUY-IN'S FEES. THE SEWER BUY-IN FEE NUMBER IS 215, AND THE WATER BUY-IN FEE IS 154 (24" WATER TRANSMISSION MAIN). PLEASE CONTACT LIZ ALVARADO AT 480-644-4865



VICINITY MAP

SCALE: N.T.S.



LEGAL DESCRIPTION:

BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A BRASS CAP IN HANDHOLE ACCEPTED AS THE NORTHWEST CORNER OF SAID SECTION 30; THENCE SOUTH 01 DEGREES 23 MINUTES 00 SECONDS EAST, AN ASSUMED BEARING, AS RECORDED IN BOOK 681 OF MAPS, PAGE 20, M.C.R. ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 263123 FEET TO A BRASS CAP IN HANDHOLE ACCEPTED AS THE WEST QUARTER CORNER OF SAID SECTION 30; THENCE NORTH 89 DEGREES 59 MINUTES 45 SECONDS EAST, ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF SAID SECTION 30, AS DESCRIBED IN DOCUMENT 2002-0612161, M.C.R., A DISTANCE OF 10000 FEET, TO THE EAST LINE OF THE WEST 10000 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 30; THENCE NORTH 01 DEGREES 23 MINUTES 00 SECONDS WEST, ALONG THE EAST LINE OF THE WEST 10000 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 59175 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 01 DEGREES 23 MINUTES 00 SECONDS WEST, PARALLEL WITH AND 10000 FEET EASTERLY OF THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 16000 FEET; THENCE NORTH 88 DEGREES 36 MINUTES 15 SECONDS EAST, A DISTANCE OF 25000 FEET TO THE EAST LINE OF THE WEST 21000 FEET OF SAID NORTHWEST QUARTER AS DESCRIBED IN DOCUMENT 201-0326843, M.C.R.; THENCE SOUTH 01 DEGREES 23 MINUTES 15 SECONDS WEST, A DISTANCE OF 25000 FEET TO THE POINT OF BEGINNING.

SITE PLAN GENERAL NOTES

1. ALL ELECTRICAL UTILITY LINES SHALL BE RUN UNDERGROUND.  
2. SOLID WASTE ENCLOSURE SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF MESA DETAILS M-62.1 THROUGH M-62.7

BUILDING CODES:

2006 INTERNATIONAL BUILDING CODE  
2006 INTERNATIONAL EXISTING BUILDING CODE  
2009 INTERNATIONAL ENERGY CONSERVATION CODE  
2006 INTERNATIONAL PLUMBING CODE  
2006 INTERNATIONAL MECHANICAL CODE  
2009 NATIONAL ELECTRICAL CODE  
2006 INTERNATIONAL GREEN CONSTRUCTION CODE  
2006 INTERNATIONAL FIRE CODE 4 ORDINANCE M4189  
AND CITY OF MESA AMENDMENTS  
2010 ADA STANDARDS

PROJECT INFORMATION

PROJECT DESCRIPTION

THE DEVELOPER IS PROPOSING USE THE EXISTING ENTRY OFF POWER ROAD TO BUILDING A NEW EXPRESS CAR WASH FACILITY ON A VACANT LOT. THE NEW BUILDING PORTION OF THE PROJECT WILL CONSIST OF A NEW AUTOMATED CAR WASH FACILITY INCLUDING THE ACTUAL WASH TUNNEL, EQUIPMENT ROOM, INTERNAL BSS CLOSET, FIRE RISER CLOSET, OFFICE, RESTROOMS, AND AN EXTERNAL VENDING AREA THAT CAN BE SECURED WITH A ROLL DOOR AT NIGHT. THE NEW BUILD AREA BASE FOOTPRINT WOULD BE APPROXIMATELY 4500 SQUARE FEET.

THE CAR WASH USE IS AN ALLOWED USE IN THE EXISTING LC ZONING AND THIS WILL NOT BE DETRIMENTAL TO THE SURROUNDING AREA. THE EVENTUAL SITE OF THE CAR WASH WILL HAVE A NET AREA OF APPROXIMATELY 0.91 ACRES (39,930 SQUARE FEET). THE PROJECT WILL UTILIZE THE EXISTING DRIVE ON SOUTH POWER ROAD AS A PART OF THIS PROJECT. THE FULL 100 FOOT VEHICULAR STACKING DISTANCE IS PROVIDED ON-SITE BEFORE THE PAY STATIONS. THIS TRAFFIC WITHIN THE PUBLIC RIGHT-OF-WAYS SHOULD NOT BE IMPEDED BY THE USERS OF THE CARWASH. TRASH PICK-UP AND HANDLING WILL BE PROVIDED ON SITE AND WITHOUT GOING THROUGH OR UNDER ANY PHYSICAL IMPEDIMENTS. THE OWNER WILL ALSO INSTALL SHADED CANOPIES OVER THE VACANT STALLS WITHIN THE PARKING AREA. THE REQUIRED LANDSCAPE AND BUILDING SETBACKS ARE 15'-0" ON ALL BOUNDARIES.

ARCHITECTURALLY, THE BUILDING IS DESIGNED FOR THE SOUTH-WEST AND SAFETY. THE COLOR PALETTE AND DETAILING ARE CONSISTENT WITH HIGH-END COMMERCIAL DEVELOPMENTS OF THE GREATER PHOENIX METROPOLITAN AREA. QUALITY MATERIALS ARE BEING UTILIZED TO WITHSTAND THE ARIZONA SUN AND MOISTURE RELATED IMPACTS FROM THE CARWASH.

PROJECT ADDRESS:	CLEAN FREAK CAR WASH SOUTH POWER ROAD, NORTH OF GALVESTON ST. MESA, AZ 85202
PROJECT OWNER:	CLEAN FREAK CARWASH CONTACT: MARK MCDOWELL 3231 E. VIA DE VENTURA #10 SCOTTSDALE, AZ 85258 602-549-9913
PROJECT ARCHITECT:	LARSON ASSOCIATES ARCHITECTS, INC. 3801 NORTH 24TH STREET #100 PHOENIX, ARIZONA 85016 D.P. OF R.C. - JAMES LARSON CONTACT: LANCE MEINHOLD 602-859-9929 602-854-4750 FAX EMAIL: lmeinhold@larson-architects.com
CURRENT ZONING:	LC - LIGHT COMMERCIAL (TO REMAIN)
PARCEL NUMBER:	304-37-023R
LOT AREA:	39,930 +/- SF. (0.91 +/- ACRES)
BUILDING/LOT COVERAGE:	4,500 / 39,930 = 11.25%
NET LOT BUILDING COVERAGE:	4,500 / 39,930 = 11.25%
LANDSCAPE AREA (EXCLUDING ROAD):	9,000 SF.
LANDSCAPE COVERAGE:	9,000 / 39,961 = 22.50%
NET AREA:	9,000 / 39,961 = 22.50%
OCCUPANCY CLASSIFICATION:	B (CAR WASH)
OCCUPANCY LOAD:	OCCUPANCY LOAD CALCULATOR CAR WASH TUNNEL: 3,000 SF. / 500 = 6 EQUIPMENT ROOMS: 900 SF. / 300 = 3 OFFICE AREA: 600 SF. / 100 = 6 TOTAL OCCUPANCY LOAD = 15 OCCUPANTS
USE:	EXPRESS CAR WASH
CONSTRUCTION TYPE:	V-B
BUILDING AREA:	
CAR WASH TUNNEL:	9,000 SQ. FT.
ACTUAL AREA:	3,000 +/- SF.
OFFICE AND EQUIPMENT:	1,800 +/- SF.
TOTAL BUILDING AREA:	4,500 +/- SF.
BUILDING HEIGHT:	20'-0" +/- FT. (30'-0" MAX ALLOWED)
RESTROOM CALCULATIONS:	1 DF, 1 WC, 1 LAVATORY; PER IBC SECT. 2902.2 EXCEPTION 2
PARKING REQUIRED:	1 SPACE PER 3 NON-OFFICE EMPLOYEES + 1 1 SPACE PER 300 SF. OFFICE + 2 1 SPACE PER 24' OF TUNNEL + 4 TOTAL = 11 SPACES
PARKING PROVIDED:	20 SPACES (1 ADA COMPLIANT)

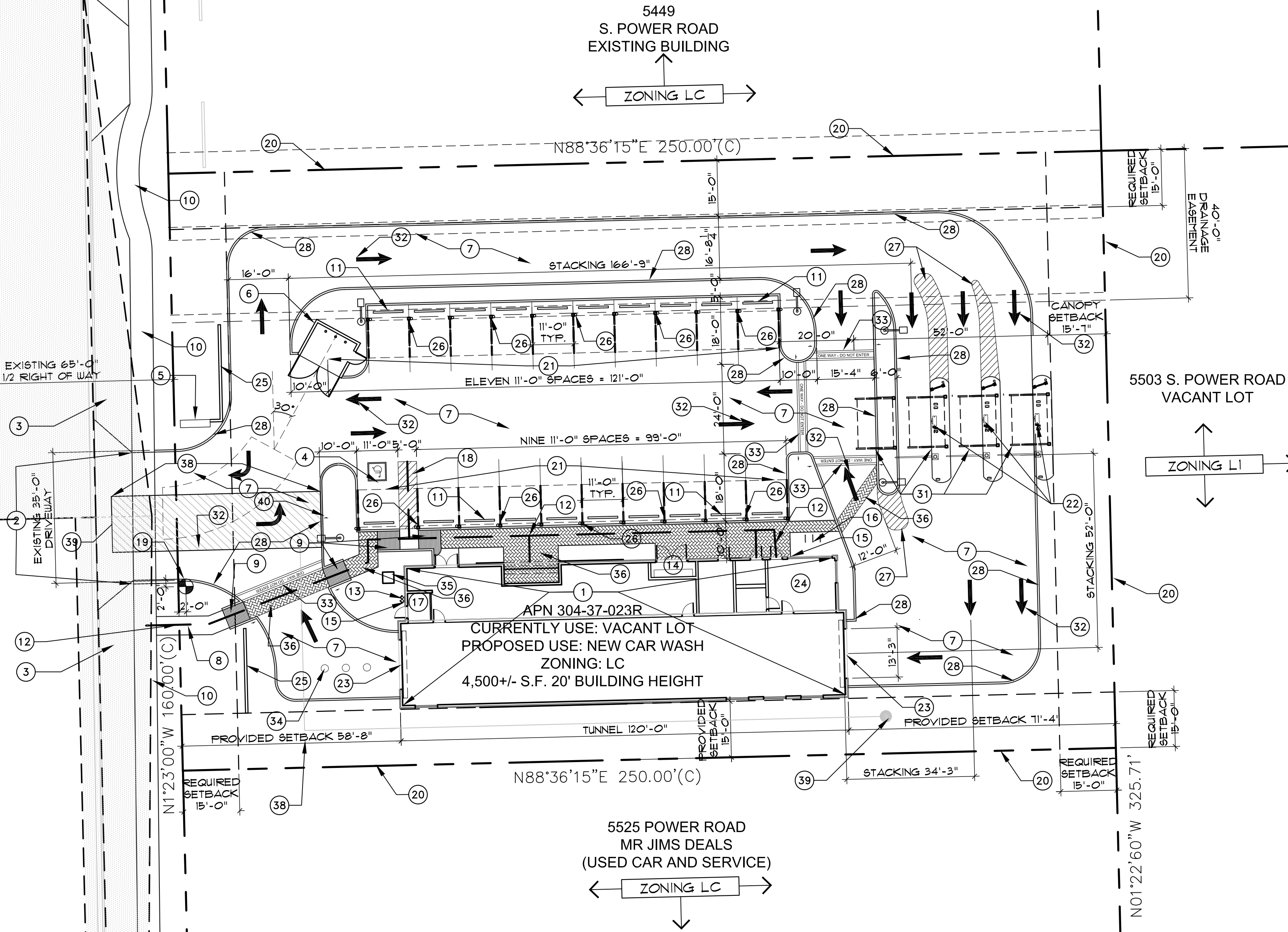
SITE PLAN KEYNOTES

- NEW GROUND-UP BUILDING - SEE FLOOR PLAN.
- EXISTING CURB CUT DRIVEWAY ENTRANCE TO REMAIN
- SIGHT TRIANGLE PER CITY OF MESA STANDARDS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 15 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT. INSTALLATION OF TREES SHALL BE MEASURED FROM NEAREST STREET LINE ELEVATIONS. - SEE DETAIL FOR 31/6P2.4 FOR TRIANGLE DIMENSIONS
- ADA VAN ACCESSIBLE PARKING SPACES WITH SIGN AND PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY - SEE 113, 14, 4 16/8P2.1
- MONUMENT SIGN, NEW SIGNAGE TO BE PART OF A SEPARATE PERMIT AND SUBMITTAL.
- REFUSE ENCLOSURE PER THE CITY OF MESA STANDARDS - SEE IT 18/8P2.2
- NEW PAVED PARKING LOT AND DRIVEWAY WITH CURB AND GUTTER - SEE CIVIL DRAWINGS AND 5/8P2.0
- NEW CONCRETE SIDEWALK (MINIMUM 5'-0" WIDE) - RAMPS AS INDICATED
- NEW ADA ACCESSIBLE RAMP MAXIMUM SLOPE 1:12 AND MAXIMUM RISE OF 6" - SEE DETAILS 9-10/8P2.0
- EXISTING CONCRETE SIDEWALK TO REMAIN
- PARKING BUMPER STOP AT EACH PARKING STALL - SEE DETAIL 1/8P2.0
- DASHED LINE INDICATES ADA ACCESS TO PUBLIC RIGHT OF WAY
- FDC PER CITY OF MESA STANDARDS - SEE BUILDING PLANS AND FIRE PROTECTION DRAWINGS
- BSS LOCATED INSIDE THE BUILDING - SEE BUILDING PLANS
- KNOX BOX PER CITY OF MESA FIRE DEPARTMENT STANDARDS
- BICYCLE PARKING FOR (6) BIKES PER MESA CITY STANDARDS - SEE DETAIL 8/8P2.0
- FIRE RISER ROOM - SEE BUILDING PLANS
- 4' ADA ACCESSIBLE PARKING AISLE LOT STRIPING IN THERMOPLASTIC, TRAFFIC RATED PAINT - SEE 9-10/8P2.1 AND CIVIL DRAWINGS
- NEW FIRE HYDRANT PER CITY OF MESA FIRE DEPARTMENT STANDARDS - SEE CIVIL PLANS
- REPLACE EXISTING CHAIN LINK FENCE WITH NEW 8'-0" HIGH WROUGHT IRON FENCE PER DETAIL 32/8P2.4
- NEW COVERED PARKING STALL WITH VACUUM ACCESSIBILITY WITH UNDER CANOPY MOUNTED SITE LIGHTING - PRE-FABRICATED STEEL AND FABRIC CANOPY BY EQUIPMENT SUPPLIER - FOUNDATION BY G.C.
- AUTOMATED PAY STATION (NON-AUDIBLE) AND LIGHTS SHIELDED FROM NEIGHBORING PROPERTIES.
- OPERABLE, OVERHEAD, VEHICULAR DOOR - SEE BUILDING PLANS
- EMPLOYEE OFFICE - SEE BUILDING PLANS
- 3'-4" ABOVE FINISH GRADE CMU PARKING SCREEN WALL - SEE DETAILS 26-30/8P2.4
- METAL TRASH BIN ATTACHED TO VACUUM CANOPY - SEE EQUIPMENT PROVIDER SHOP DRAWINGS
- 4' WIDE STRIPING FOR TRAFFIC CONTROL - PAY STATION LANES
- TYPICAL 6" CONC. CURB SURROUNDING ALL PARKING LOT AND DRIVEWAYS SEE CIVIL AND REFERENCE DETAIL 2/8P2.0
- NOT USED
- NOT USED
- NEW ATTENDANT STATION COVER CANOPY - SIMILAR TO VACUUM STATION CANOPIES - G.C. TO ENSURE CANOPY IS 13'-6" CLEAR OVER VEHICLE LOCATION
- TRAFFIC DIRECTIONAL ARROWS PER DETAIL 24/8P2.3
- DO NOT ENTER SIGNAGE SEE DETAIL 24A/8P2.3
- POSSIBLE SAND AND OIL INTERCEPTOR LOCATION - SEE PLUMBING AND CIVIL DRAWINGS - G.C. TO ENSURE SAND AND OIL INTERCEPTOR ACCESS COVERS ARE NOT IN ADA CROSS WALKS
- TRANSFORMER - LOCATION YET TO BE DETERMINED - COORDINATION WITH UTILITY CO AND CIVIL SITE RETENTION REQUIRED
- DECORATIVE HARDSCAPE OF STAMPED CONCRETE AT BUILDING FOUNDATION BASE, CROSS WALKS AND ROLLED CURB AREA AT BAIL-OUT LANE - PATTERN SHALL BE AN ASHLER STONE WITH A RANDOM INTERLOCKING PATTERN.
- NOT USED
- FIRE ACCESS ROAD - UNDER 150'-0" LONG DEAD END - ZERO TURN, OVER 20'-0" WIDE AND UNLIMITED VERTICAL CLEARANCE WITH IN 25'-0" OF BUILDING
- FIRE ACCESS ROAD LESS THAN 300'-0" TO ALL LOCATIONS OF BUILDING
- FIRE ACCESS LANE TO BE PAINTED RED AND MARKED PER CITY OF MESA - SEE DETAIL 25/8P2.3

SOUTH POWER ROAD

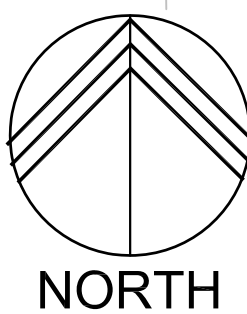
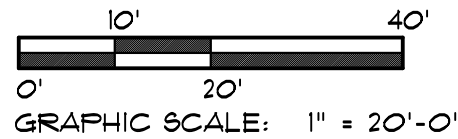
APN 304-38-009X  
S. POWER ROAD  
FARM LAND

ZONING BP

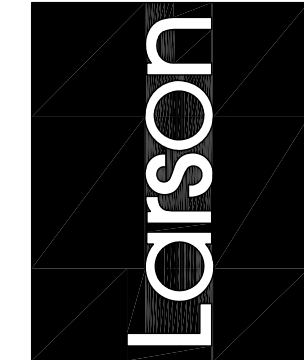


SITE PLAN - VERSION M (01-24-2017)

SCALE: 1" = 20'-0"



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CLEAN FREAK CAR WASH  
POWER ROAD & GALVESTON STREET  
MESA, AZ  
APN: 304-37-023R



Drawing Name:

Revisions

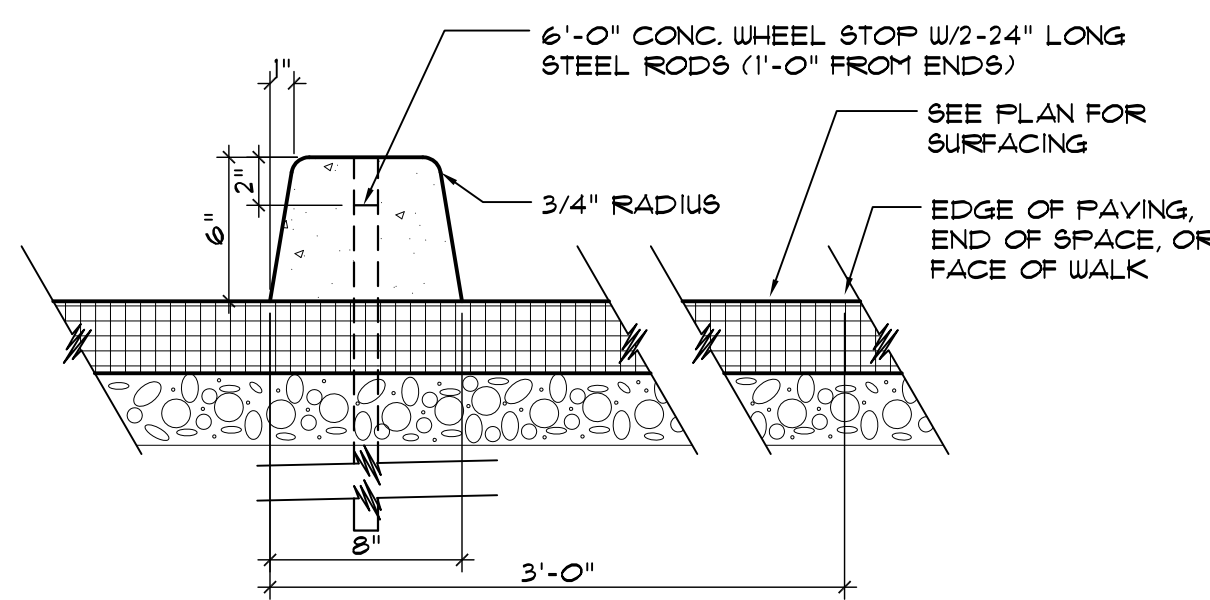
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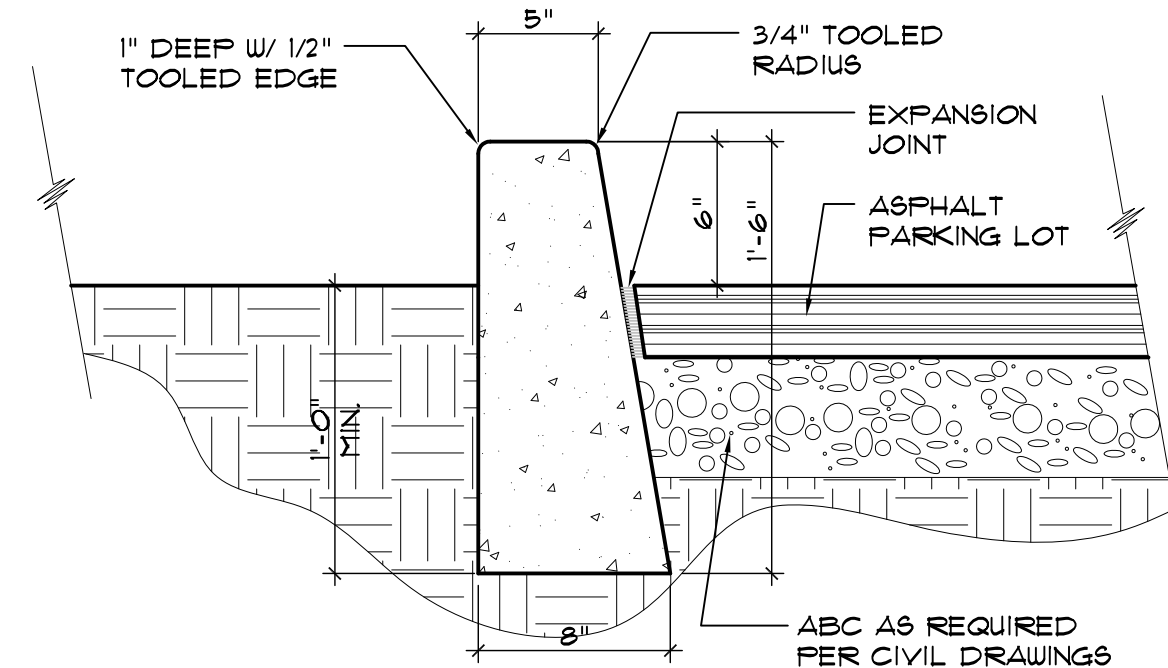
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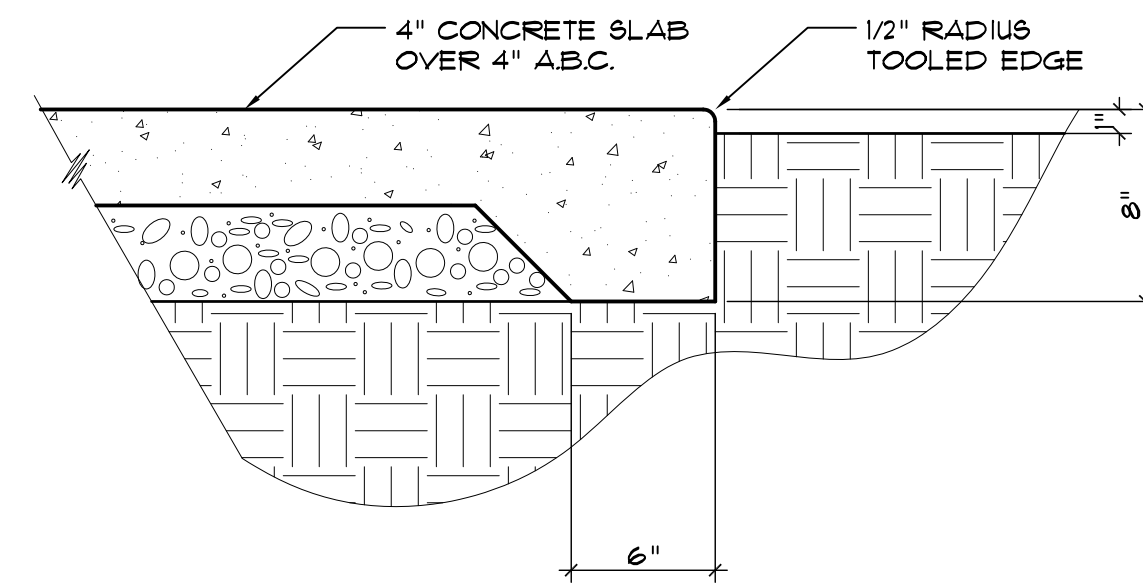




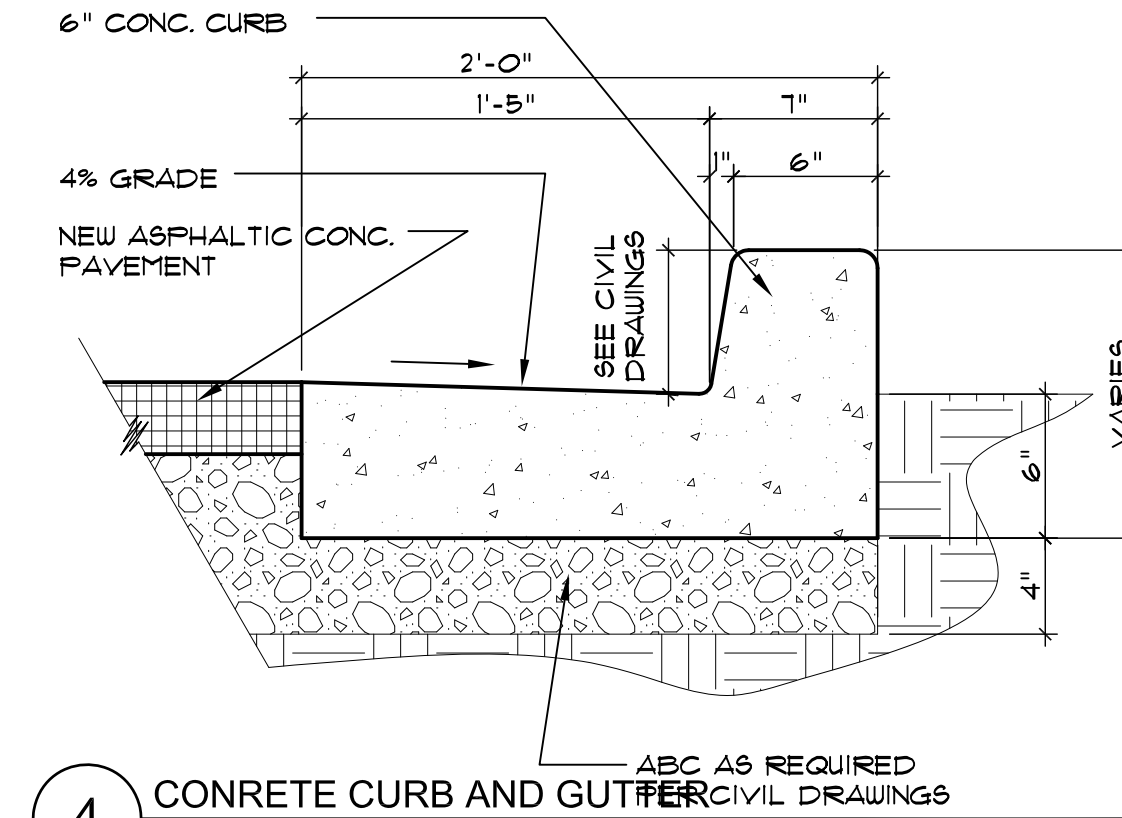
1 CONCRETE WHEEL STOP  
SCALE: 1 1/2" = 1'-0"



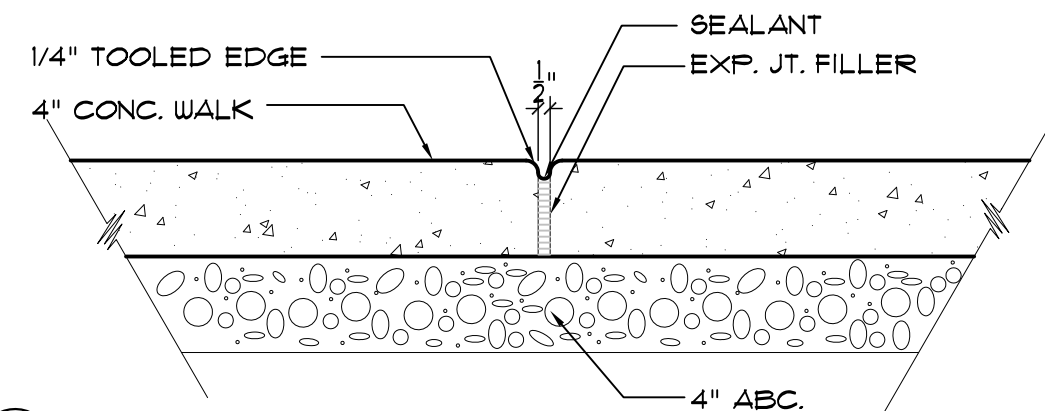
2 CONCRETE CURB DETAILS - FOR REFERENCE ONLY  
SCALE: 1-1/2"=1'-0" CURB-SDULK-EDGE



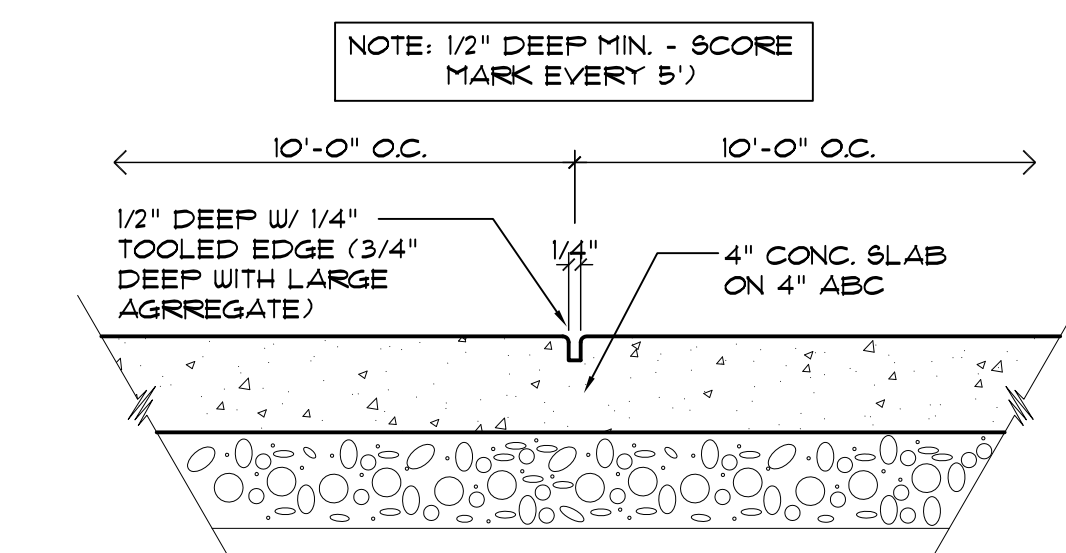
3 THICKENED SLAB EDGE  
SCALE: 1-1/2"=1'-0" CURB-THK-EDGE



4 CONCRETE CURB AND GUTTER - FOR REFERENCE ONLY  
SCALE: 1-1/2"=1'-0" CURB + GUTTER - FOR REFERENCE ONLY

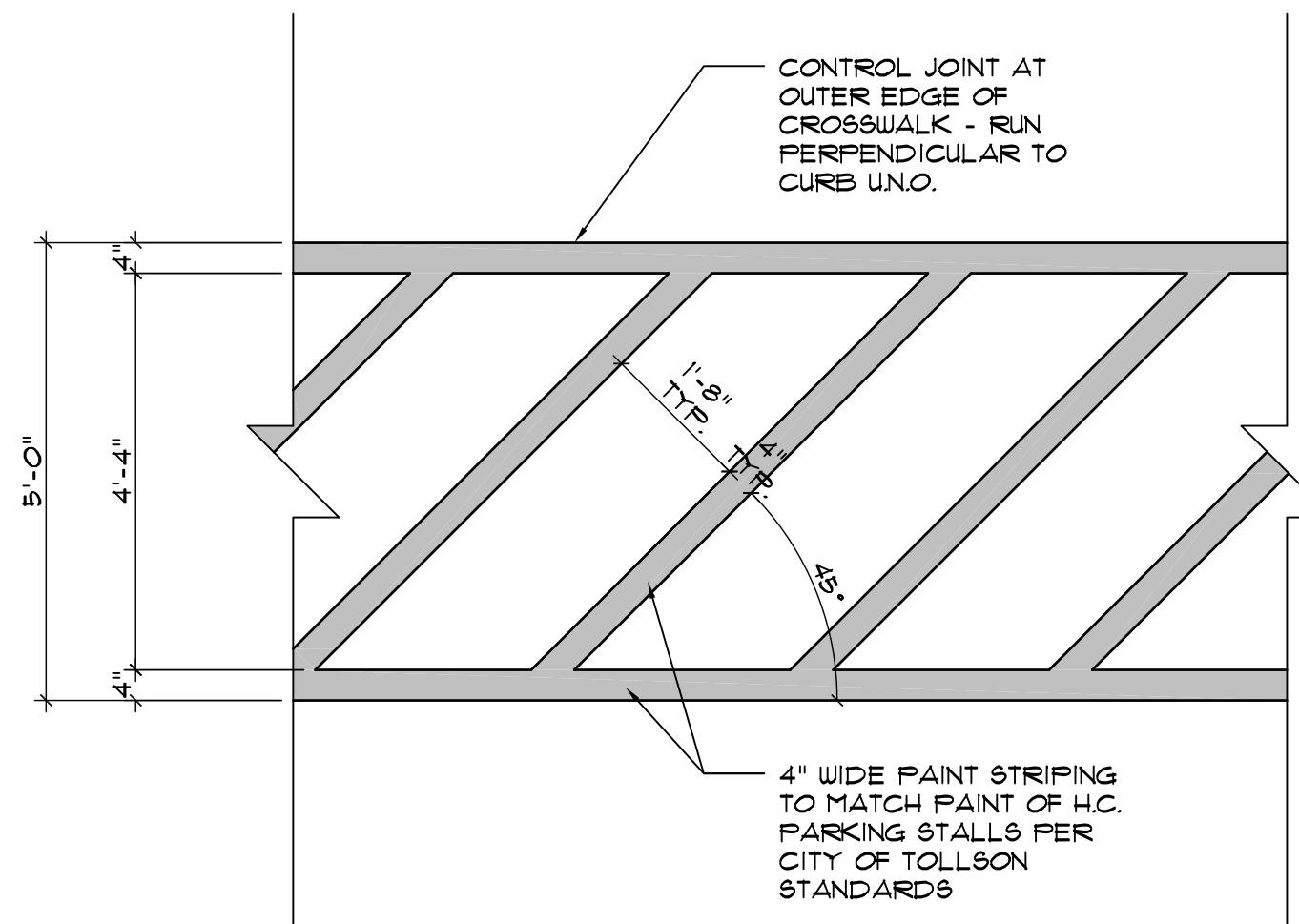


A EXPANSION JOINT

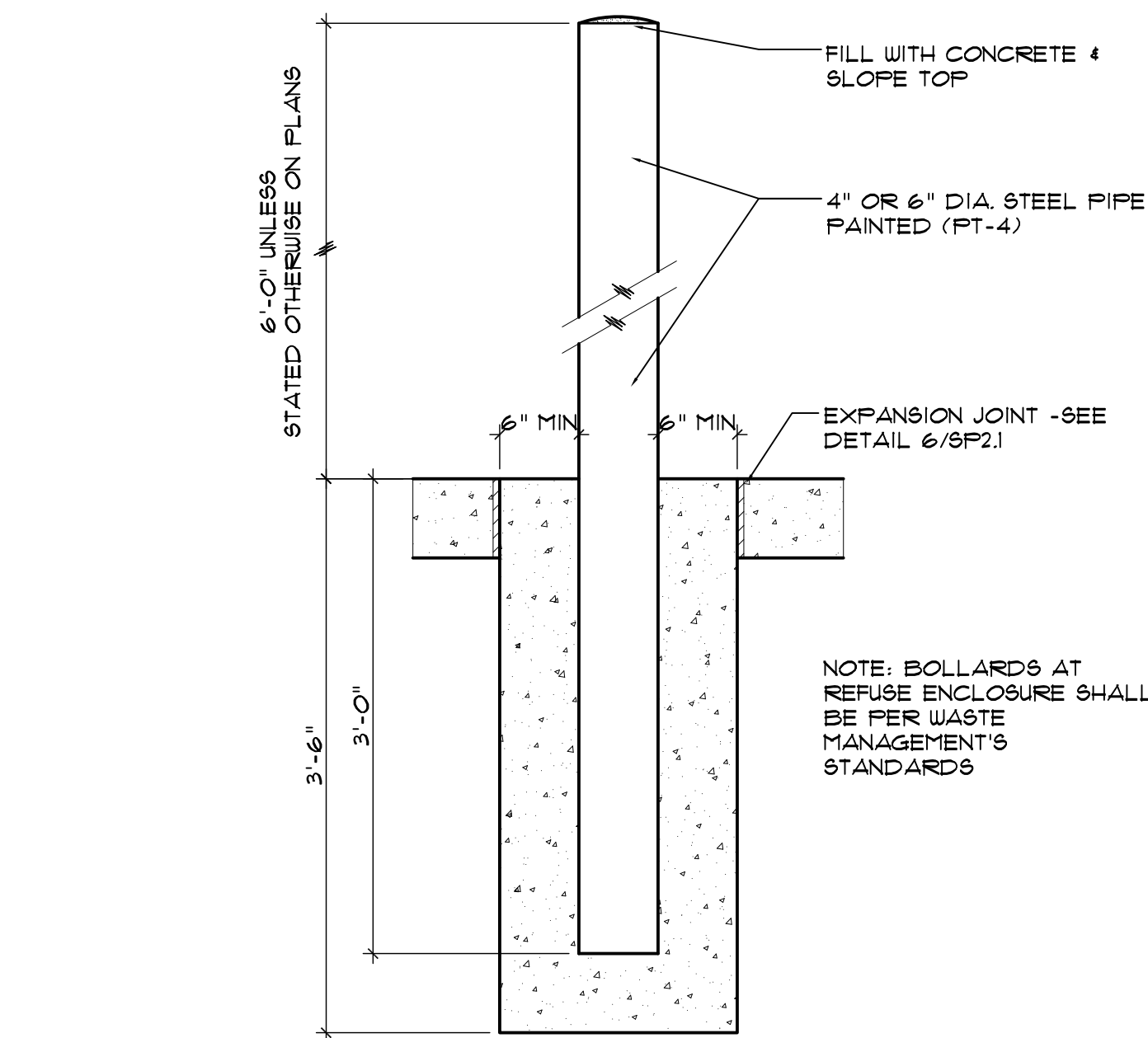


B CONTRACTION JOINT

5 CONCRETE JOINTS  
SCALE: 1-1/2"=1'-0" CURB-JOINT



6 CROSSWALK PAINTING  
SCALE: 1/2"=1'-0" CROSSWALK



7 BOLLARD  
SCALE: 1/2"=1'-0" BOLLARD

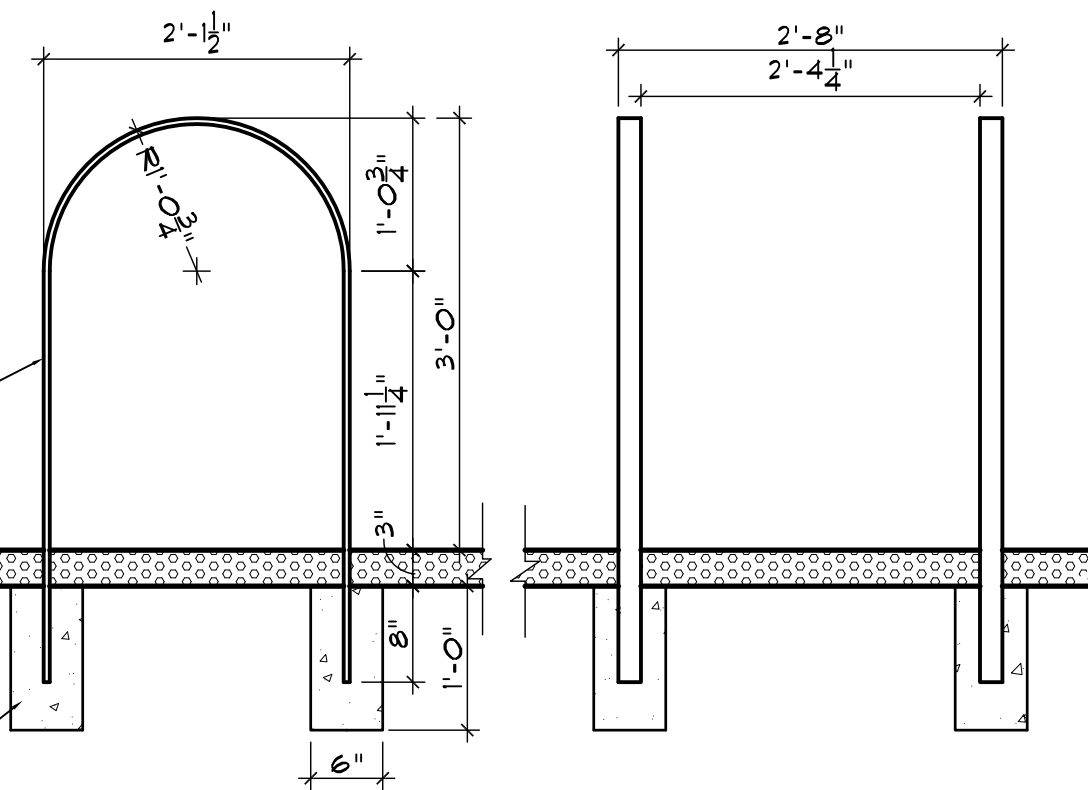
MANUF. WABASH VALLEY  
MODEL: BLIOON  
COLOR: BLACK  
1-800-253-8619  
G.C. TO SUPPLY ARCHITECT  
COLOR SAMPLE PRIOR TO  
PURCHASE - G.C. MY USE  
MODEL #BLIOIN

UPRIGHT SUPPORTS 1-1/2"  
O.D. STEEL TUBING. II GA.  
WELD TO BASE

STABILIZED D.G. OR  
CONCRETE PER CIVIL

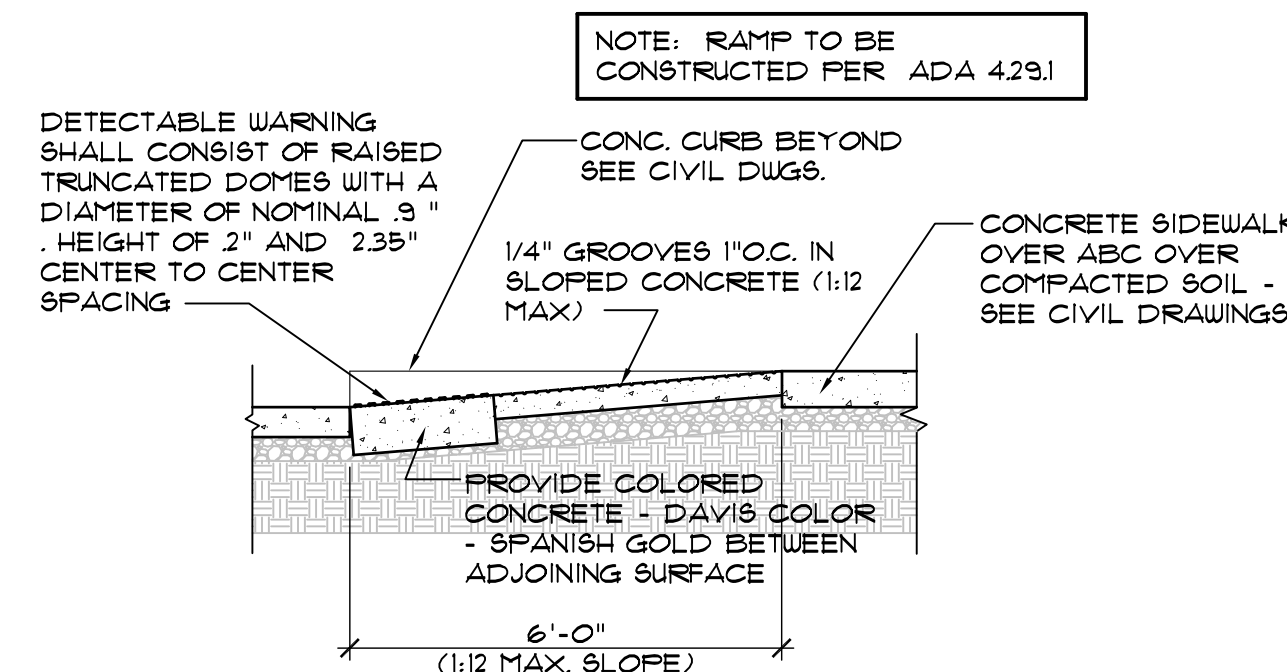
P.I.P. CONC. FOOTING MAG  
CLASS A

INSTALL PER MANUFACTURERS SPECIFICATIONS.

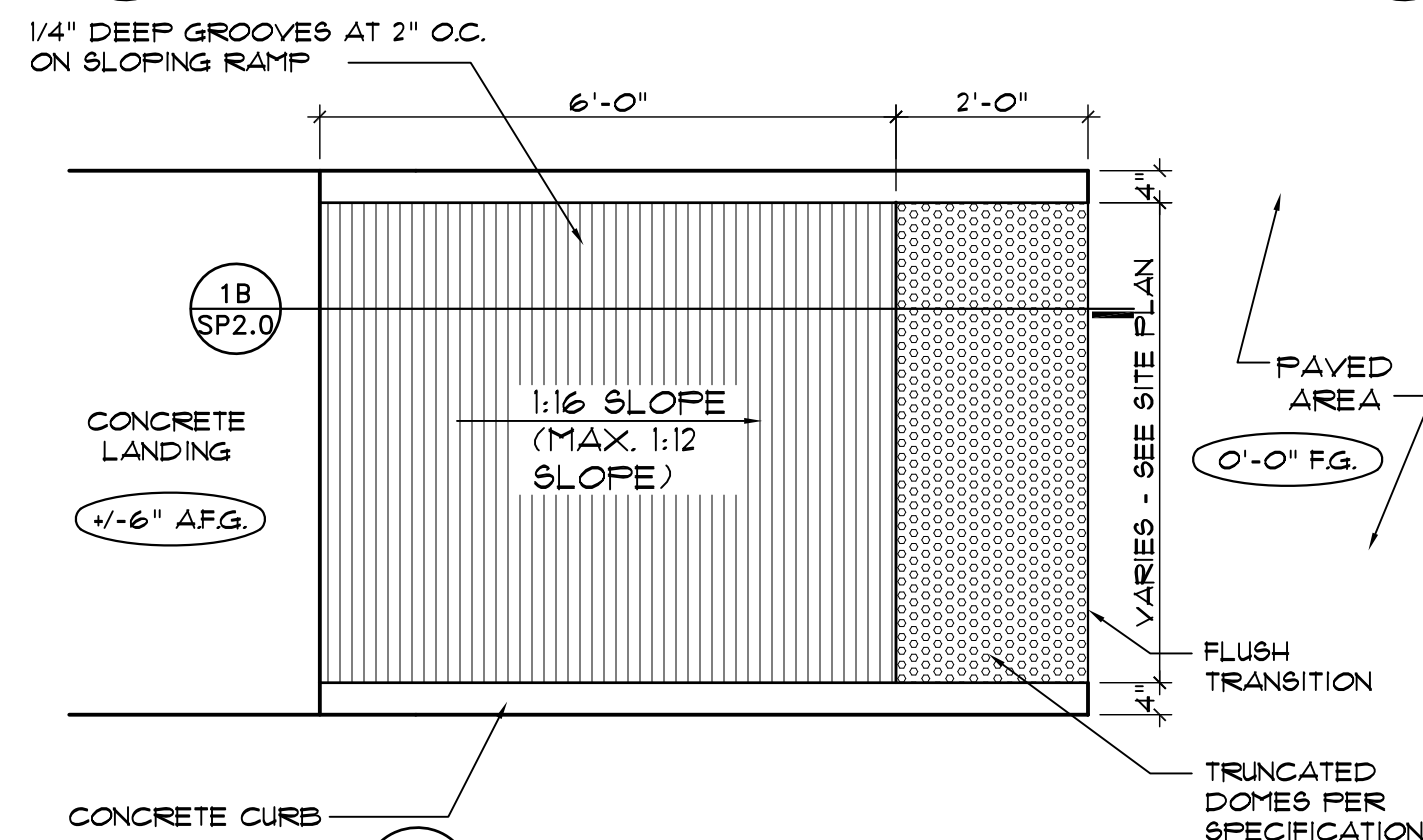


8 BIKE RACK DETAIL  
SCALE: 1-1/2"=1'-0" BIKERACK

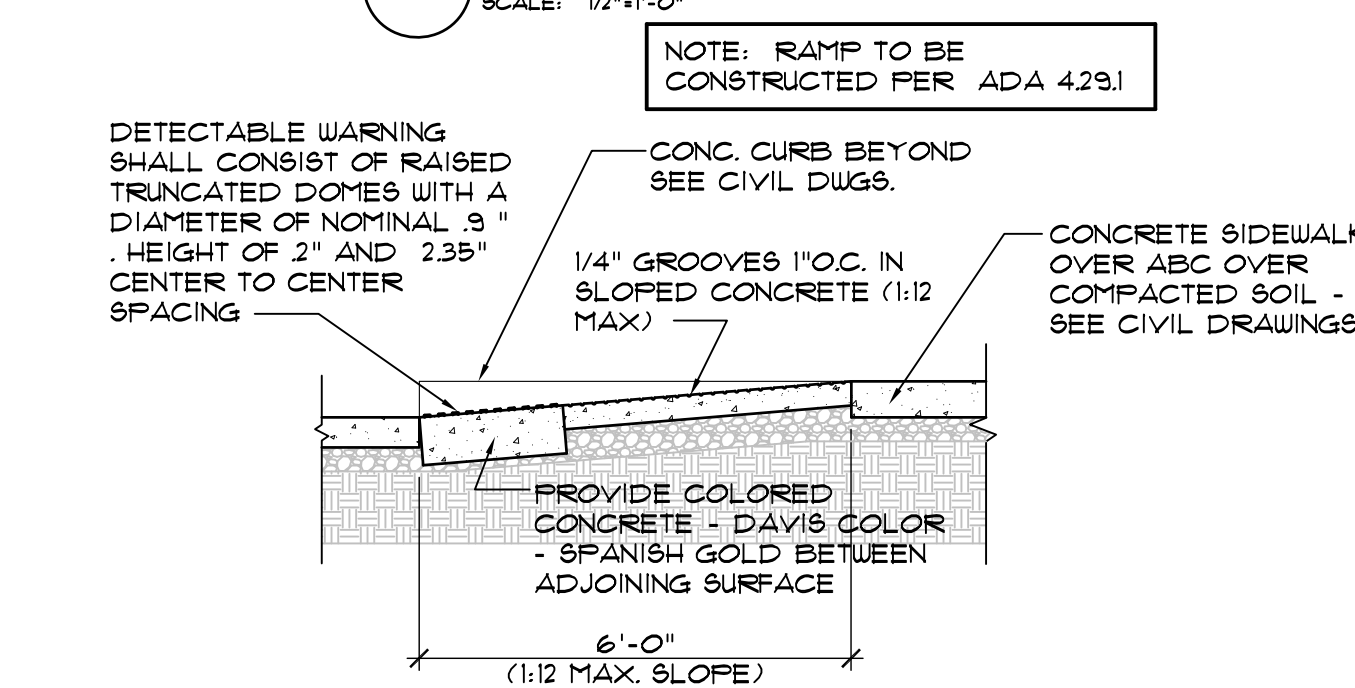
NOTE:  
ALL ACCESSIBLE HANDICAP RAMPS SHALL BE INSTALLED  
WITH TRUNCATED DOME DETECTABLE WARNINGS IN  
COMPLIANCE WITH CITY OF PEORIA STANDARDS.  
TRUNCATED DOMES MUST BE A REINFORCED, PRE-CAST,  
SET IN PLACE TYPE PRODUCT. SURFACE APPLIED  
PRODUCTS WILL NOT BE ALLOWED. FIBERGLASS MATERIAL  
IS NOT ACCEPTABLE. COLOR OF TRUNCATED DOMES  
SHALL BE BROWNISH RED - TERRA COTTA.



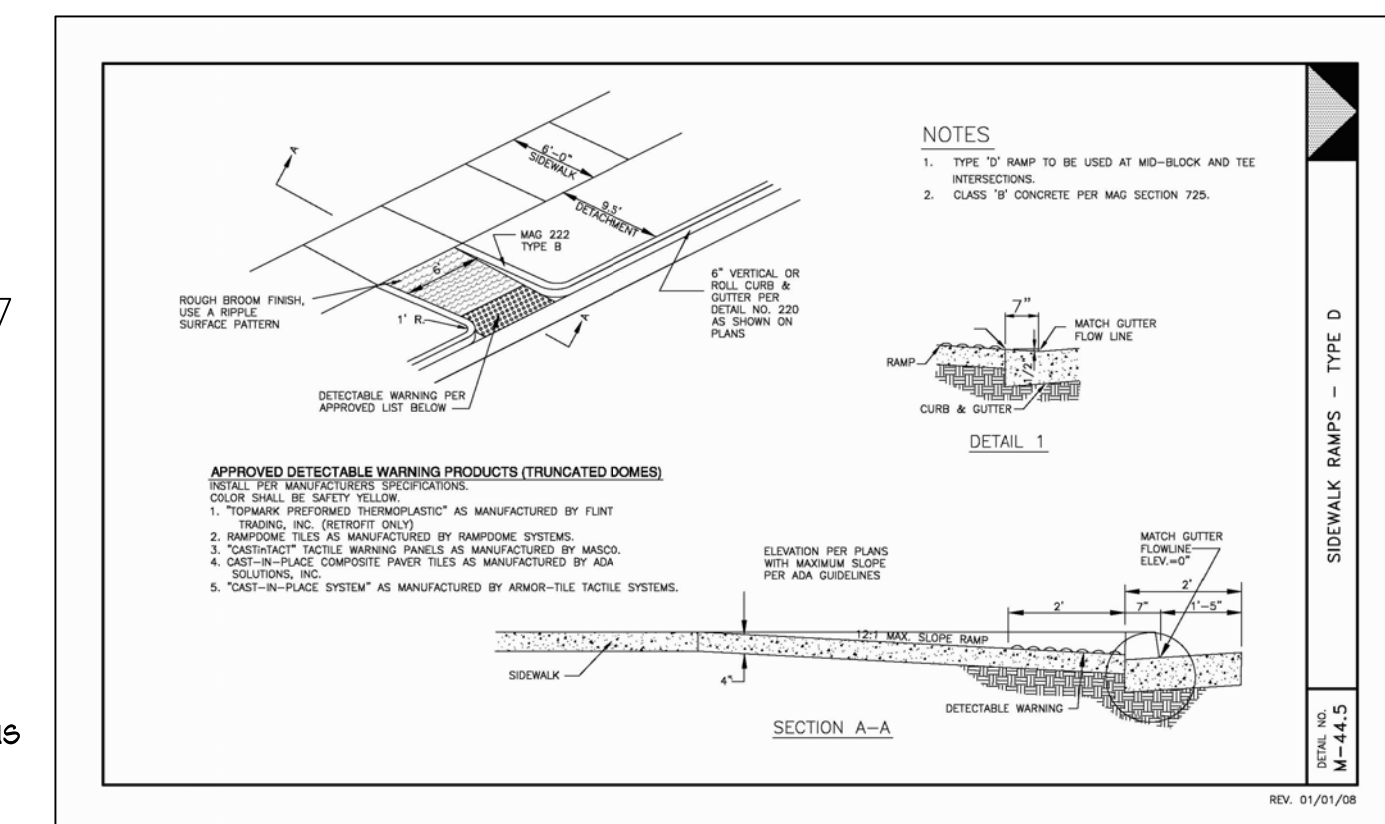
9 A.D.A. ACCESSIBLE RAMP SECTION  
SCALE: 3/8"=1'-0"



A ACCESSIBLE RAMP PLAN  
SCALE: 1/2"=1'-0"



B ACCESSIBLE RAMP SECTION  
SCALE: 3/8"=1'-0"



C ACCESSIBLE RAMP MESA DETAIL  
SCALE: 3/8"=1'-0"

10 TYPICAL ADA ACCESSIBLE SIDEWALK RAMPS  
SCALE: 1/2"=1'-0"

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Larson

CLEAN FREAK CAR WASH  
32ND STREET AND UNION HILLS ROAD  
PHOENIX, AZ 85050  
APN: 214-02-005Z

APPROVED FOR CONSTRUCTION  
DATE: 11/30/2016  
EXPIRES: 6/30/2018

Drawing Name:  
SITE  
DETAILS

Revisions

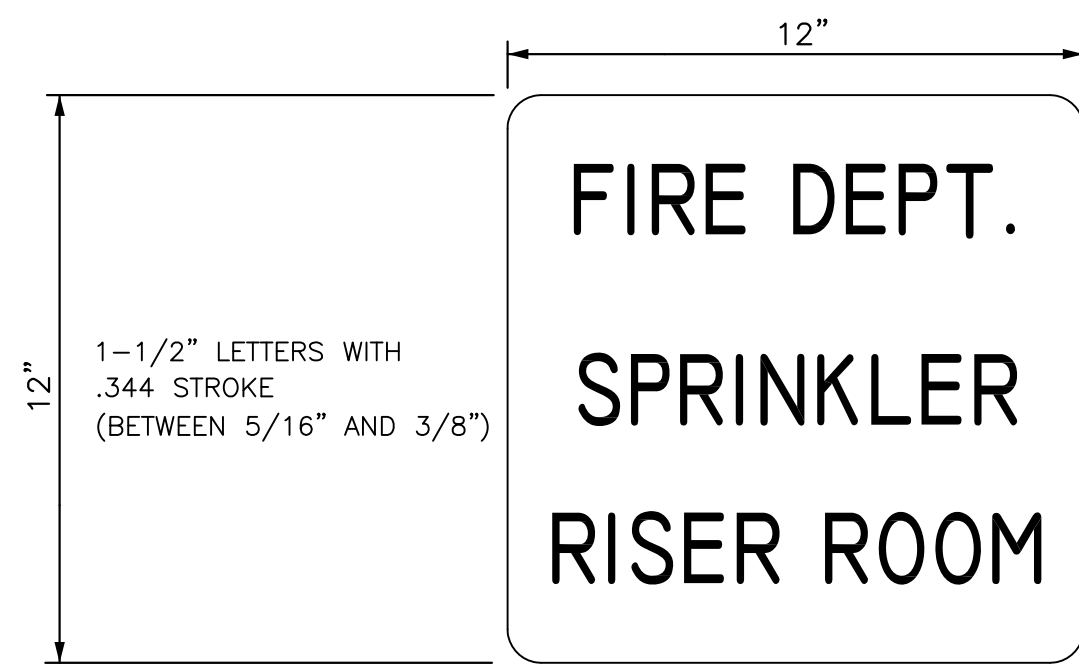
Date: 11/30/2016

Project Number:

Drawing No:

SP2.0

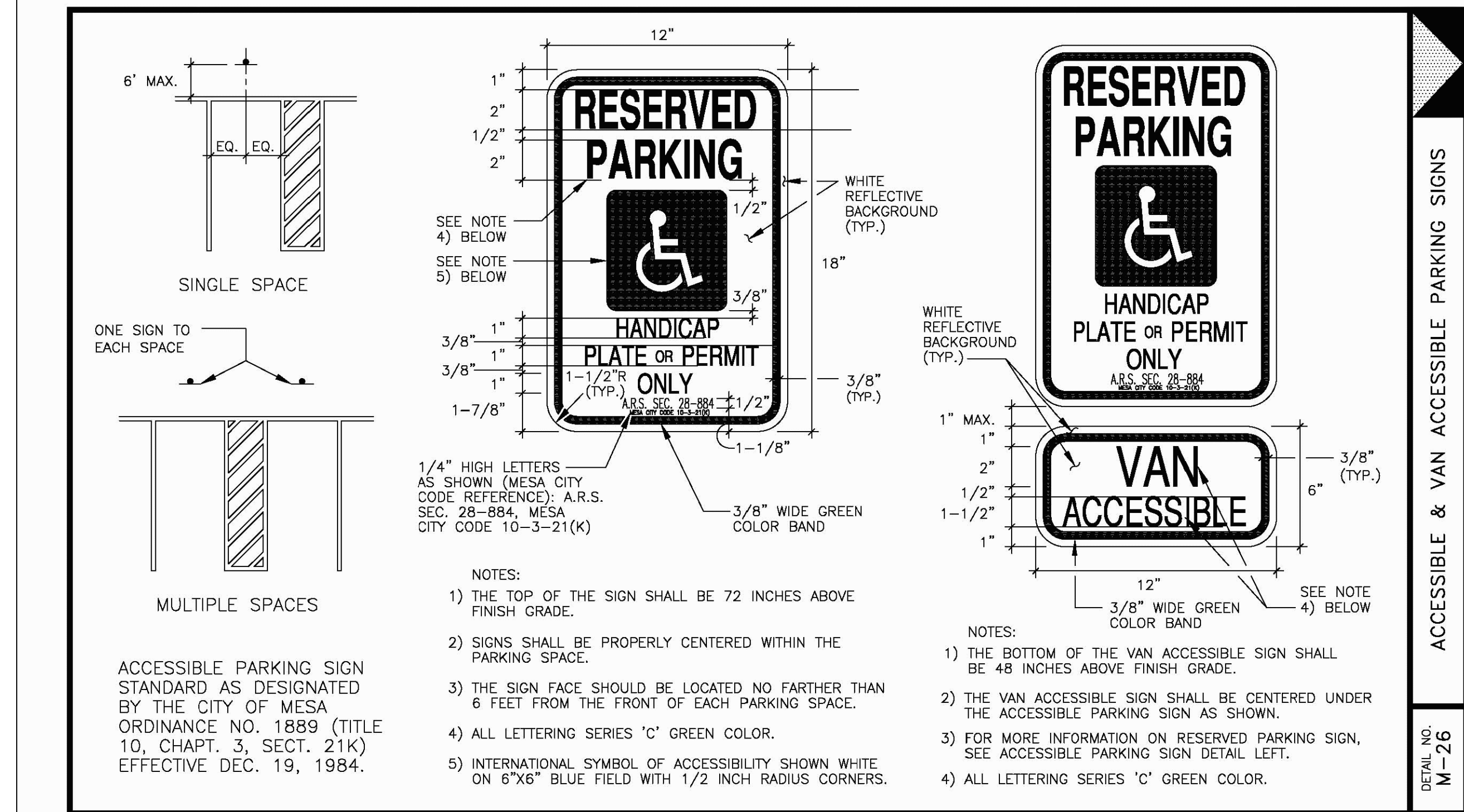
KIVA#16-2694; PAPP #1604700; SDEV 1600529



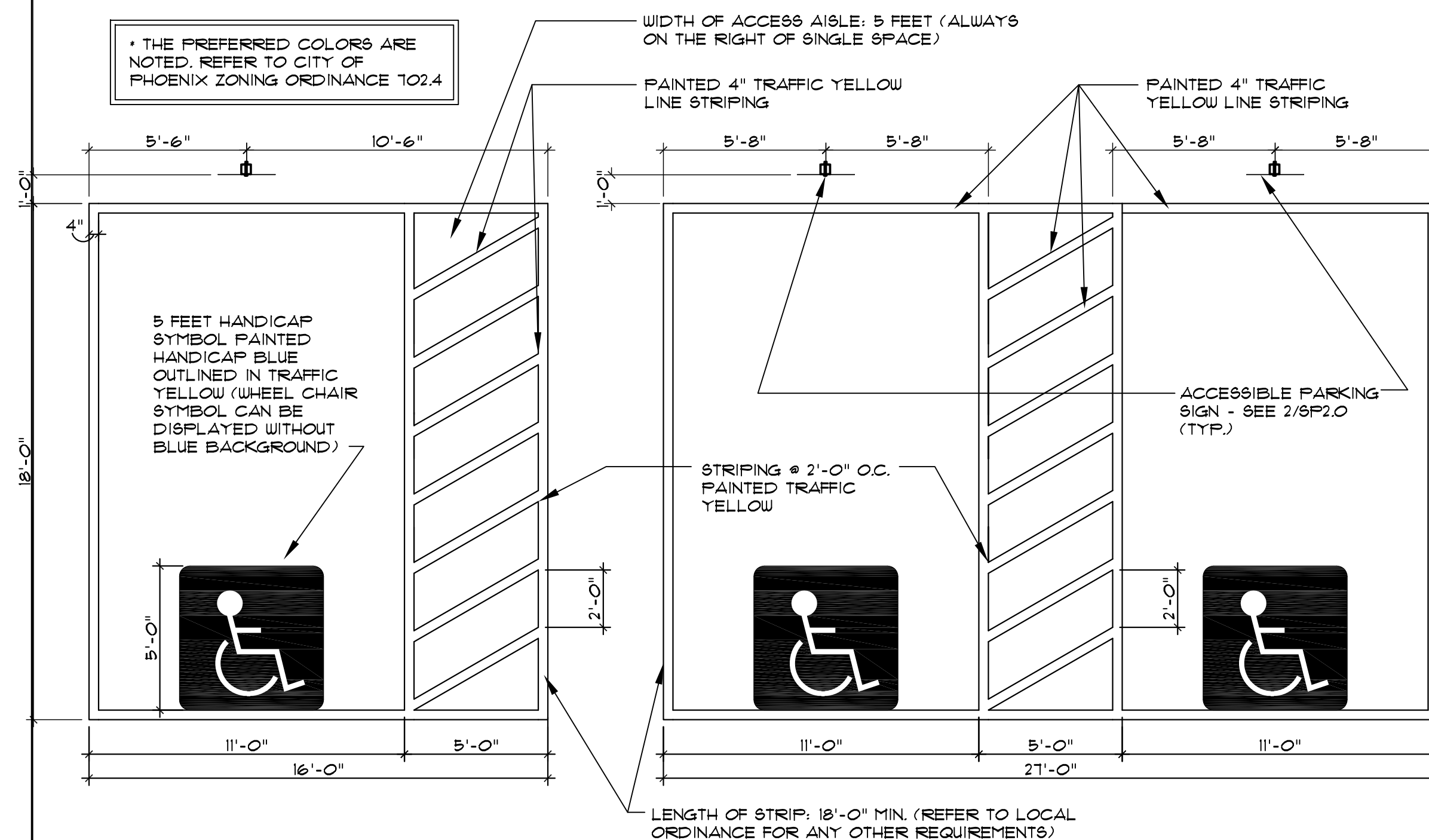
- NOTES:
1. THE SIGN FACE SHALL BE 12" x 12" AND FABRICATED FROM .080 ALUMINUM SHEET WITH 1-1/2" RADIUS CORNERS.
  2. FONT STYLE USED IS HANDEL GOTHIC BT CAPITAL FONTS
  3. THE SIGN FACE SHALL HAVE A WHITE 3M DIAMOND GRADE REFLECTIVE SHEETING (DG3 4090 SERIES OR EQUAL) APPLIED AS A BACKGROUND TO THE ALUMINUM PLATES.
  4. LETTERING GRAPHICS SHALL BE DONE ONE OF THE FOLLOWING WAYS:
    - A. 3M SCOTCHLITE ACRYLIC, TRANSPARENT, ELECTRONIC CUTTABLE FILM (3M 1170 SERIES) INVERSE CUT TO ALLOW WHITE REFLECTIVE BACKGROUND TO SHOW THROUGH.
    - B. ALL SIGN PRINTED USING 3M 880I OR 880-00 SERIES TRAFFIC SIGN RED TRANSLUCENT INK. BOTH PROCESSES (A OR B) WILL ACCOMPLISH A RED FIELD WITH WHITE COPY.
  5. ALL SIGN IMAGING SHALL BE IN COMPLIANCE WITH THE REFLECTIVE SHEETING MANUFACTURERS MATCH COMPONENT SYSTEM.
  6. REQUIRES PRE-APPROVAL BY FIRE PREVENTION EMERGENCY ACCESS OFFICER.

11 FIRE RISER ROOM SIGN  
SCALE: 3/4"=1'-0"

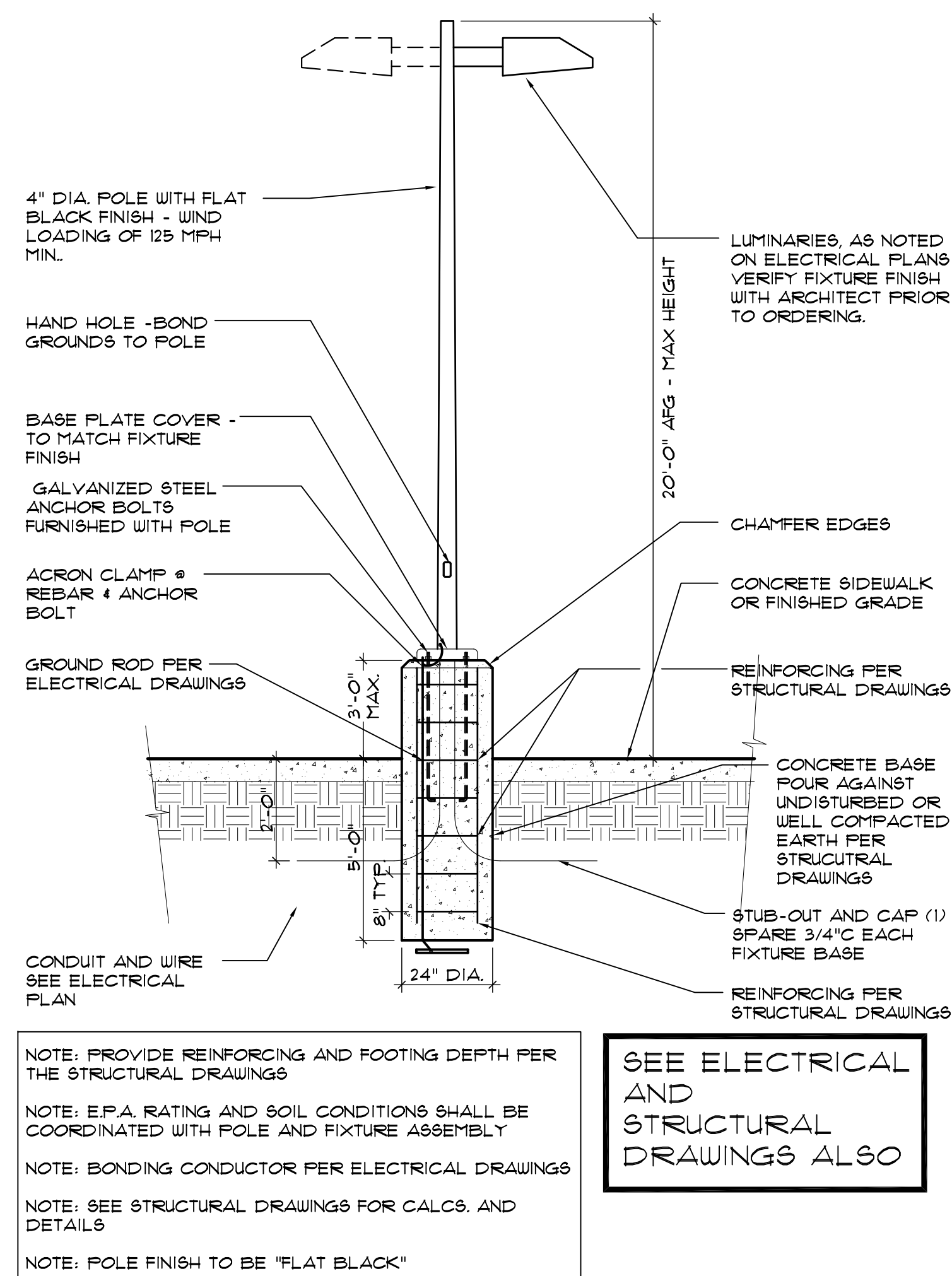
12 NOT USED  
SCALE: NOT TO SCALE  
FFDB031/3-1



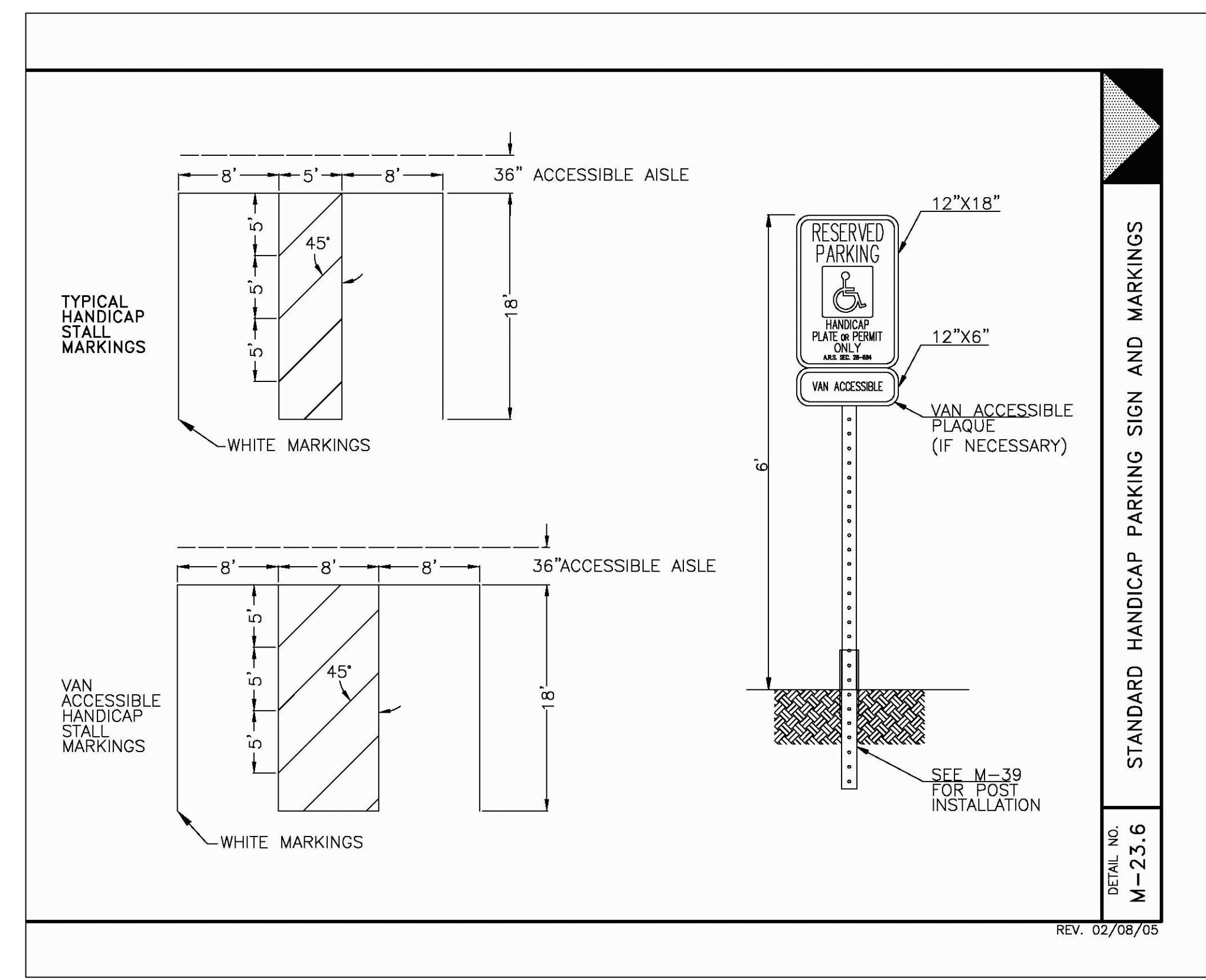
13 A.D.A. ACCESSIBLE PARKING SIGNAGE  
SCALE: 1-1/2" = 1'-0"



14 H.C. ACCESSIBLE PARKING DETAIL  
SCALE: 1/4"=1'-0"

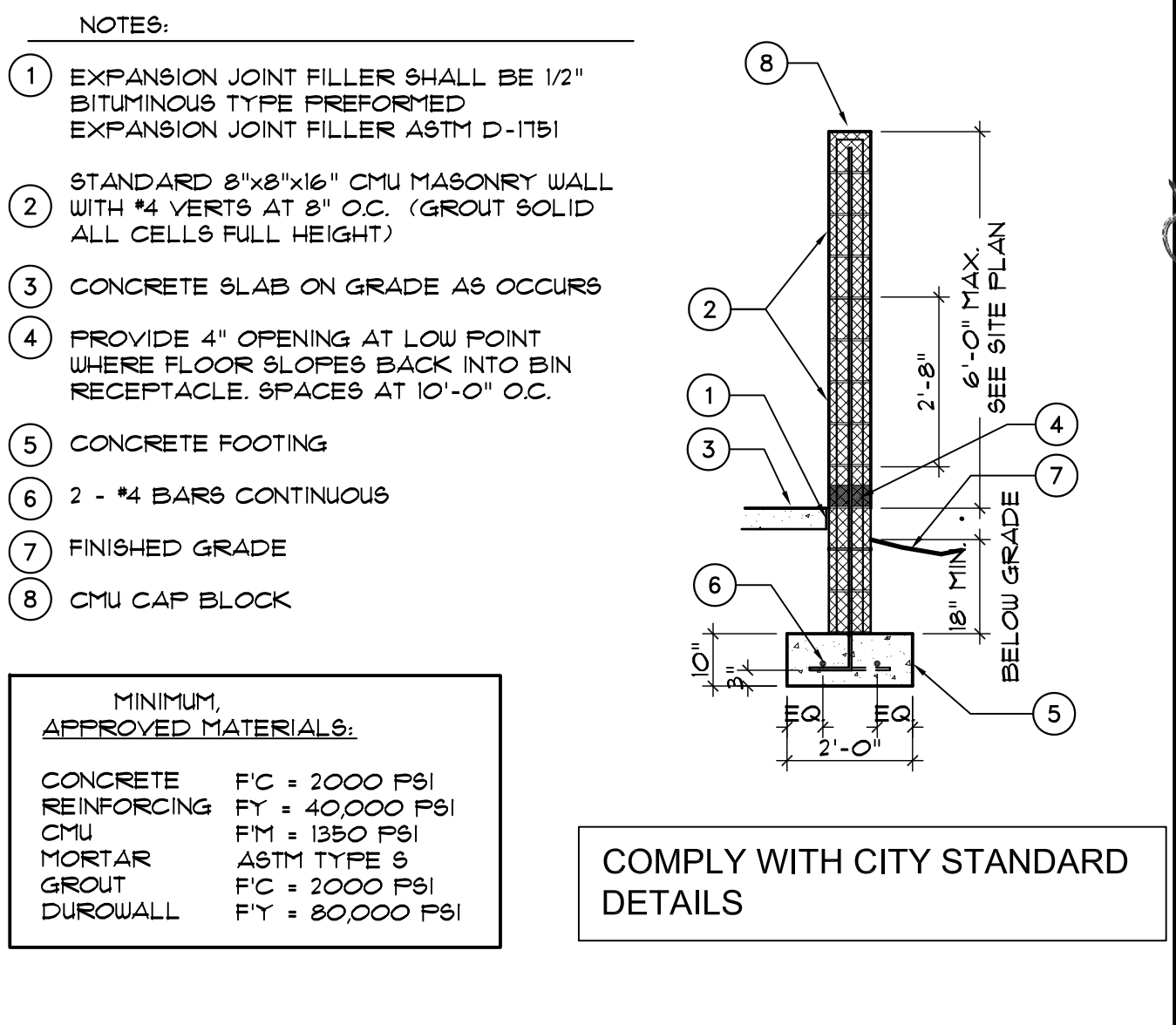


15 LIGHT POLE SECTION (REFERENCE ONLY)  
SCALE: 3/8"=1'-0" LIGHT-POLE

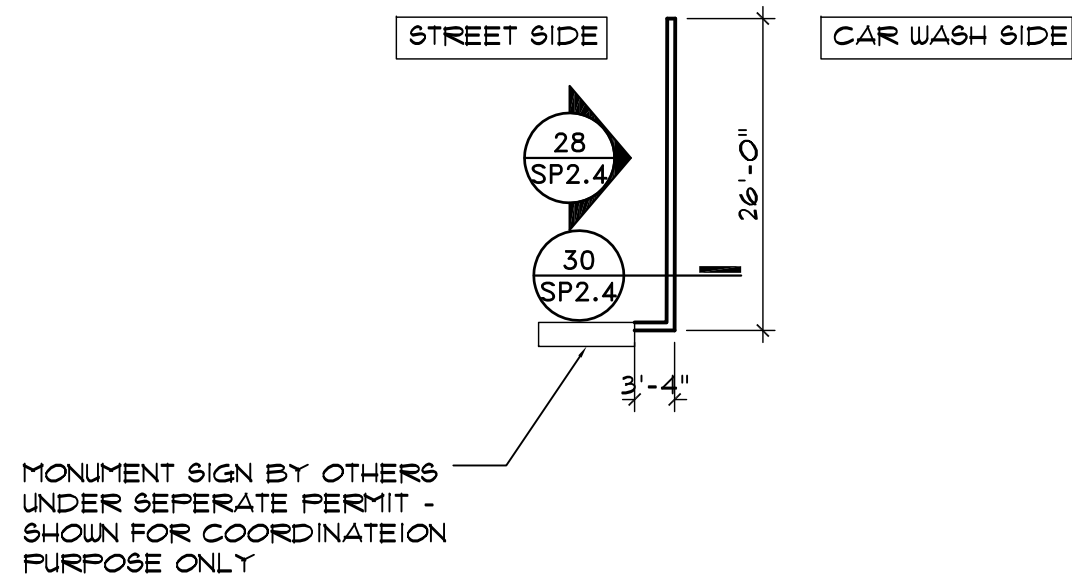


16 NOT USED  
SCALE:

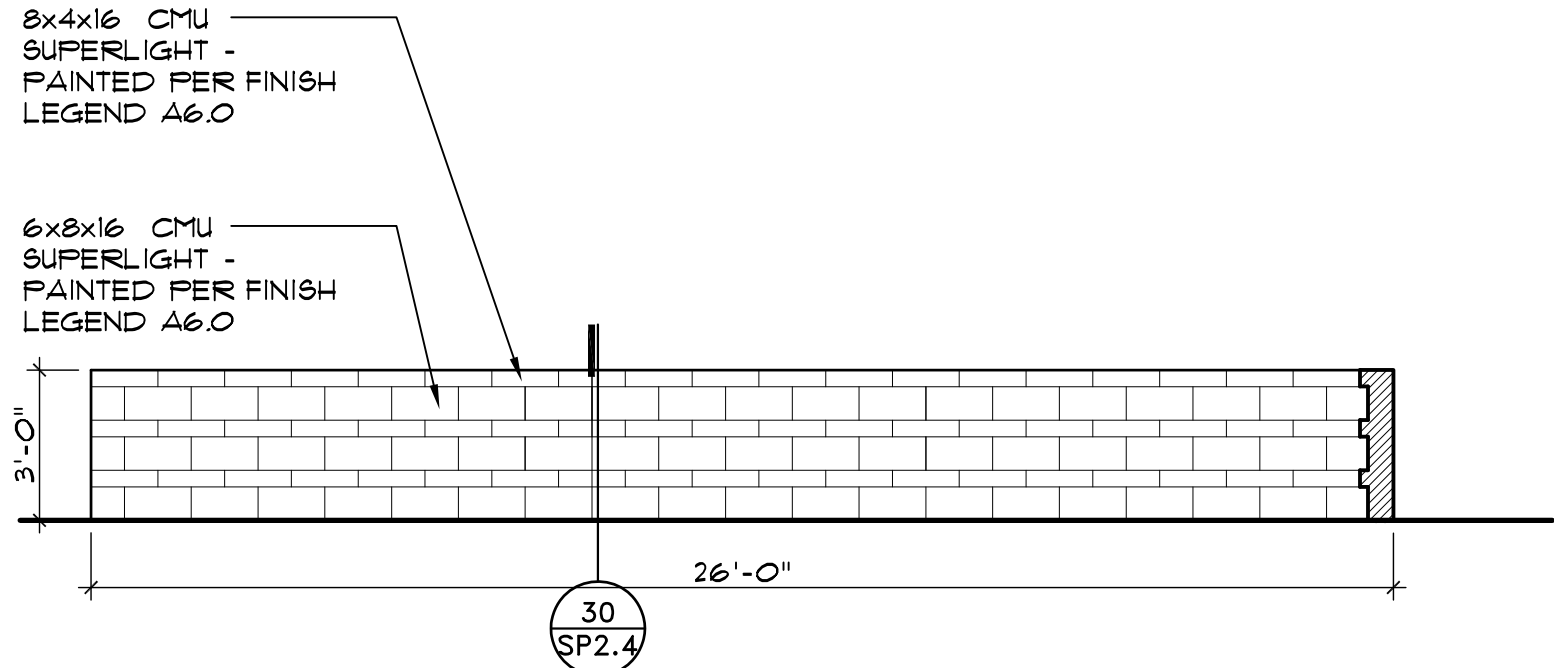




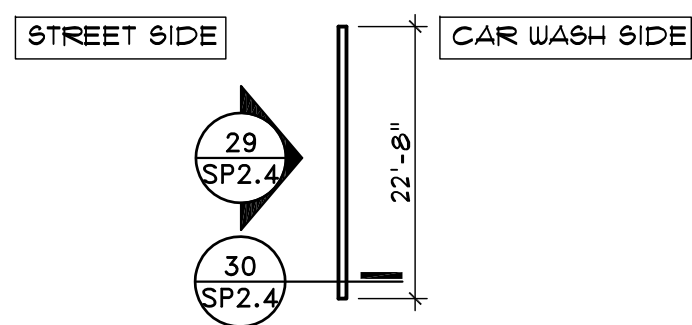




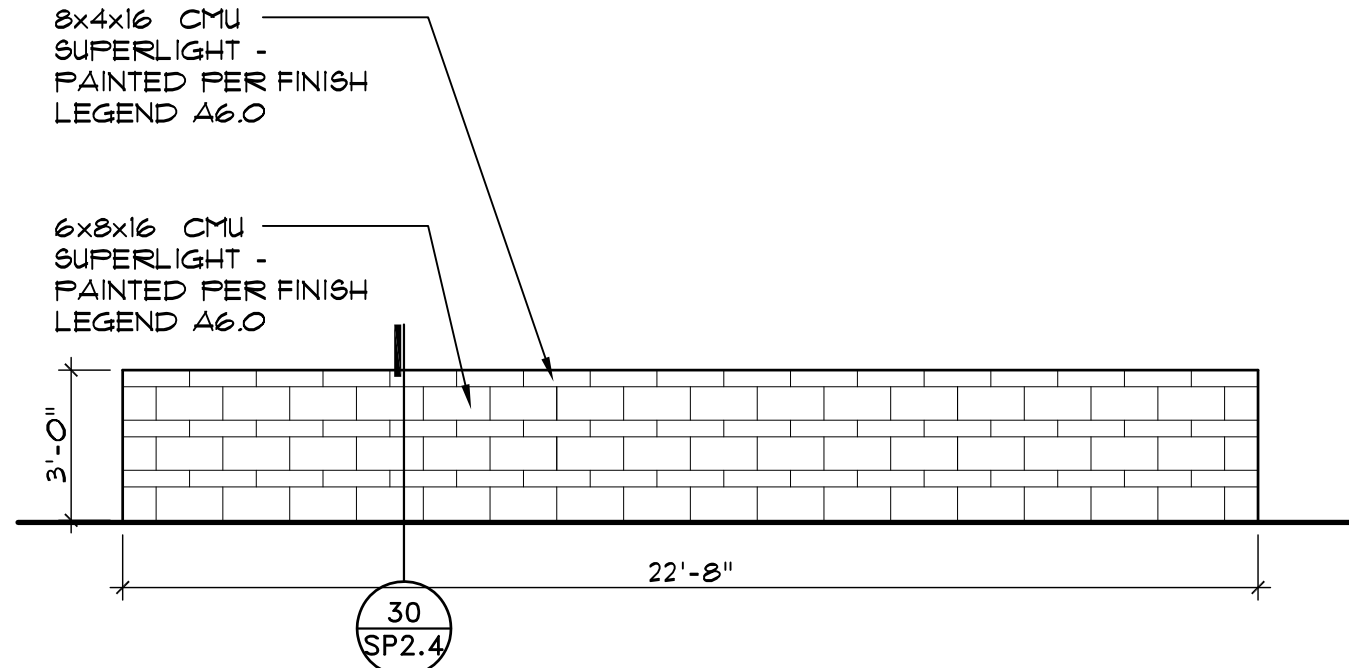
26 PARKING SCREEN WALL ALONG POWER - NORTH OF ENTRY  
SCALE: 1/8"=1'-0"



28 SCREEN WALL ELEVATION STREET SIDE - NORTH  
SCALE: 1/8"=1'-0"



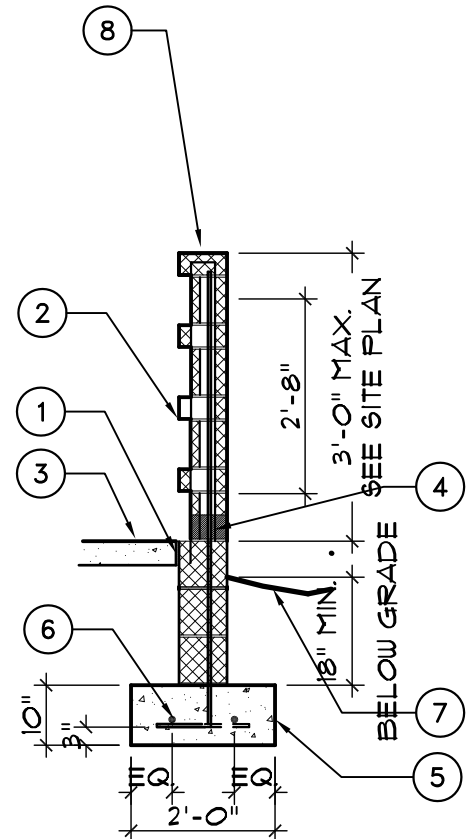
27 PARKING SCREEN WALL ALONG POWER - SOUTH OF ENTRY  
SCALE: 1/8"=1'-0"



29 SCREEN WALL ELEVATION STREET SIDE - SOUTH  
SCALE: 1/8"=1'-0"

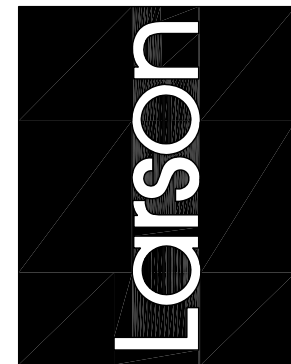
- NOTES:
- EXPANSION JOINT FILLER SHALL BE 1/2" BITUMINOUS TYPE PREFORMED EXPANSION JOINT FILLER ASTM D-1751
  - ALTERNATING 6"x8"x16" & 8"x4"x16 CMU MASONRY WALL WITH #4 VERTS AT 8" O.C. (GROUT SOLID ALL CELLS FULL HEIGHT)
  - CONCRETE SLAB ON GRADE AS OCCURS
  - PROVIDE 4" OPENING AT LOW POINT WHERE FLOOR SLOPES BACK INTO BIN RECEPTACLE. SPACES AT 10'-0" O.C.
  - CONCRETE FOOTING
  - 2 - #4 BARS CONTINUOUS
  - FINISHED GRADE
  - CMU CAP BLOCK

MINIMUM APPROVED MATERIALS:	
CONCRETE	F'C = 2000 PSI
REINFORCING	FY = 40,000 PSI
CMU	FMI = 1350 PSI
MORTAR	ASTM TYPE S
GROUT	F'C = 2000 PSI
DUROWALL	F'Y = 80,000 PSI



COMPLY WITH CITY STANDARD  
DETAILS

30 3'-0" WALL SECTION  
SCALE: 1/8"=1'-0"



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CLEAN FREAK CAR WASH  
POWER ROAD & GALVESTON STREET  
MESA, AZ  
APN: 304-31-023R



Drawing Name:

SITE  
DETAILS  
Revisions

Date: 12/20/2016

Project Number:

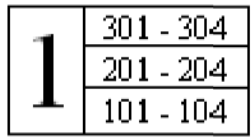
Drawing No:

SP2.4

Approved street addresses, including building/suite numbers, shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background.  
Note: No street address or building number shall be posted under a gable or obstructed by any feature or foliage.

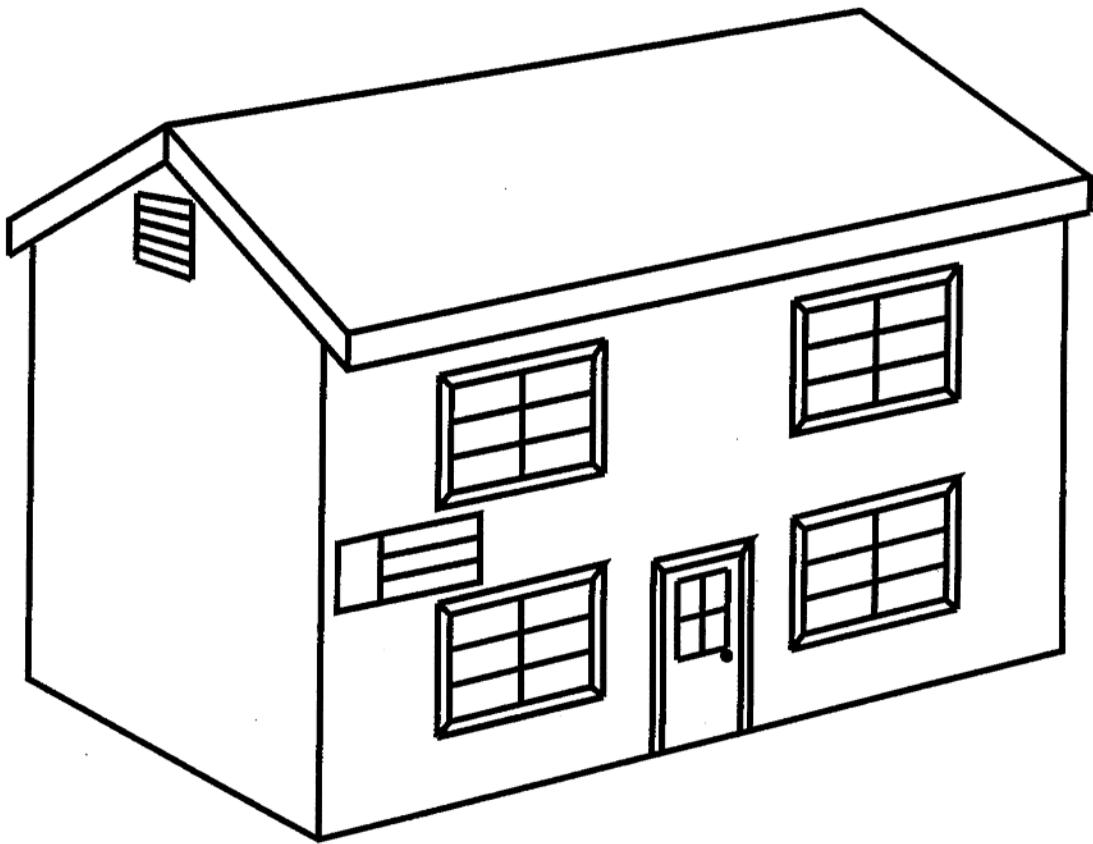
Address number:  
on the highest point of the first story or on a sign at each entrance facing the designated property address. Numbers shall be a minimum 12" high with a 2" stroke.

Building number (for multiple building properties):  
Typical Sign:



The building number shall be a minimum 6" high with a 3/4" stroke.  
The unit numbers shall be a minimum 3" high with a 1/2" stroke.

Suite/Unit Numbers:  
Suite/Unit numbers shall be posted above or to the side of the entrance door. Numbers shall be a minimum 3" high, with 1/2" stroke. Numbers on glass shall be white (if the glass is tinted, numbers shall be posted on the exterior of the glass).



MESA FIRE  
DEPARTMENT  
DETAIL  
FPD 505.1

ADDRESS  
NUMBERS

Revised:  
09/01/2005

FPD 505.1  
Page 1 of 1

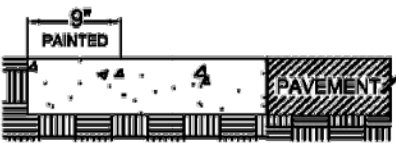
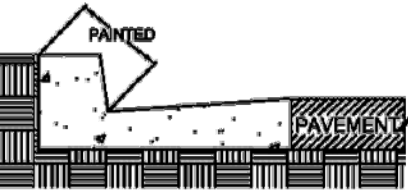
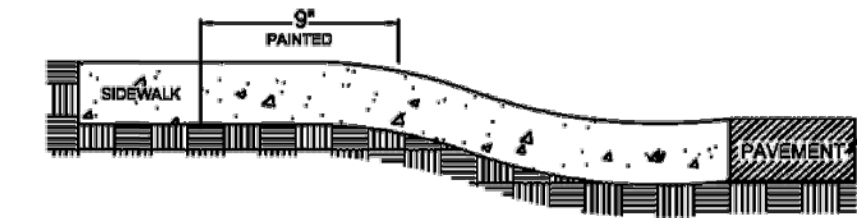
21 MESA ADDRESS SIGNAGE DETAIL  
SCALE: NOT TO SCALE

CURBS

- CURBS SHALL BE PAINTED RED (Pervo Brand Paint #7004 or equivalent) WITH WHITE LETTERS "FIRE LANE - NO PARKING" EVERY 50 FT.
- LETTERS SHALL BE 3" WITH 3/8" STROKE.
- LETTERING TO BE ON TOP OF SURFACE OF CURB.
- WHERE THERE ARE NO CURBS, A 9" BAND OF RED PAINT SHALL BE PLACED AT THE EDGE OF THE DRIVING SURFACE. THE WHITE LETTERING SHALL BE PLACED ON THIS RED BAND AS STATED ABOVE.
- ADDITIONAL MARKINGS MAY BE REQUIRED BY THE FIRE MARSHAL.

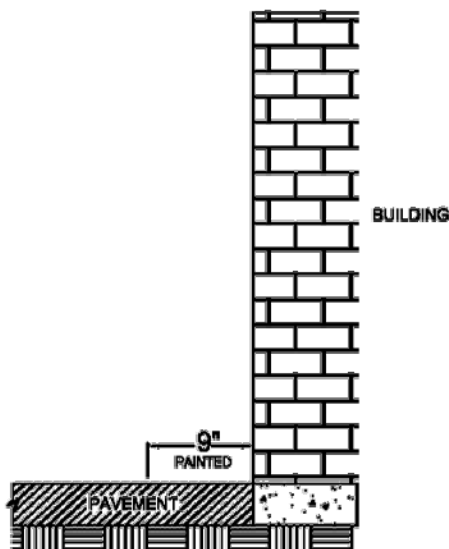
NOTE: PAINT SHALL NOT BE SUPPLIED BY THE CITY. MARKINGS TO BE MAINTAINED BY THE PROPERTY OWNER. PAINT SHALL BE SPECIFIED FOR CONCRETE USE.

\*\* If these requirements cannot be met because the ground surface cannot be painted, then the Fire Marshal must be contacted for an approved alternate method of marking.



ROADWAY WIDTHS

- ALL FIRE ACCESS ROADS (LANES) MUST BE AT LEAST 20' WIDE WITH VERTICAL CLEARANCE OF AT LEAST 15'
- FIRE ACCESS ROADS LESS THAN 28' WIDE - NO PARKING EITHER SIDE
- AT LEAST 28' WIDE BUT LESS THAN 34' - NO PARKING ONE SIDE
- 34' WIDE OR GREATER - PARKING ALLOWED BOTH SIDES



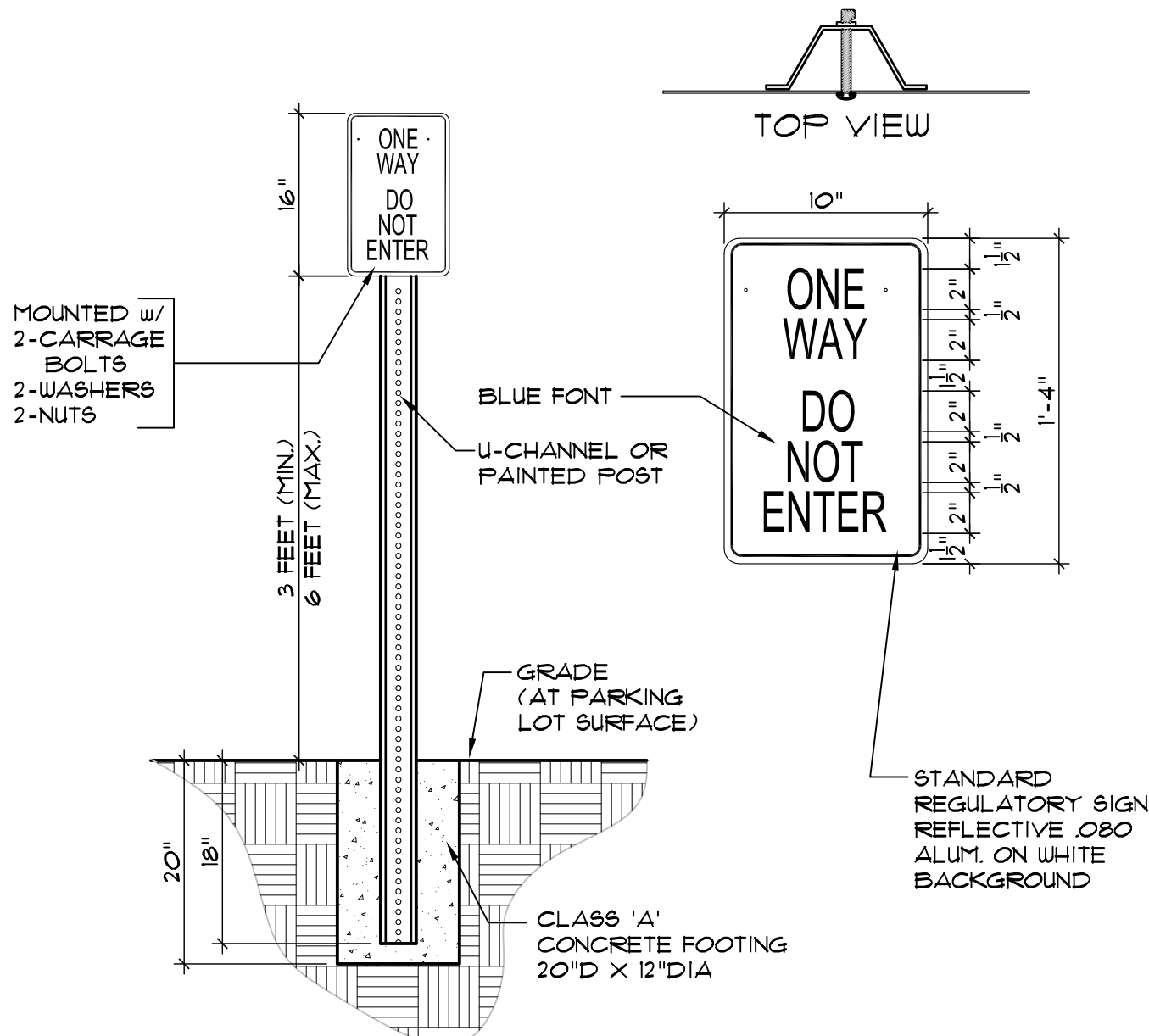
MESA FIRE  
DEPARTMENT  
DETAIL  
FPD 503.3

FIRE LANE - MARKING  
PRIVATE PROPERTY

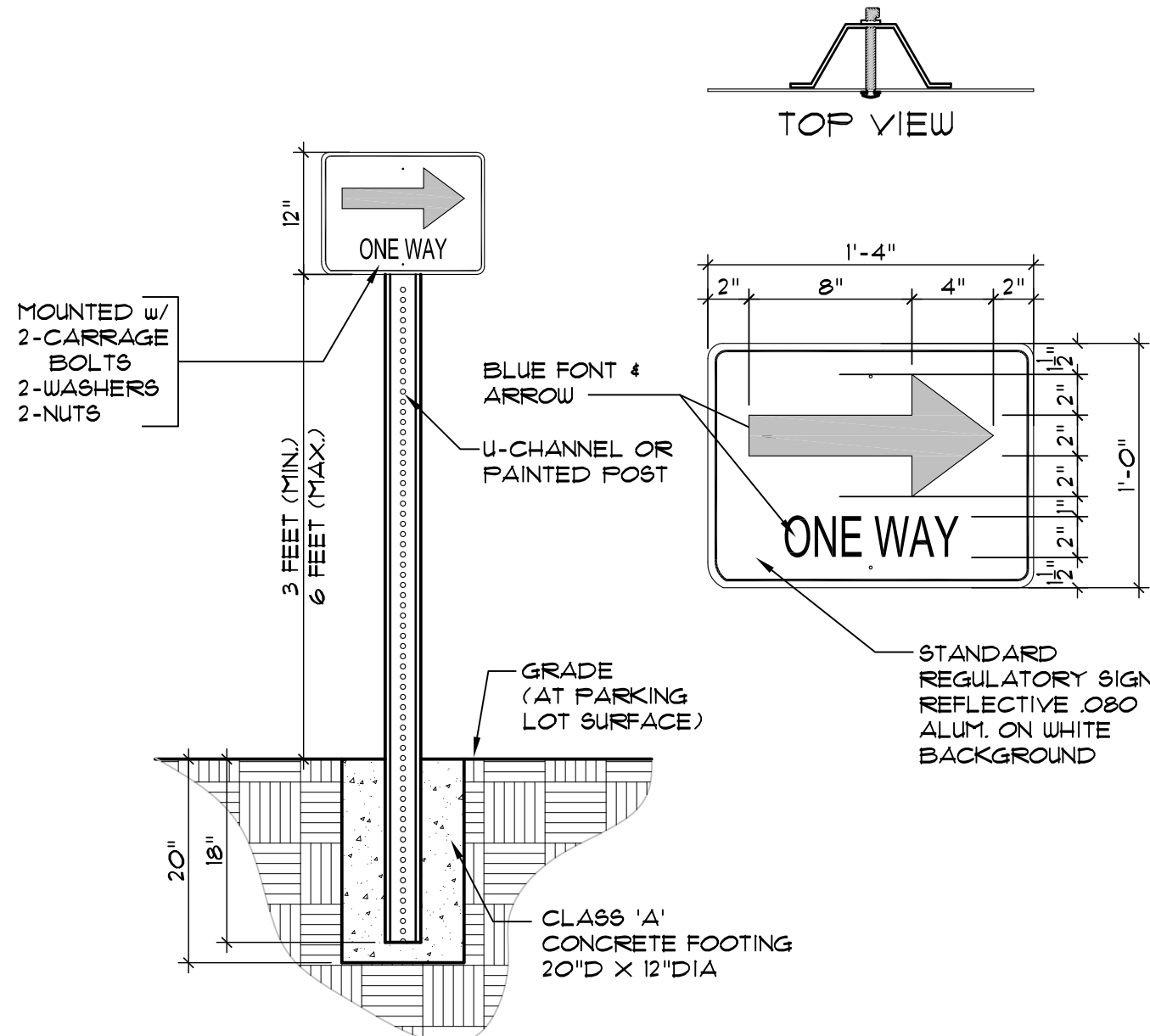
Revised:  
07/24/2011

FPD 503.3  
Page 1 of 1

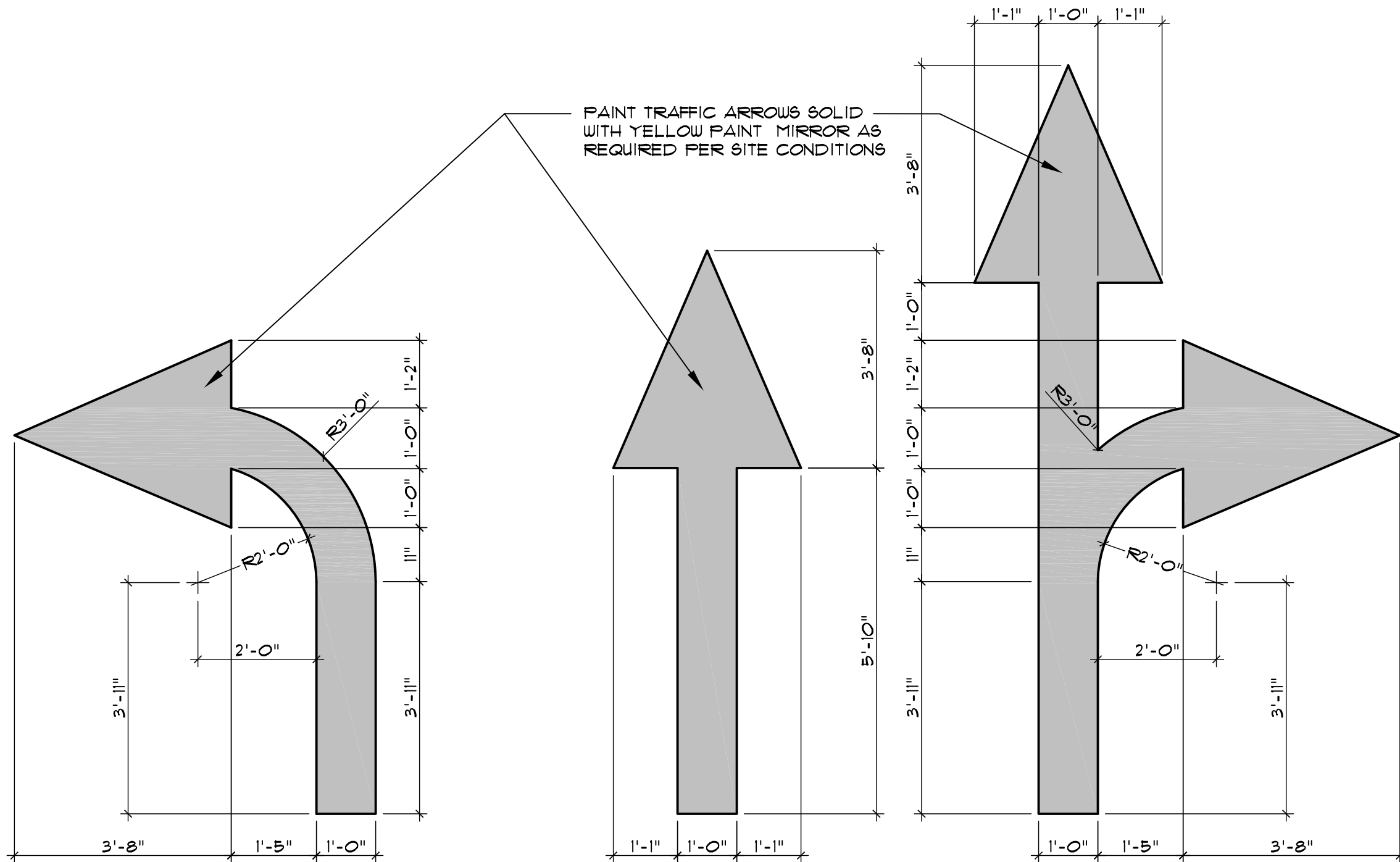
24 MESA FIRE PREVENTION DETAIL 503.3-1  
SCALE: NOT TO SCALE



22 DO NOT ENTER SIGN  
SCALE: 1/2"=1'-0"



23 DO NOT ENTER SIGN WITH ARROW  
SCALE: 1/2"=1'-0"

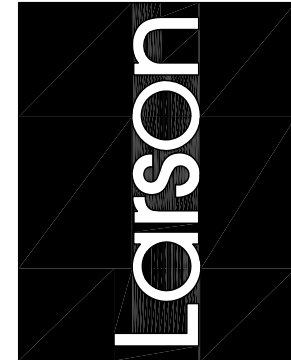


24 TYPICAL TRAFFIC ARROW DETAIL  
SCALE: 1/2"=1'-0"

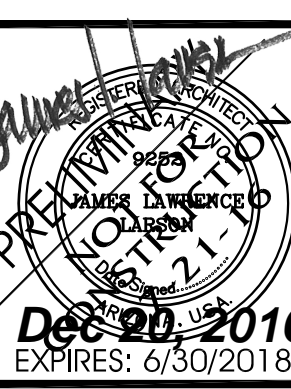


25 TYPICAL DO NOT ENTER PAVEMENT PAINT  
SCALE: 1/2"=1'-0"

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CLEAN FREAK CAR WASH  
32ND STREET AND UNION HILLS ROAD  
PHOENIX, AZ 85050  
APN: 214-02-005Z



Drawing Name:  
SITE  
DETAILS

Revisions

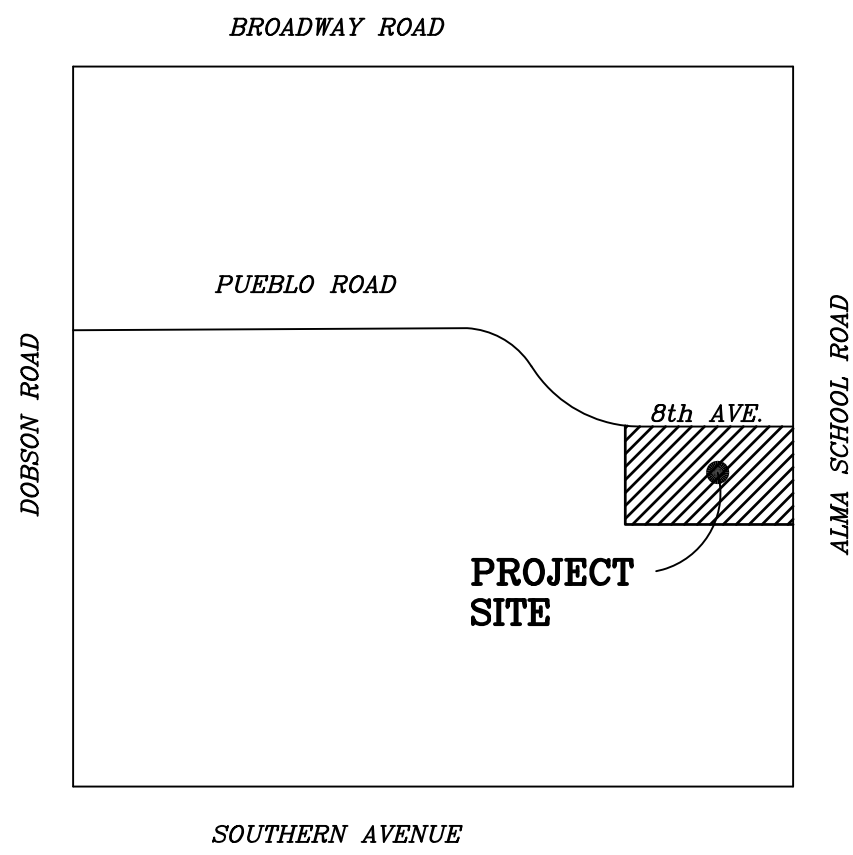
Date: 11/30/2016

Project Number:

Drawing No:

SP2.3





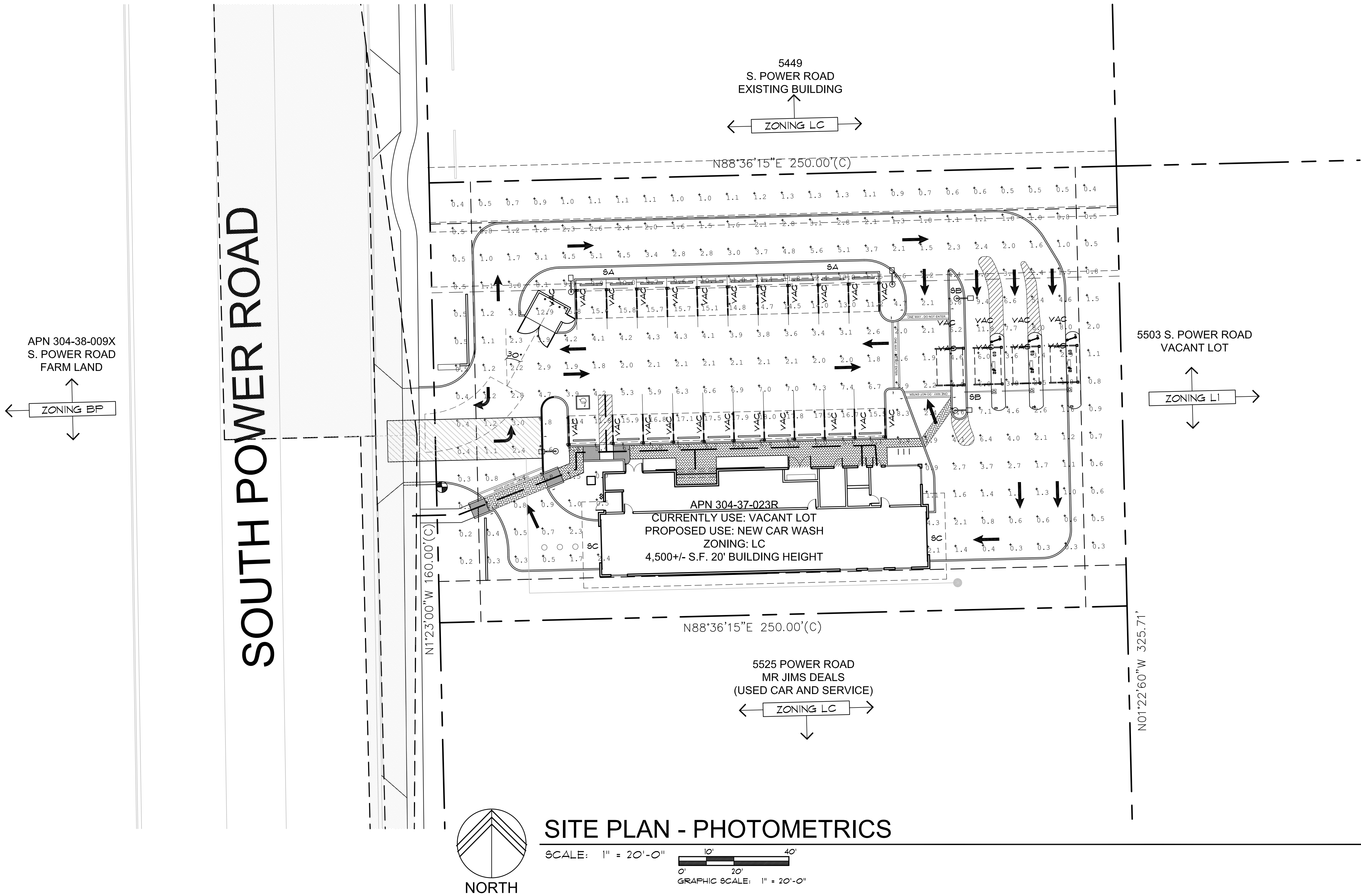
VICINITY MAP

SCALE: N.T.S.

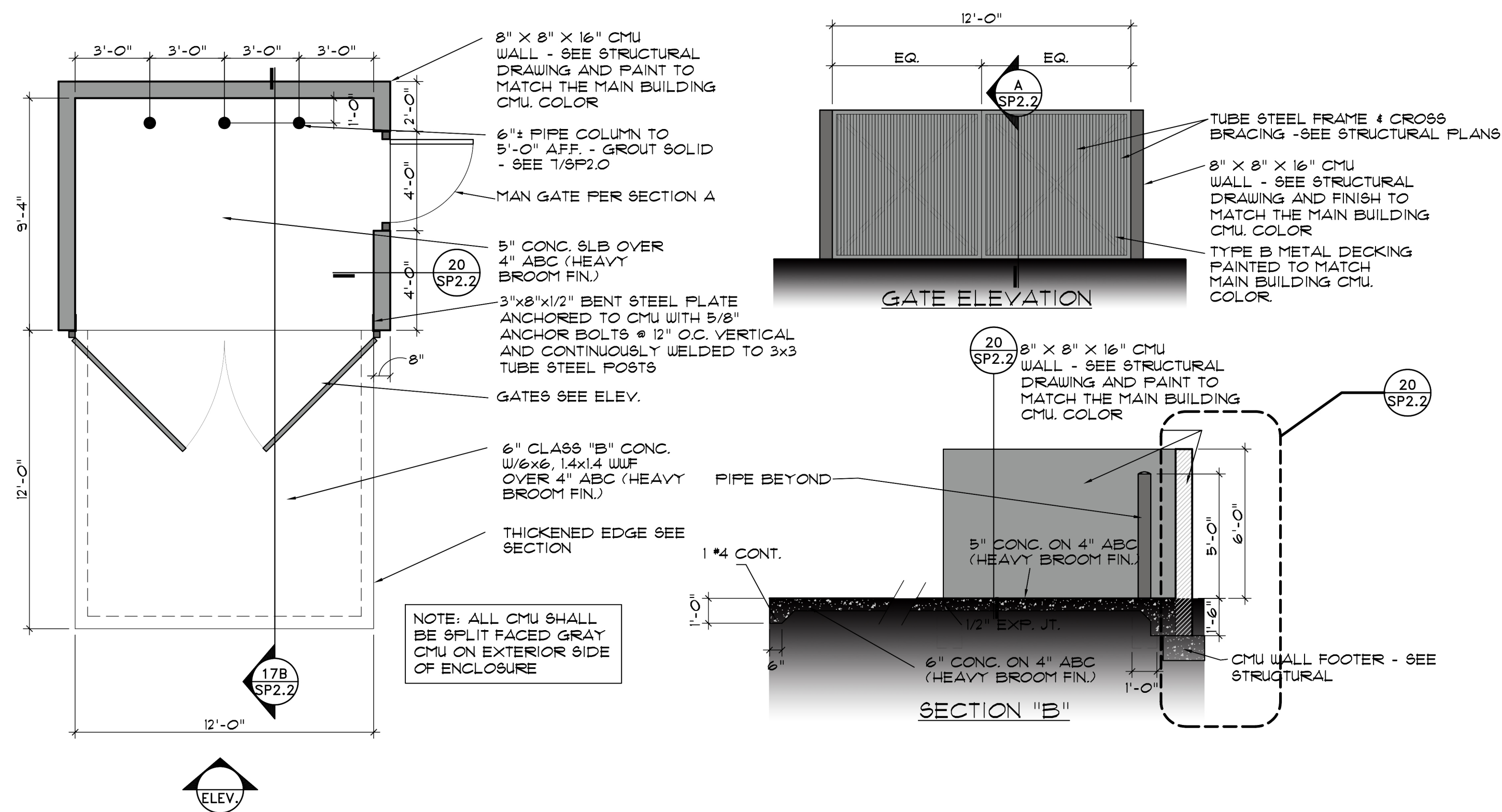


Luminaire Schedule							
Label	Symbol	MTG HGT	Description	LLF	Lum. Lumens	Lum. Watts	Qty
SA		20'	HUBBELL #ASL-8L-4K-210-3	0.900	5624	61.5	3
SB		20'	HUBBELL #ASL-16L-4K-210-4	0.900	11417	122.7	2
SC		VARIOUS	PINNACLE #EX3-WET-N-40HO-4	0.900	2487	34.6	5
VAC		7'	4000 LUMEN VACUUM STATION	0.900	4315	36.3	23

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site_Planar	Illuminance	Fc	4.12	18.0	0.2	20.60	90.00







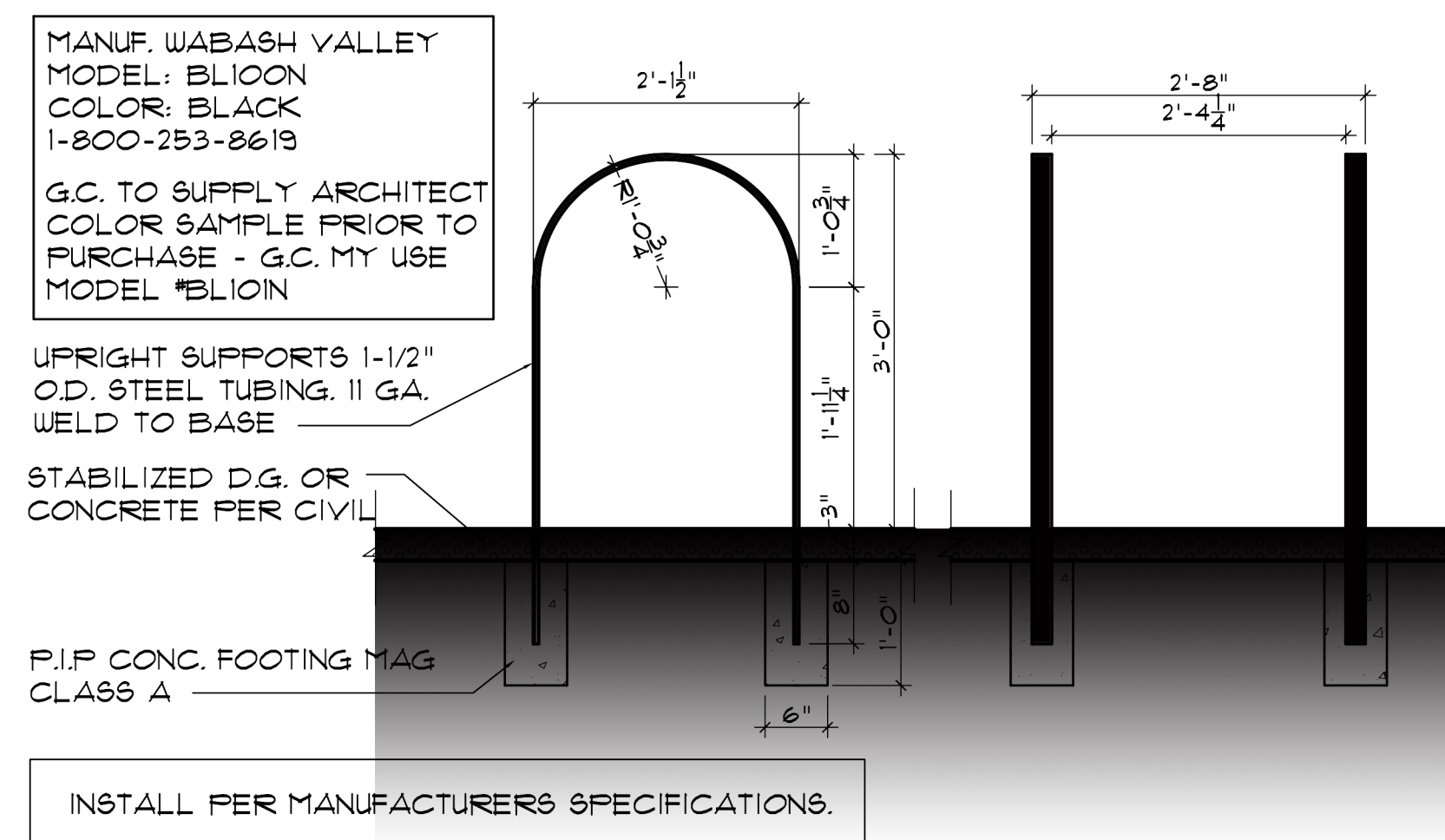
5 DUMPSTER - COLOR ELEVATION  
SCALE: 1/4"=1'-0"

6 3'-0" SITE WALL COLOR ELEVATION  
SCALE: 1/4"=1'-0"

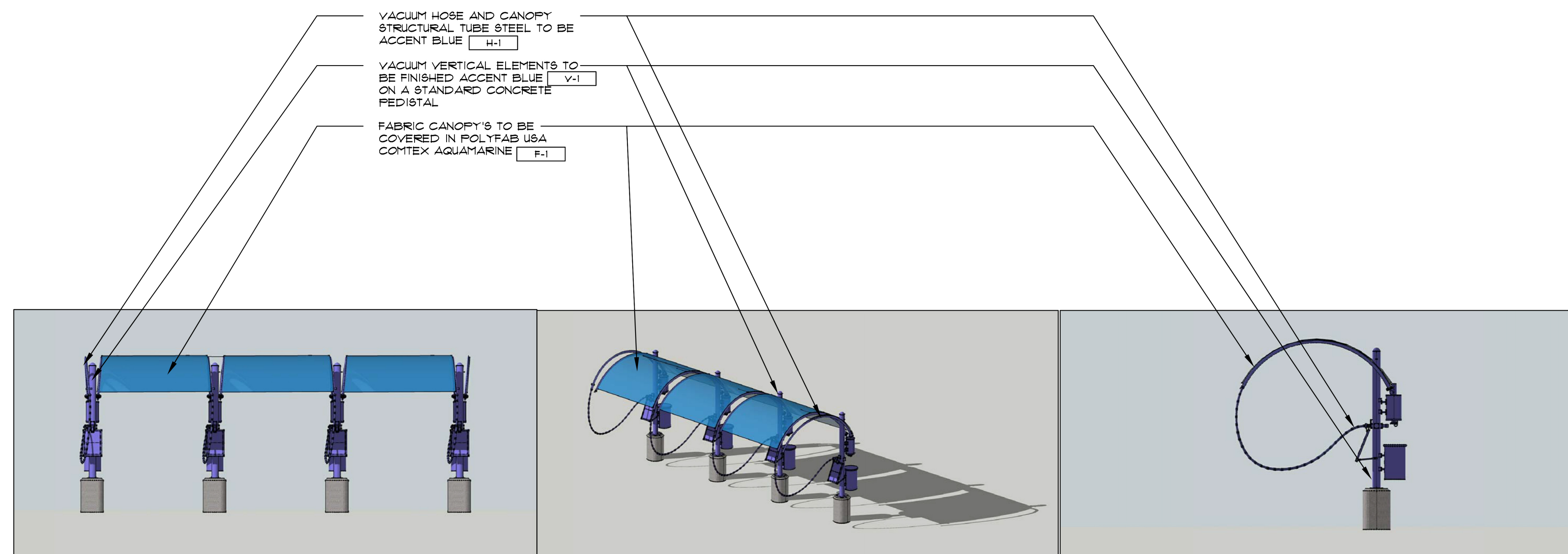
7 CROSS WALK COLOR SAMPLE - BLACK CONCRETE  
SCALE: 1/4"=1'-0"

FINISH LEGEND					
FINISH	MANUFACTURER	STYLE	COLOR	NUMBER	COMMENTS
PT-1 DARK GRAY	DUNN EDWARDS	FLAT	BOAT ANCHOR	DE6311	SUBJECT TO OWNER CHANGE
PT-2 MED GRAY	DUNN EDWARDS	FLAT	WALRUS	DE 368	SUBJECT TO OWNER CHANGE
PT-3 LIGHT GRAY	DUNN EDWARDS	FLAT	SILVER LINED	DE693	SUBJECT TO OWNER CHANGE
PT-4 BLUE	MODERN MASTERS THEME PAINT	FLAT	BEHR - SONG BIRD	SG 540	G.C. TO MATCH BEHR PAINT USING MODERN MASTERS THEME PAINT NO EXCEPTIONS
PT-5 ORANGE	MODERN MASTERS THEME PAINT	FLAT	BEHR - PUMPKIN PATCH	SH 250	G.C. TO MATCH BEHR PAINT USING MODERN MASTERS THEME PAINT NO EXCEPTIONS
F-1 (CANOPY FABRIC)	POLYFAB USA	COMTEX	AQUAMARINE	-	FRE MANUFACTURED VACUUM STATION COMPONENT COLORS
H-1 (HOSE COLOR)	VACU TECH	-	BLUE	-	FRE MANUFACTURED VACUUM STATION COMPONENT COLORS
V-1 (VACUUM STATION COLOR)	CARDINAL POWDER COAT	-	BLUE	TOO9-BLO5	FRE MANUFACTURED VACUUM STATION COMPONENT COLORS

SEE DETAIL 19/SP2.2 FOR BIKE RACK SPEC SHEET



8 BLACK BIKE RACK - COLOR ELEVATION  
SCALE:



9 PARKING CANOPY -COLOR ELEVATIONS  
SCALE:

