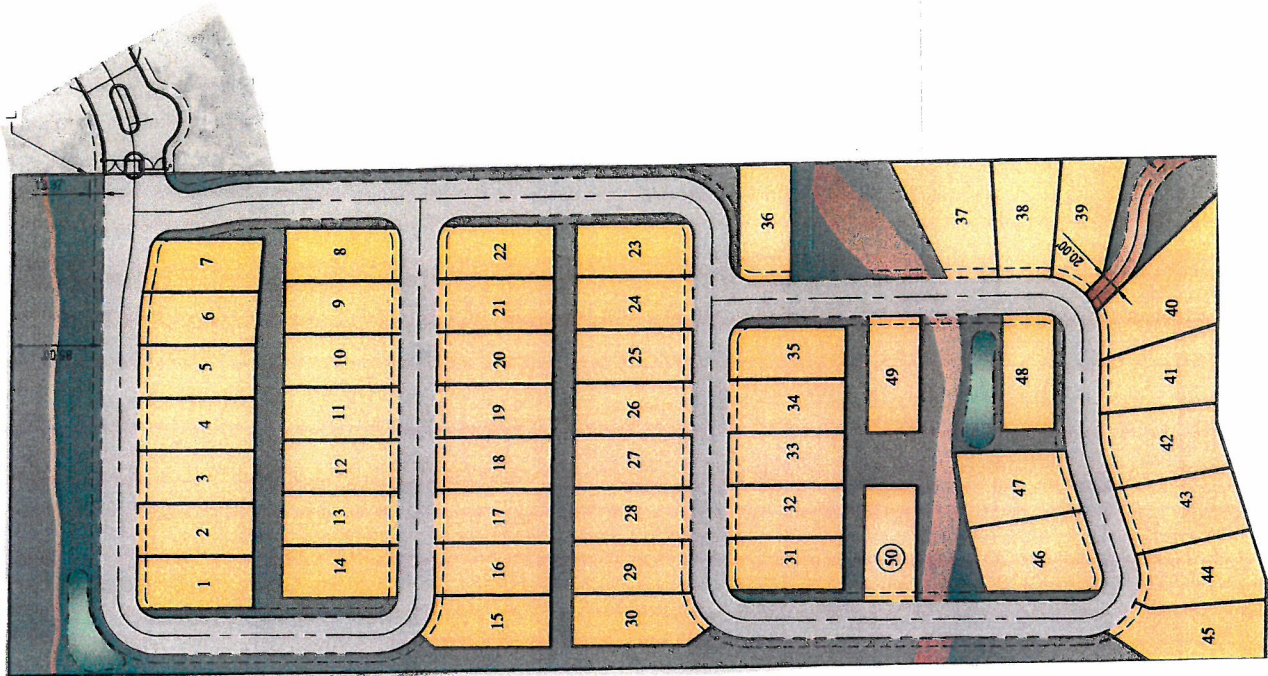


Planned Area Development Preliminary Plat

For

Sanctuary at Las Sendas

N. Red Mountain Road in the Las Sendas Master Planned Community



Narrative

Submitted to:
City of Mesa
Planning Division
55 N. Center Street
PO Box 1466
Mesa, AZ 85211-1466
480-644-4273

July 22nd, 2016

Project Team

Developer:
Pinnacle Ridge Holdings, LLC.
3321 E. Baseline Road
Mesa, AZ 85234
Contact: Paul Dugas
Tel: (480) 892-4492

Consultant:
Wood/ Patel
Mesa, AZ 85210
Contact: Dan Matthews
Tel: (602) 335-8542

Narrative
Sanctuary at Las Sendas
12.59 acres located on the west side of N. Red Mountain Road
July 20th, 2016

Project Request

The Sanctuary at Las Sendas Plan is a proposed residential planned community consisting of the New Vintage Collection of Homes currently going through design review for Mountain Bridge Parcel 1/3. The site includes 12.60 net acres located on the west side of N. Red Mountain Road and south of Eagle Crest Road in the Las Sendas Master Planned Community. Currently the site is zoned RS-90 and we are proposing a re-zoning to RS-9-PAD on 12.60 net acres.

Sanctuary at Las Sendas will be a private gated community with private streets that allow parking on both sides.

The proposed Preliminary Plat with the New Vintage Collection of homes contains (50) single-family lots with 3.33 acres (26.4%) of open space. Sanctuary at Las Sendas with 12.60 net acres will have a density of (3.97 DUA)

An agreement with the Las Sendas Community Association will allow for frontage and vehicular and pedestrian access to Sanctuary. Also agreed to is an emergency exit and roadway at the south east corner of Sanctuary. This Emergency access roadway will be paved and extended in an easterly direction all the way back to N. Red Mountain Road. This emergency access will also allow for a looped water line system for Sanctuary at Las Sendas.

Improvements are proposed to N. Red Mountain Road in the median to allow left in and out turning movements at the main entry gate at the north east corner of Sanctuary. This will also allow faster emergency service should it be needed.

Sanctuary at Las Sendas will be annexed into the current Las Sendas Community Home Owners Association and will have full access to all the Amenities of the Las Sendas Master Planned Community. Therefore like all the rest of the Subdivisions in Las Sendas individual amenities in Sanctuary will not be built.

Architectural Vision

The Architectural focus and vision of Sanctuary at Las Sendas will evolve from Architectural Styles such as, Andalusian, Country French, Craftsman, Italian Farmhouse, and Spanish Eclectic.

Sanctuary at Las Sendas will consist of 50' x 110' Lots with home square footages ranging from 1,700 to 2,000 square feet. The new Vintage Collection of Homes are all single story homes with front facing garages and front facing entry doors. The new Vintage Collection of homes will consist of (3) floor plans with each having (5) distinct elevations and paint schemes. Options for front porches or front courtyards are being offered on all elevations. This will allow for a diverse street scene without repetition next to each other or across a street.

Sanctuary at Las Sendas Lots are a minimum of 50' X 110'. We are proposing front yard setbacks of 11' to front porches or front courtyards, 15' to livable and 18' minimum to a garage door face. Side yard setbacks will be 5' and 5', with a rear set back of 10' to a covered porch and 15' to livable. Lot coverage will be no more that 54%.

Site and Surrounding Area

The site is currently undeveloped native desert. Adjacent properties and land uses are summarized in the following Surrounding Development Table.

Table 1 Surrounding Development Table			
Direction	Existing Use	Zoning District	General Plan Designation
East	Tapestry Mountain at Las Sendas	RS-7-PAD	Neighborhood Desert Uplands
South	Maricopa Flood Control Open Space	RS-90	Neighborhood Desert Uplands
West	Maricopa Flood Control open Space	RS-90	Neighborhood Desert Uplands
North	Stoneledge At Las Sendas	RS-7-PAD	Neighborhood Desert Uplands

Development Standards

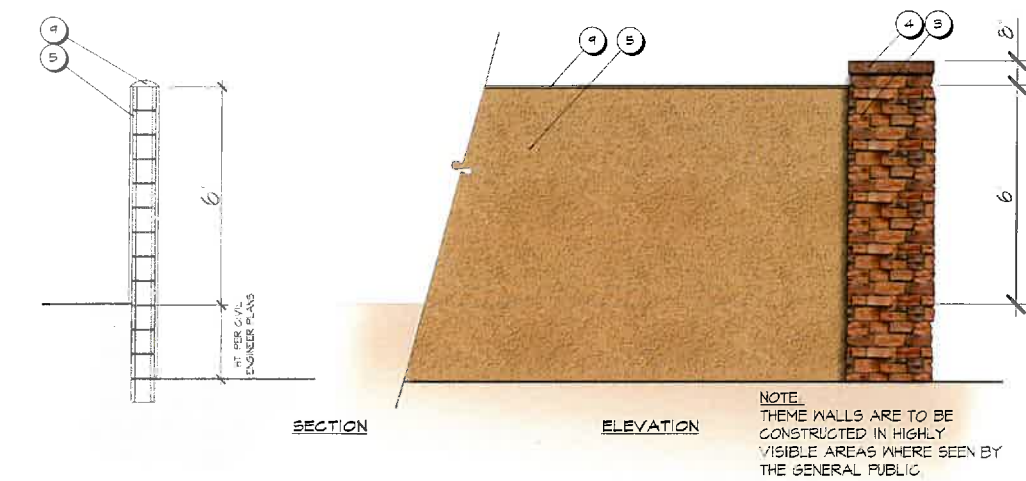
Table 2 Zoning Summary/Proposed Deviations is a summary of the RS-9 development standards and the proposed modifications for the PAD Zoning.

Table 2 Sanctuary at Las Sendas Zoning Summary/Proposed Deviations		
		Sanctuary
Lot Size		50'x110'
Sq. Ft.		Min/ 5,500 SF Average/ 5,943 SF
Zoning		RS-9-PAD
Minimum Lot Area (Sq. Ft.)	Required	9,000 SF
	Proposed	Min/ 5,500 SF Average/ 5,943 SF
Lot Width	Required	75'
	Proposed	50'
Lot Depth	Required	100'
	Proposed	No Change
Front Setback	Required	15' Livable/Porches/ Courtyards
	Proposed	15' to Livable
		11' to Porch/Courtyard 18' to Garage Face
Side Yard	Required	7' minimum 17' aggregate
	Proposed	5' Minimum 10' aggregate
Rear Yard	Required	25'
	Proposed	15' Livable 10' Patio
Maximum Building Coverage	Required	45% Max
	Proposed	54% Max

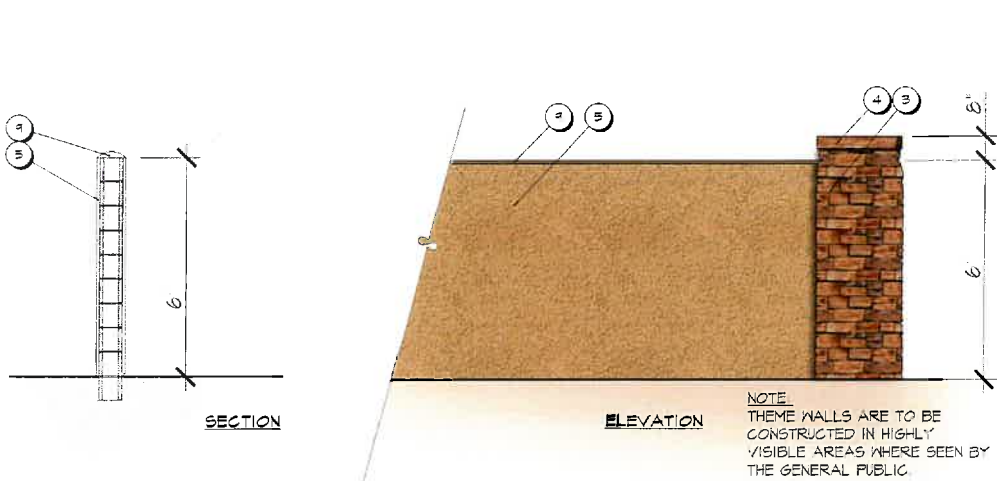
Conclusion

The Sanctuary at Las Sendas Subdivision will be a vibrant residential community in the City of Mesa and a great addition to the original Las Sendas Master Planned Community. The development team is committed to ensuring the creation of a high-quality, integrated neighborhood. We look forward to working with the City of Mesa and progressing with this exciting project.

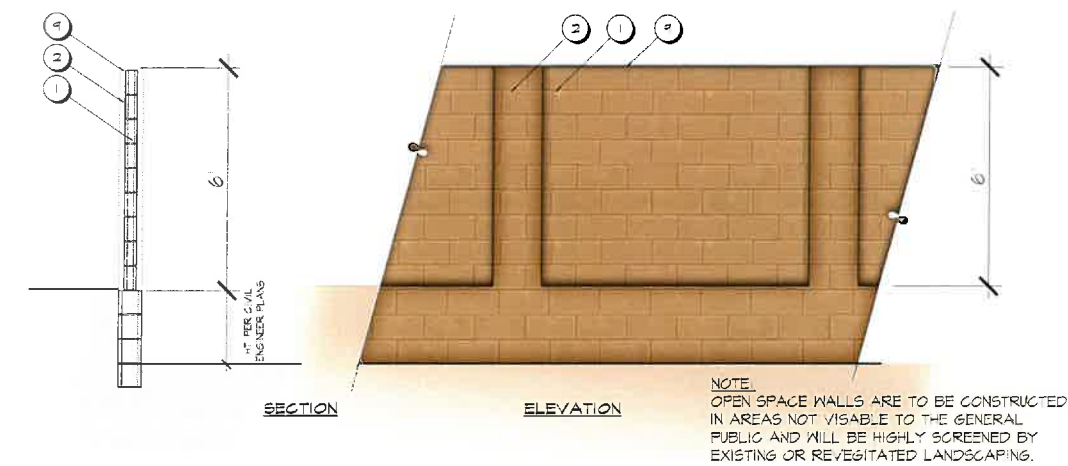
WALLS



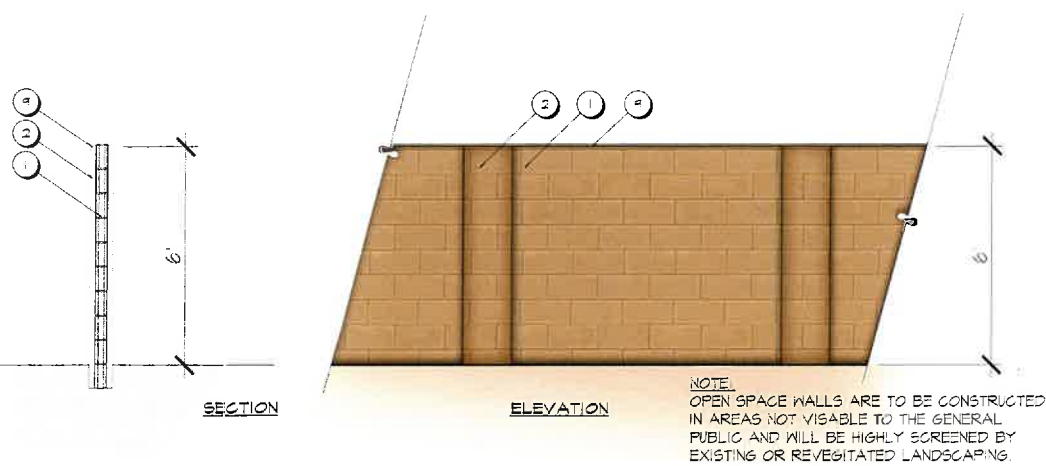
A 6' THEME WALL ON TYPICAL RETAINING WALL



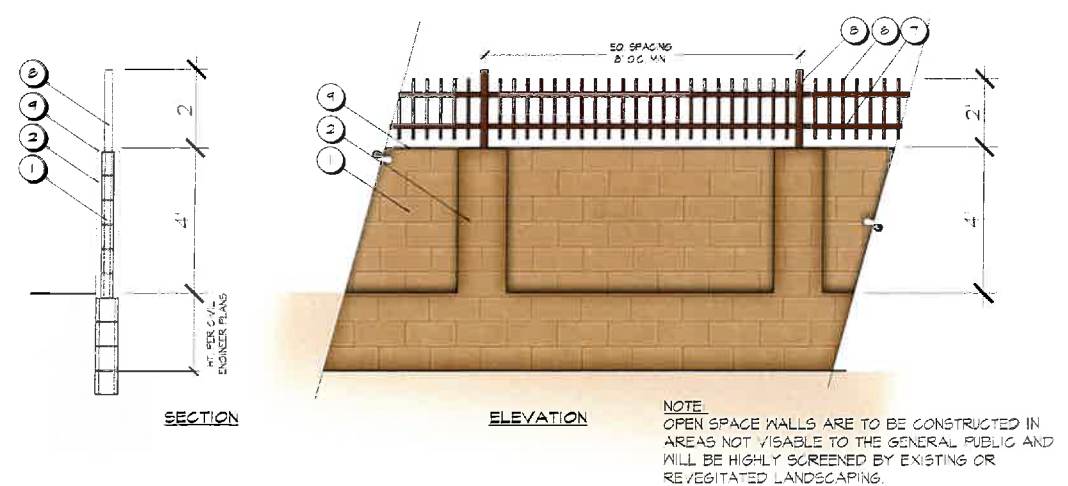
6' THEME WALL AT GRADE



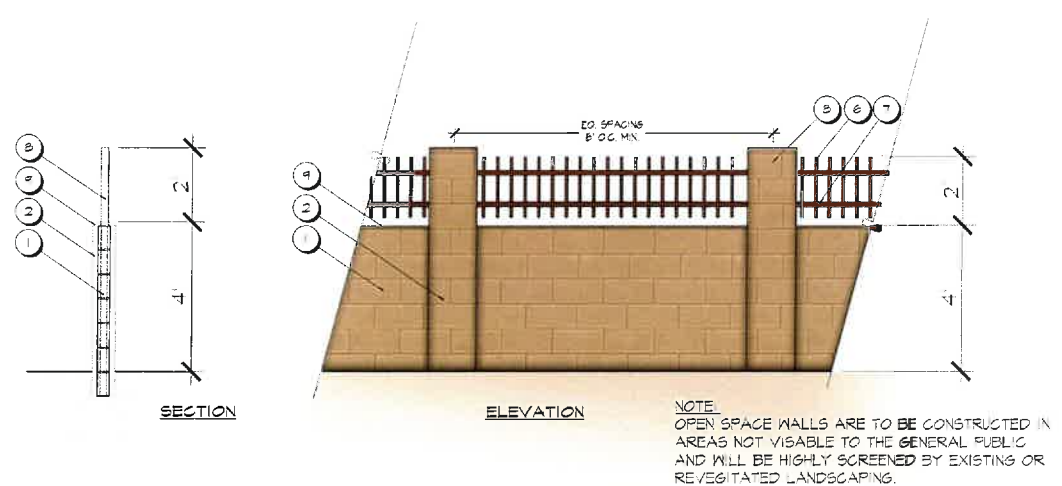
B 6' OPEN SPACE WALL ON TYPICAL RETAINING WALL



6' OPEN SPACE WALL AT GRADE



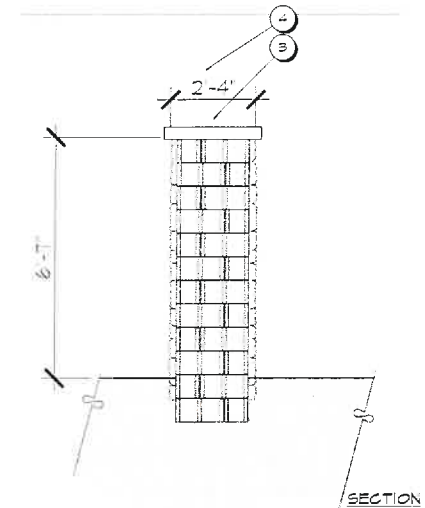
C 2' IRON/4' BLOCK VIEW WALL ON TYPICAL RETAINING WALL



2' IRON/4' BLOCK VIEW WALL AT GRADE

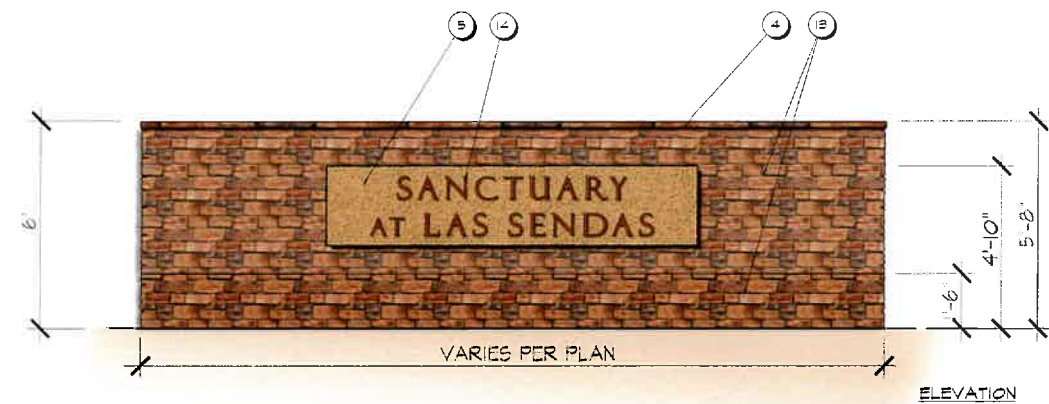
CONSTRUCTION LEGEND

- 1 PAINTED PRECISION FACE BLOCK - 4'x8'x16"
- 2 PAINTED DOUBLE OPEN END UNIT BLOCK - 8'x8'x16"
- 3 STONE VENEER THEME PILASTER. LOCATION TO BE SHOWN ON LANDSCAPE CONSTRUCTION PLANS. STONE TO BE ORCHARD CYPRESS RIDGE BY ELDORADO STONE.
- 4 ELDORADO TEXTURED STONE CAP
- 5 PRECISION BLOCK WALL, 8'x8'x16" WITH RANDOM TEXTURED STUCCO FINISH. COLOR TO BE 'DUNN EDWARDS-MAPLE VIEW'
- 6 3/8" IRON PICKET
- 7 1" IRON RAIL
- 8 2" IRON POST - EQUAL SPACING 6' O.C.
- 9 GROUTED CAP
- 10 TUBULAR COR-TEN STEEL
- 11 IRON HINGES & POST
- 12 PAINTED PRECISION FACE BLOCK - 8'x8'x16"
- 13 PRECISION BLOCK WALL, 8'x8'x16" WITH STONE VENEER TO BE ORCHARD CYPRESS RIDGE
- 14 COR-TEN STEEL LETTERING



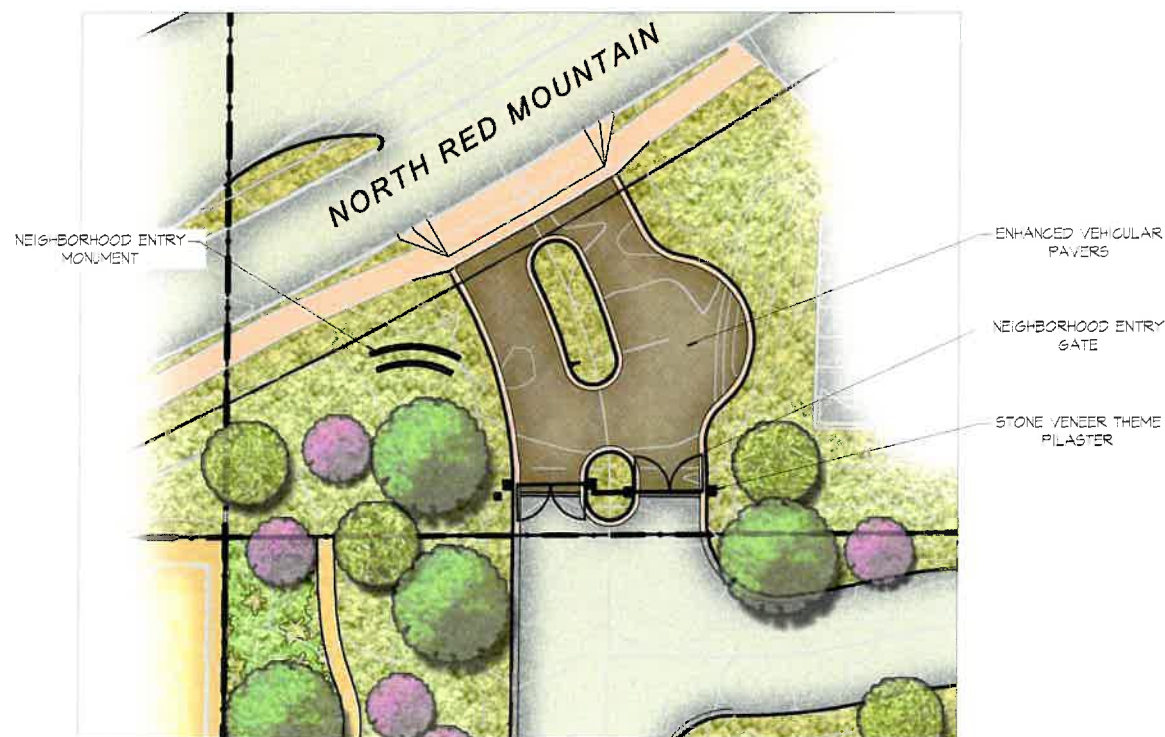
D STONE VENEER THEME PILASTER

NEIGHBORHOOD ENTRY

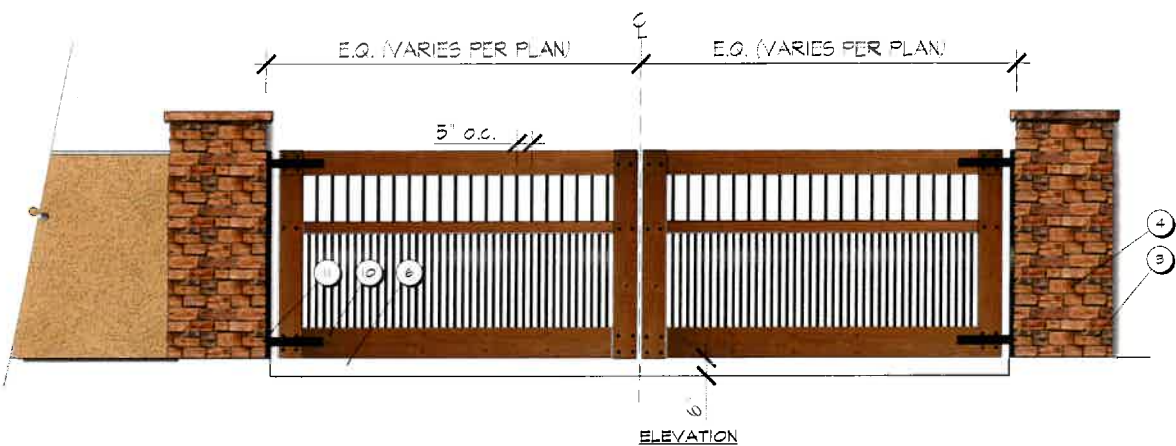


B NEIGHBORHOOD ENTRY MONUMENT

- CONSTRUCTION LEGEND
- 1 PAINTED PRECISION FACE BLOCK - 4'x8'x16"
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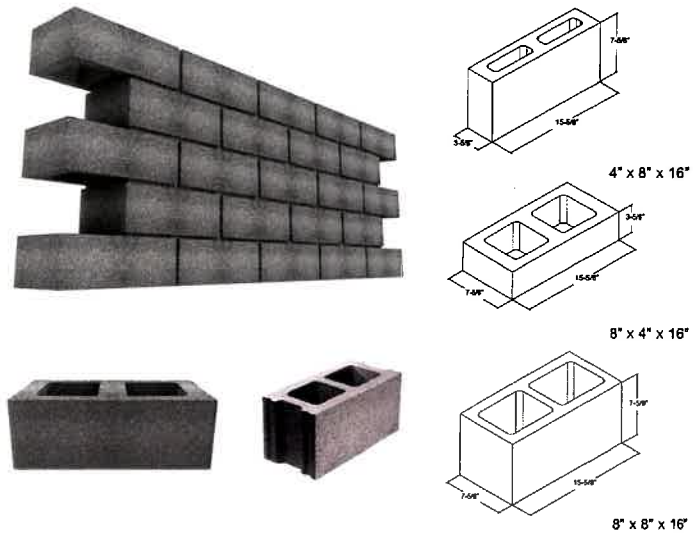


C NEIGHBORHOOD ENTRY PLAN

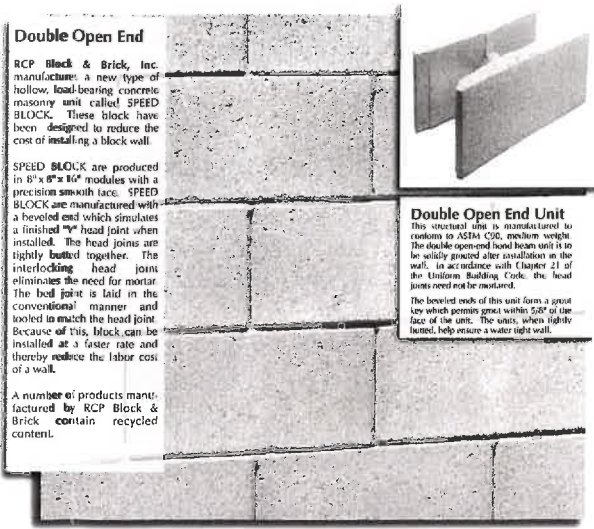


D NEIGHBORHOOD ENTRY GATE

MATERIALS



A CMU PRECISION BLOCK



B DOUBLE OPEN END UNIT BLOCK



C STUCCO FINISH



D EL DORADO STONE VENEER



ORCHARD Cypress Ridge™
A relaxed blend of earthy browns, soft mossy greens and subtle cinnamon accents is irresistible throughout Orchard Cypress Ridge. And, with hues of semi-rust and caramelized browns, this profile is unquestionably old-world. Shown here, installed with an overgrout technique, Orchard reveals its exceptional presentation of natural hues and shades.



E ENHANCED VEHICULAR PAVERS



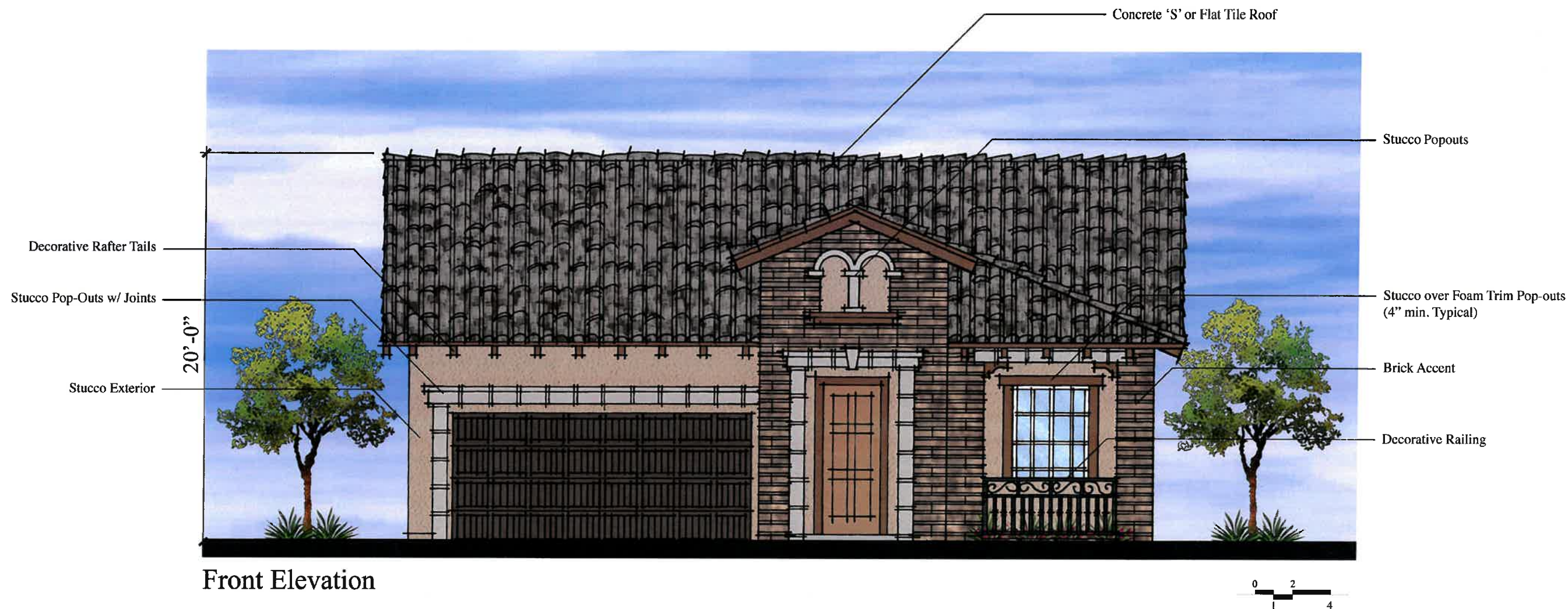
'MAPLE VIEW' DE 6152
AVAILABLE THROUGH
DUNN EDWARDS OF
MESA, AZ

TO BE APPLIED ON ALL PRECISION BLOCK WALLS

F PAINT COLOR



G IRON FENCE COLOR



Plan 1 - Andalusian Elevation

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
ID33
Planning



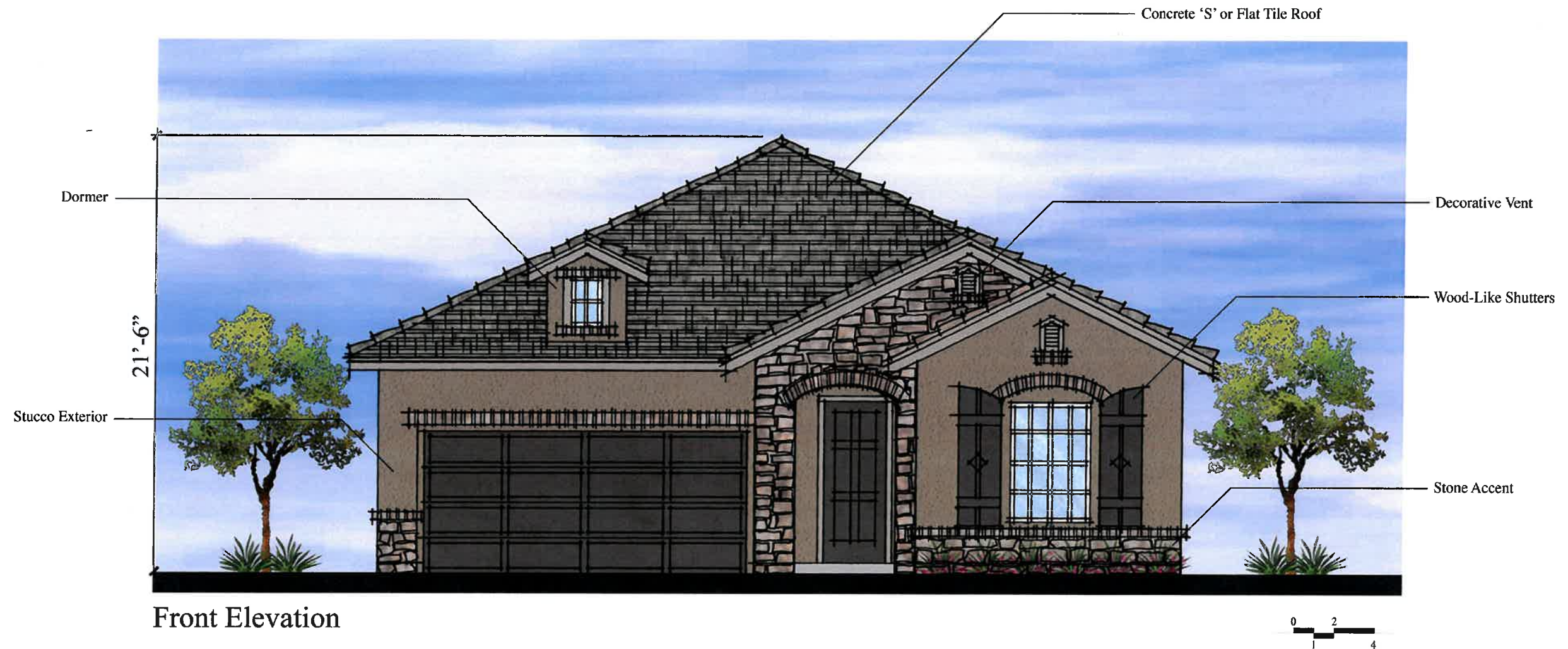
Plan 1 - Andalusian Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

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Gilbert, AZ 85234
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Design &
ID33
Planning



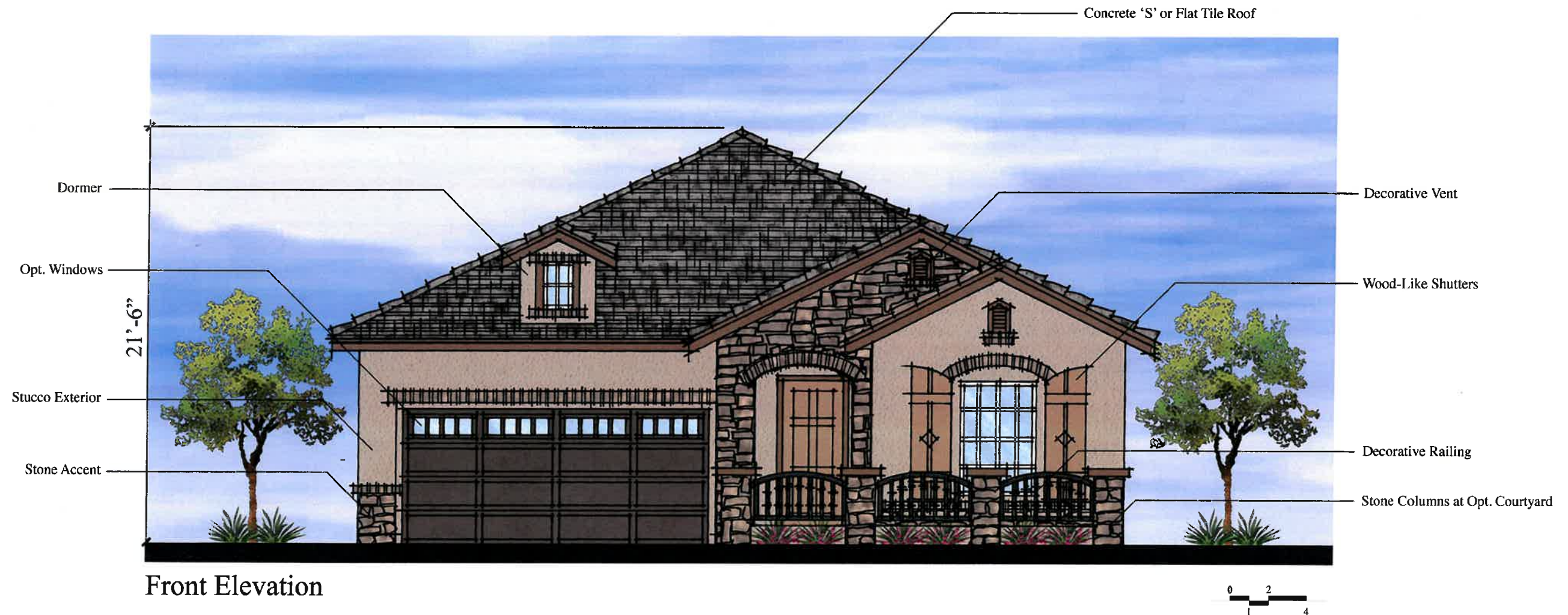
Plan 1 - Country French Elevation

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
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Gilbert, AZ 85234
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Design &
DK3
Planning



Plan 1 - Country French Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
Gilbert, AZ 85234
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Design &
ID331
Planning



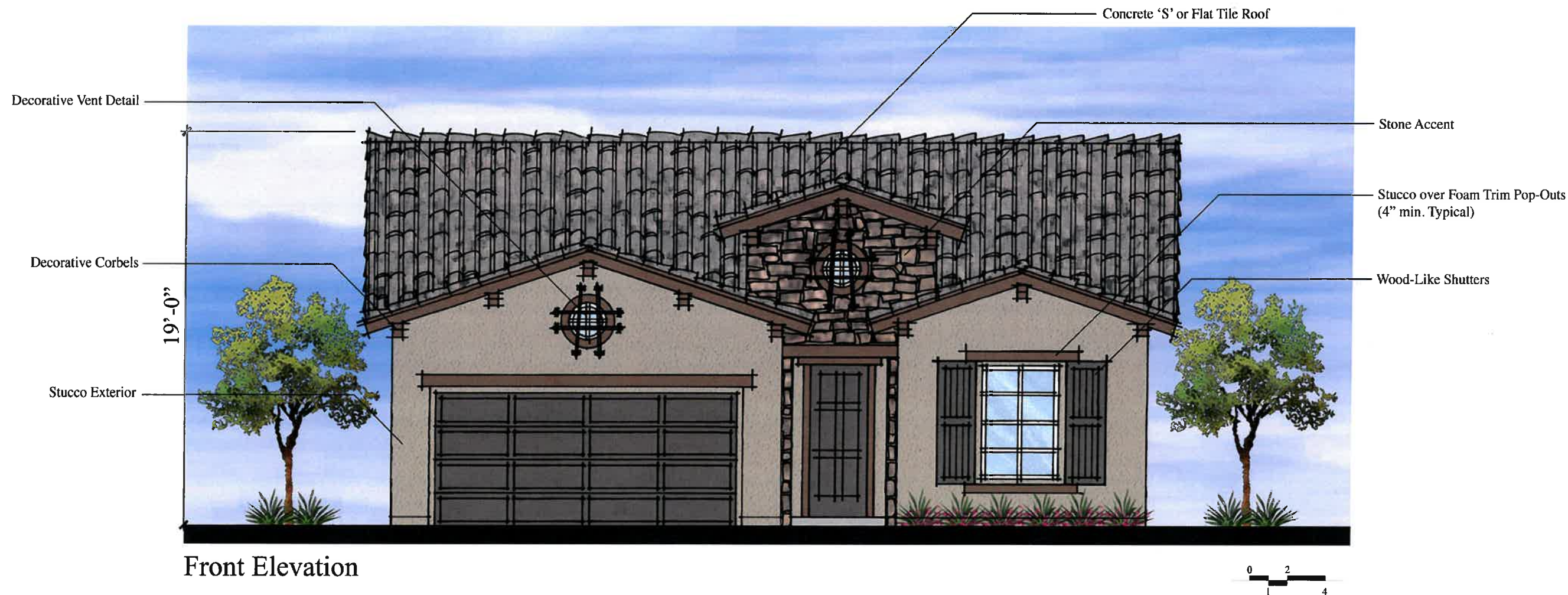
Plan 1 - Craftsman Elevation

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
DK31
Planning



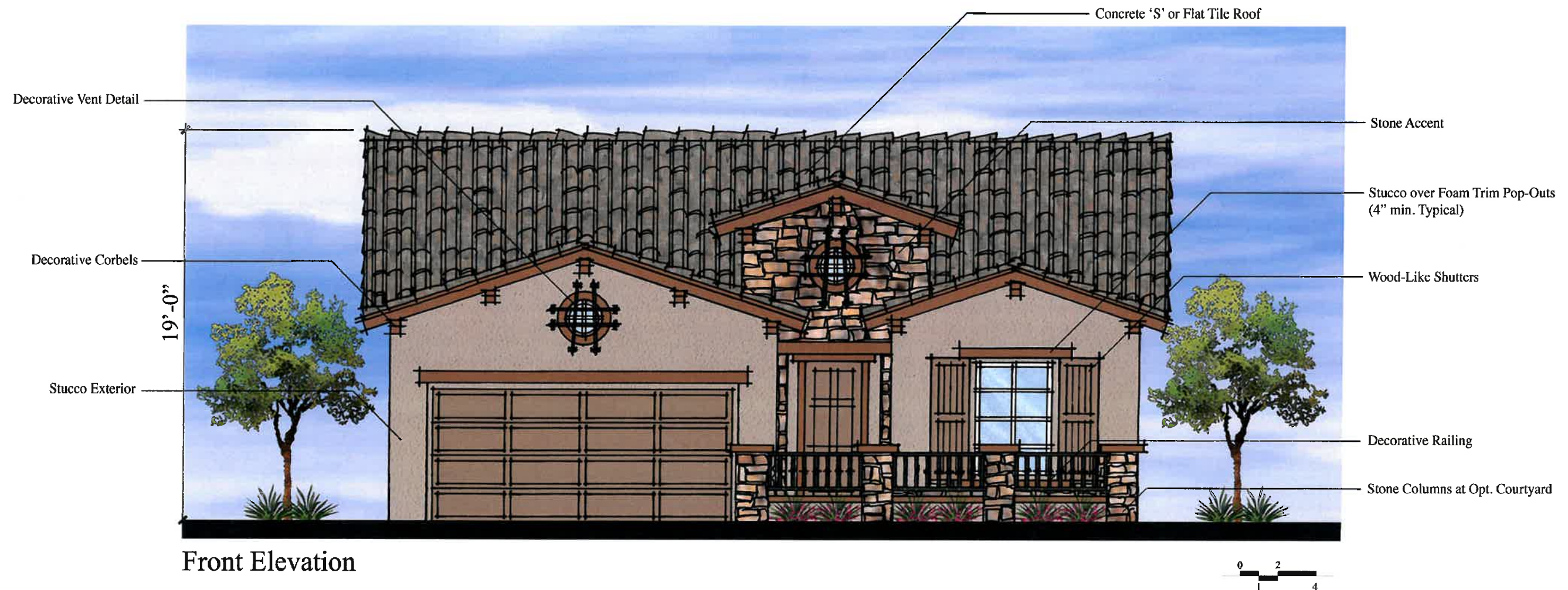
Plan 1 - Italian Farmhouse Elevation

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
ID331
Planning



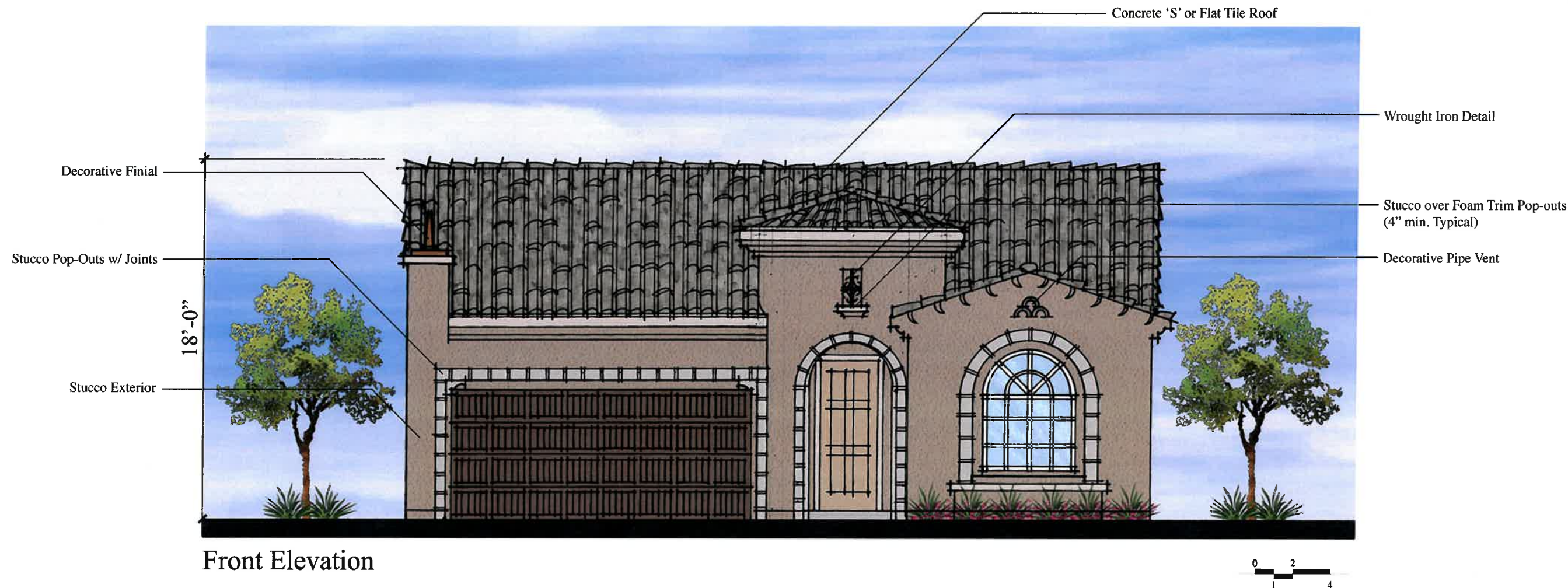
Plan 1 - Italian Farmhouse Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

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Gilbert, AZ 85234
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Plan 1 - Spanish Eclectic Elevation

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
Gilbert, AZ 85234
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ID331
Planning



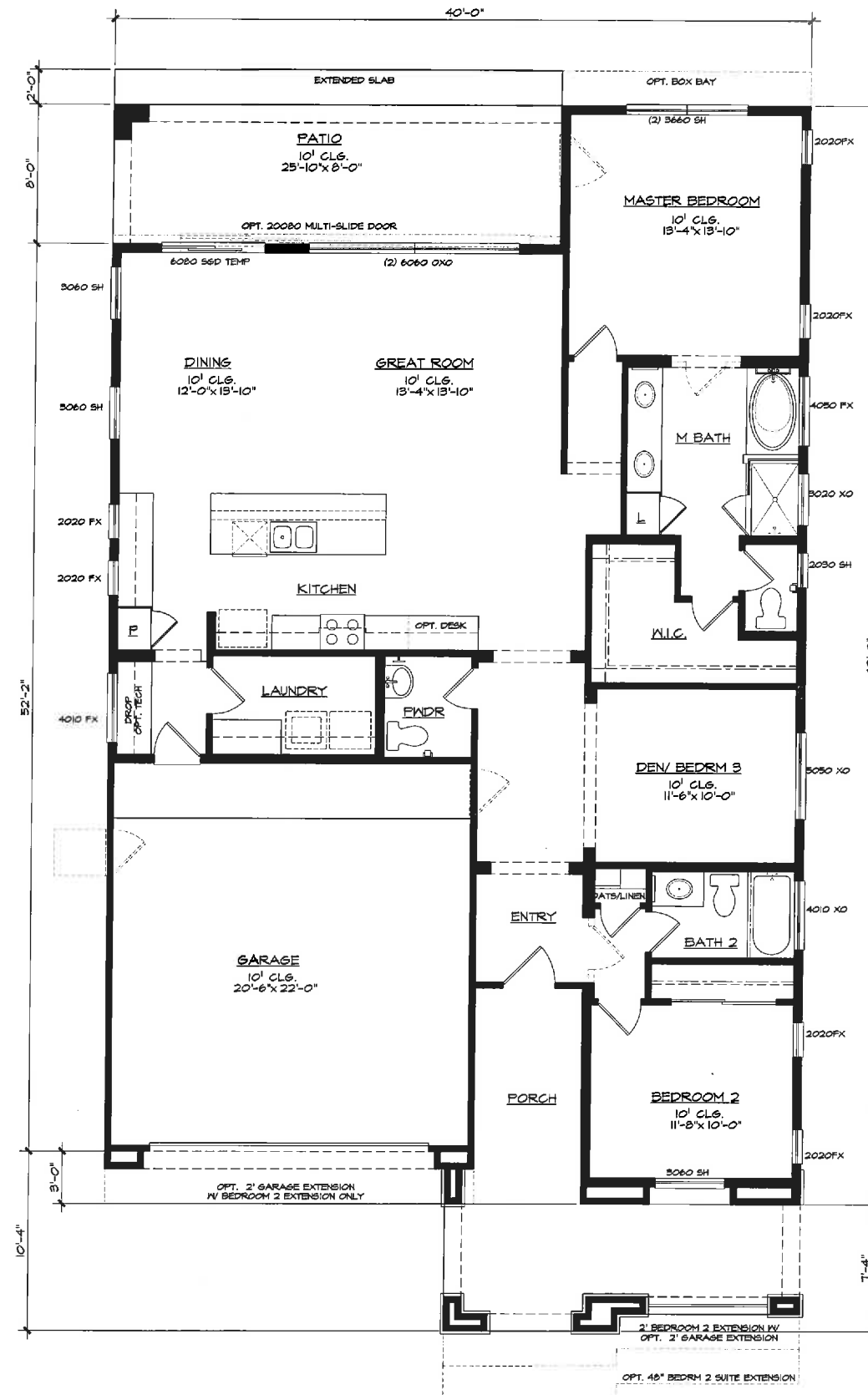
Plan 1 - Spanish Eclectic Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

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Tel: (480) 892-4492

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ID331
Planning

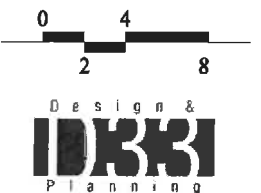


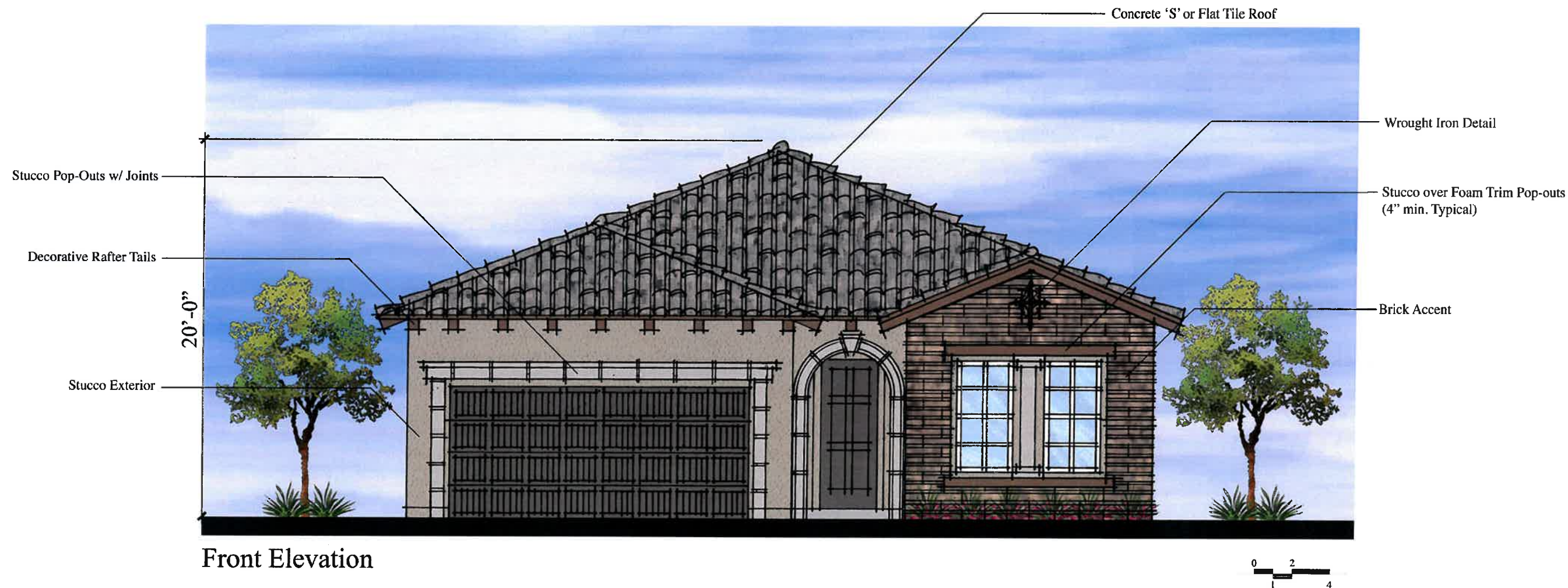
Plan 1 Andalusian - 1,700 Sq. Ft.

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492





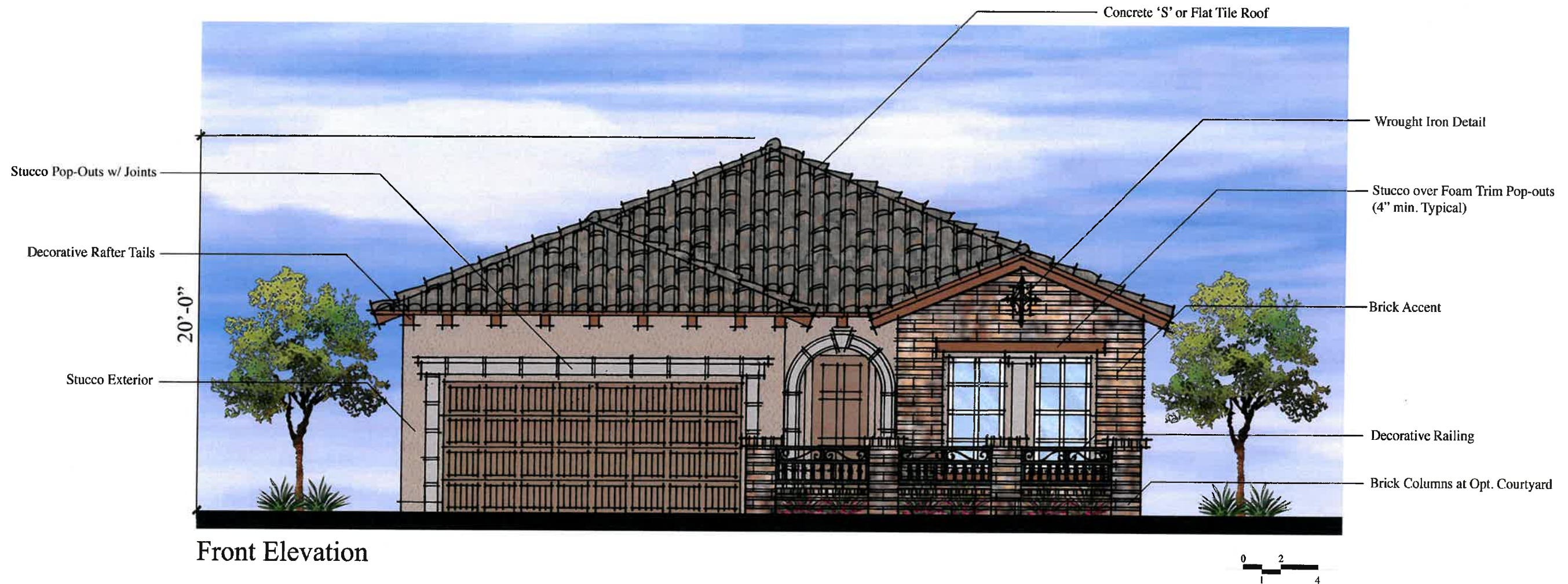
Plan 2 - Andalusian Elevation

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
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ID33
Planning



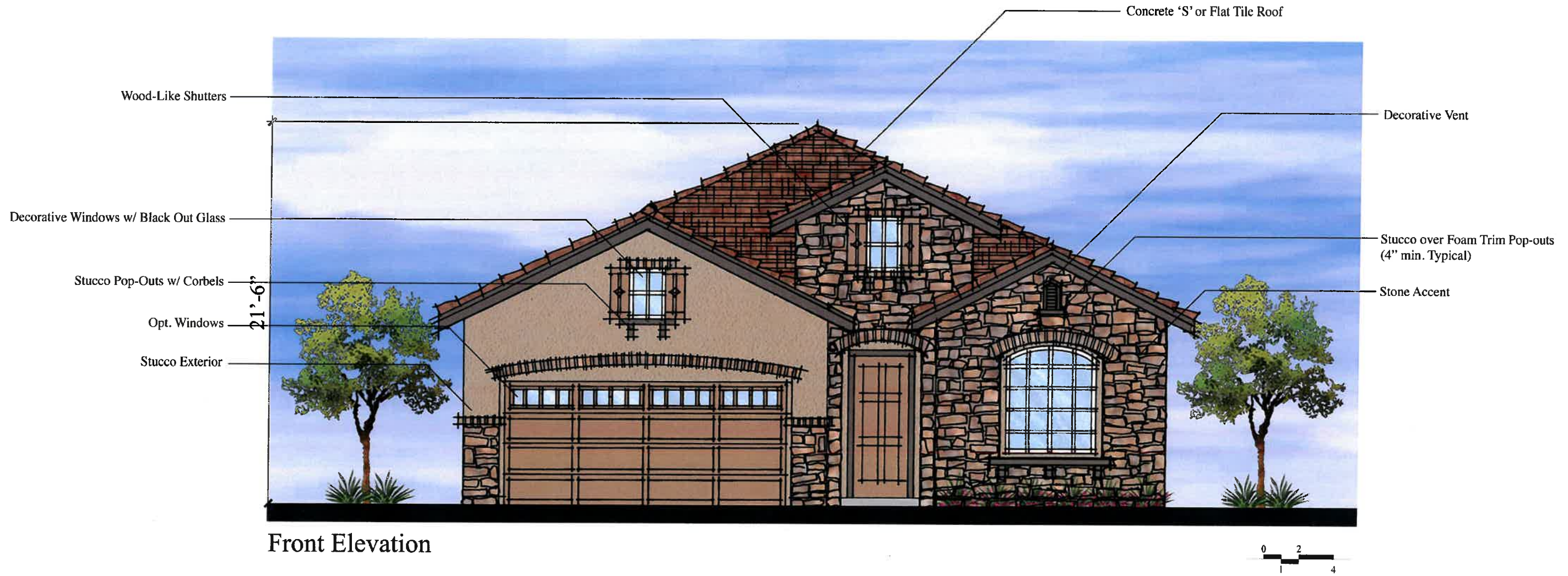
Plan 2 - Andalusian Elevation w/ Courtyard

New Vintage Series - 40'

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ID33
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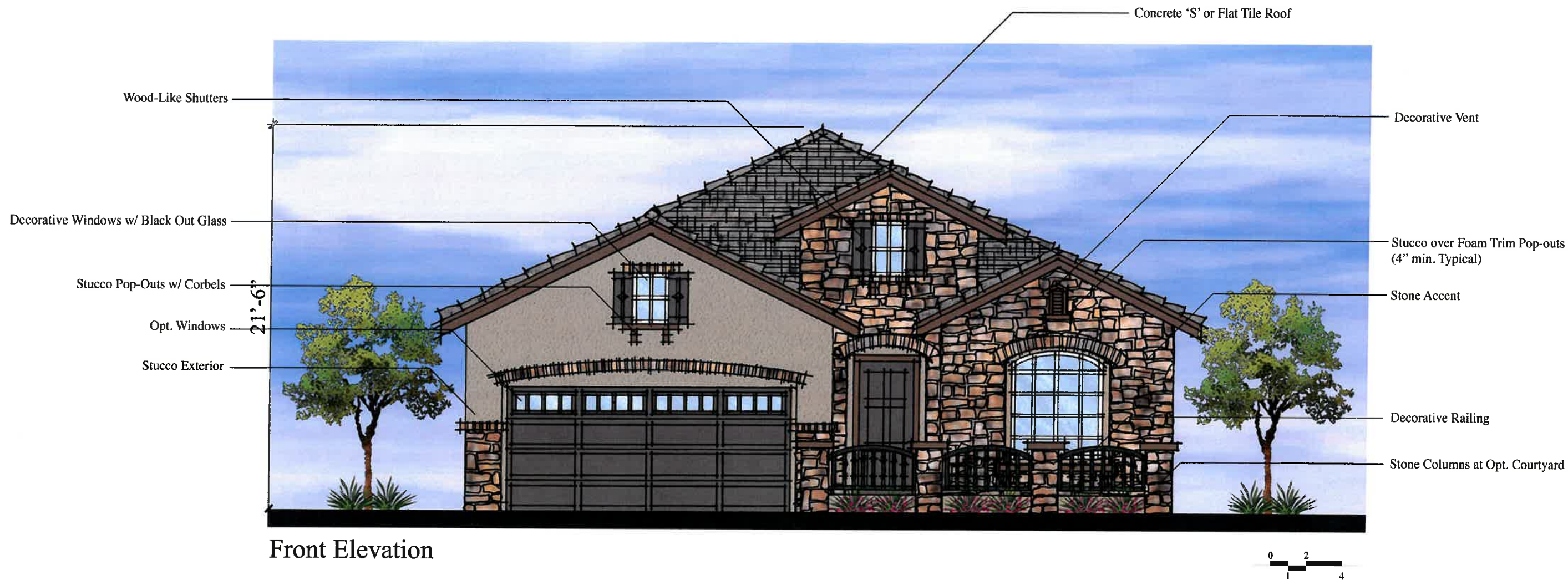
Plan 2 - Country French Elevation

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
ID331
Planning



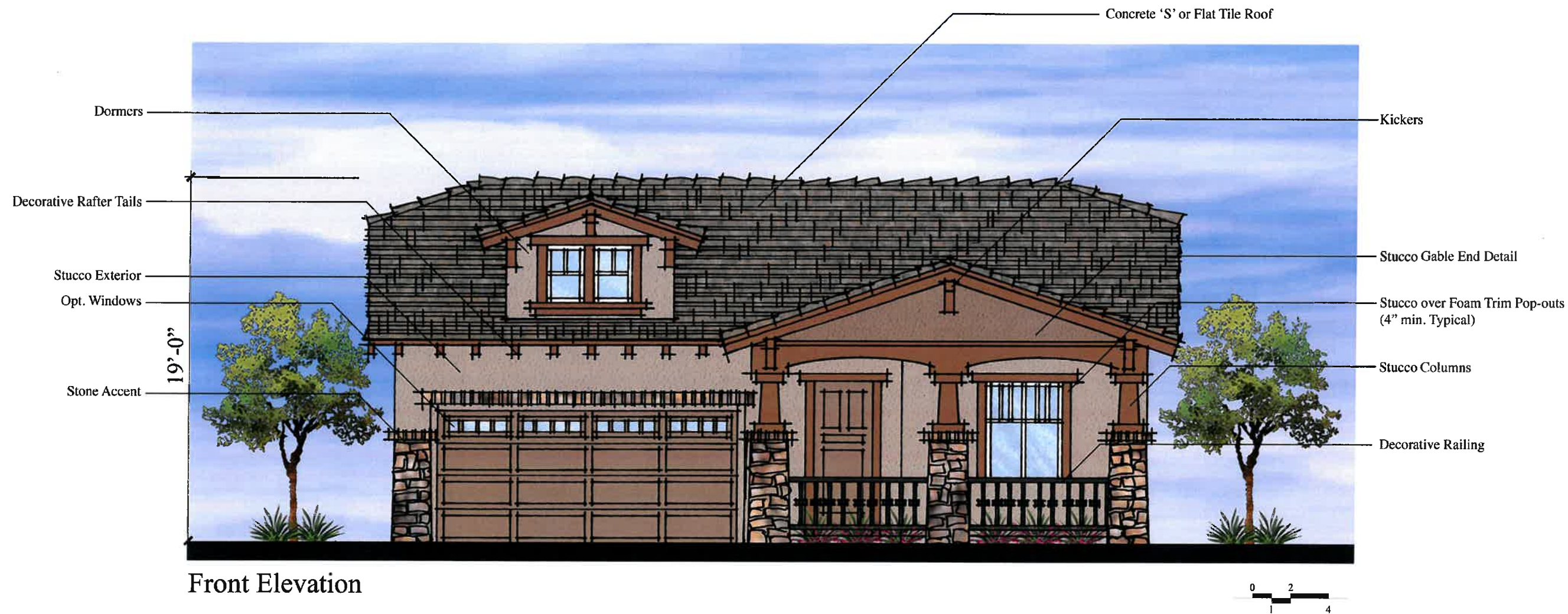
Plan 2 - Country French Elevation w/ Courtyard

New Vintage Series - 40'

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3321 East Baseline Rd.
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Design &
DK3
Planning



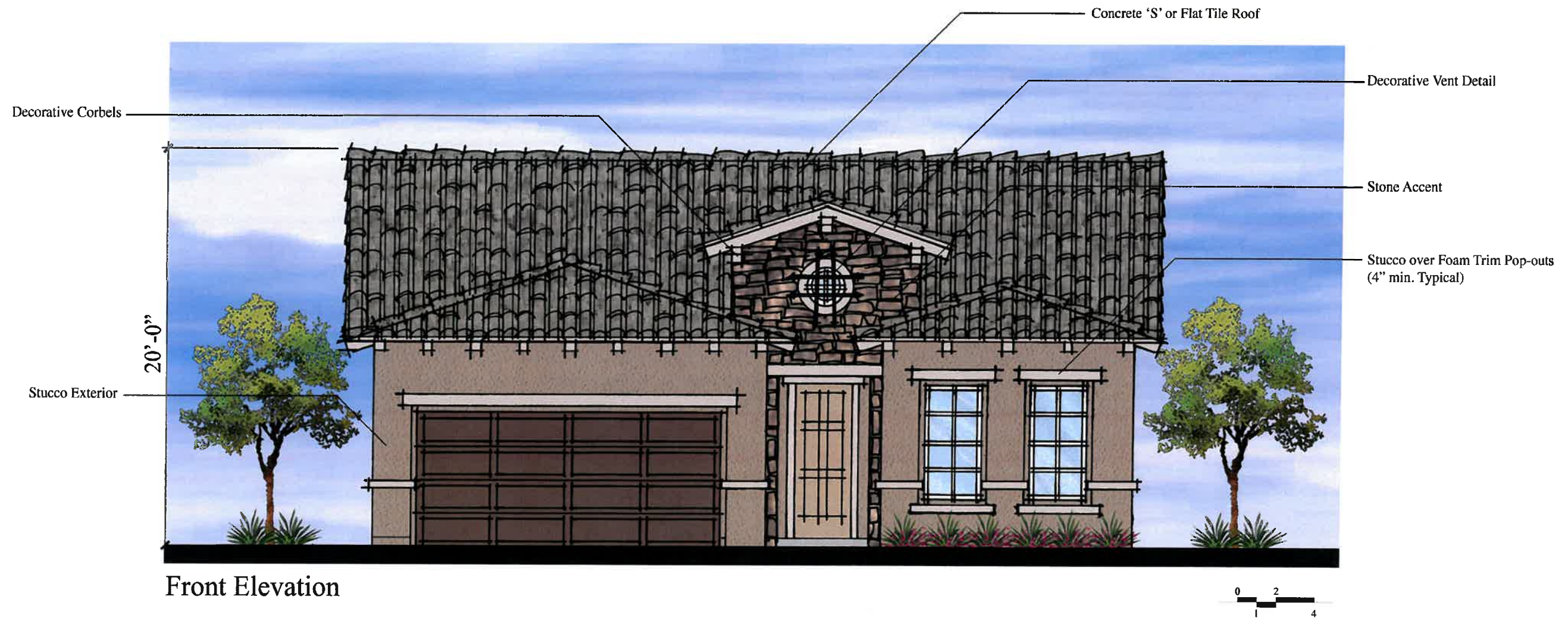
Plan 2 - Craftsman Elevation

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
Gilbert, AZ 85234
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Plan 2 - Italian Farmhouse Elevation

New Vintage Series - 40'

Mesa, Arizona

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Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
ID33
Planning



Plan 2 - Italian Farmhouse Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

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Planning



Plan 2 - Spanish Eclectic Elevation

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
ID331
Planning



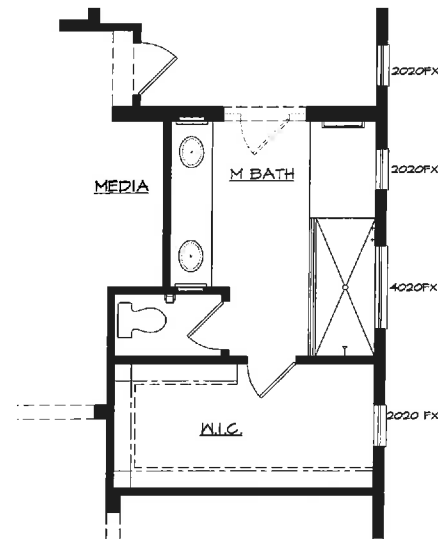
Plan 2 - Spanish Eclectic Elevation w/ Courtyard

New Vintage Series - 40'

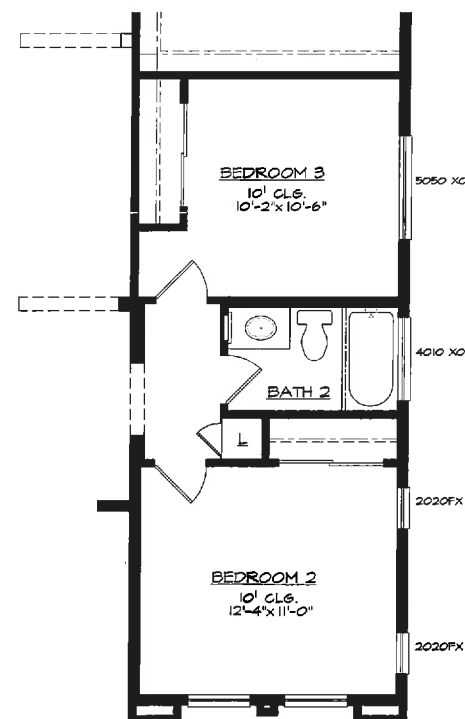
Mesa, Arizona

BLANDFORD HOMES
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Gilbert, AZ 85234
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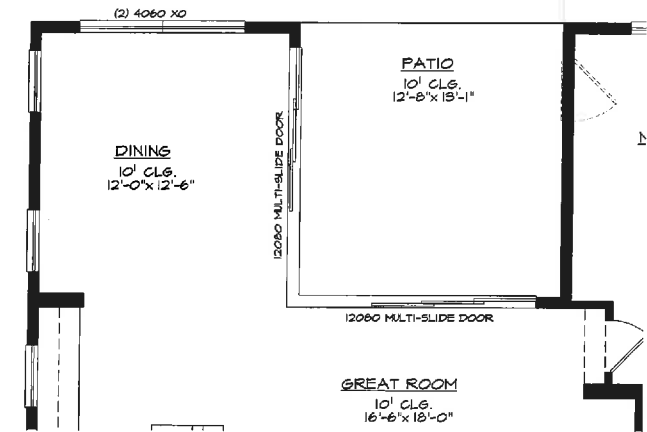
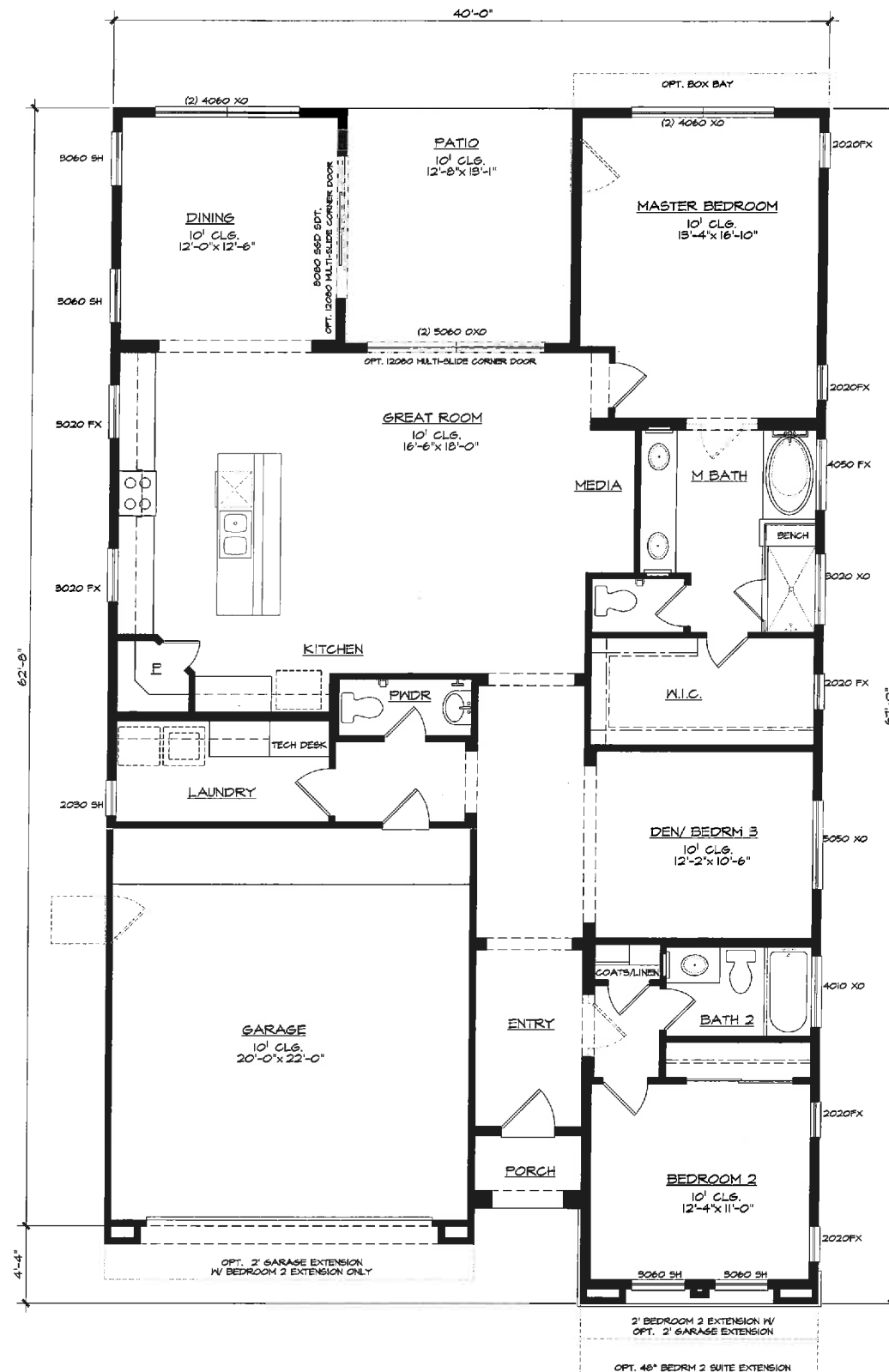
Design &
DKB
Planning



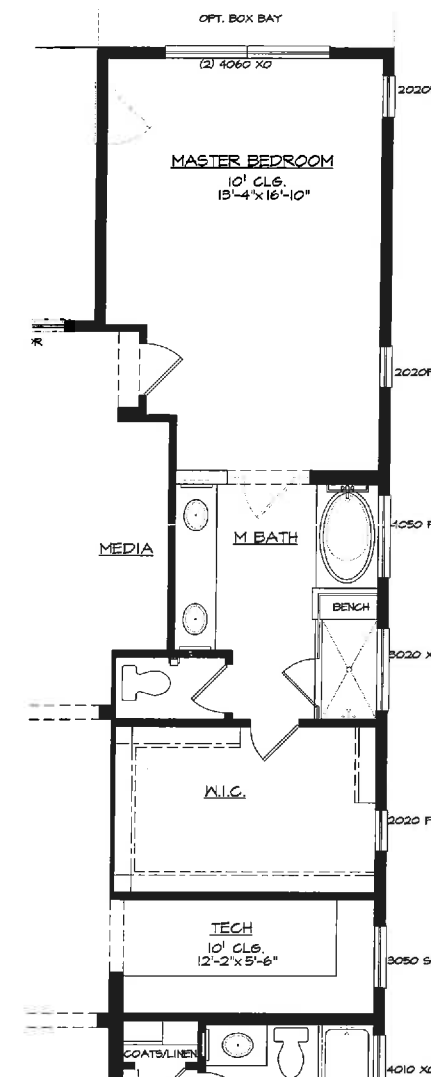
Opt. Walk-in Shower



Opt. Bedroom 3



Opt. Multi-Slide Corner Door



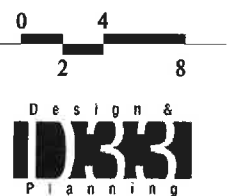
Opt. Enlarged Master ILO Den

Plan 2 Andalusian - 1,900 Sq. Ft.

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492





Front Elevation

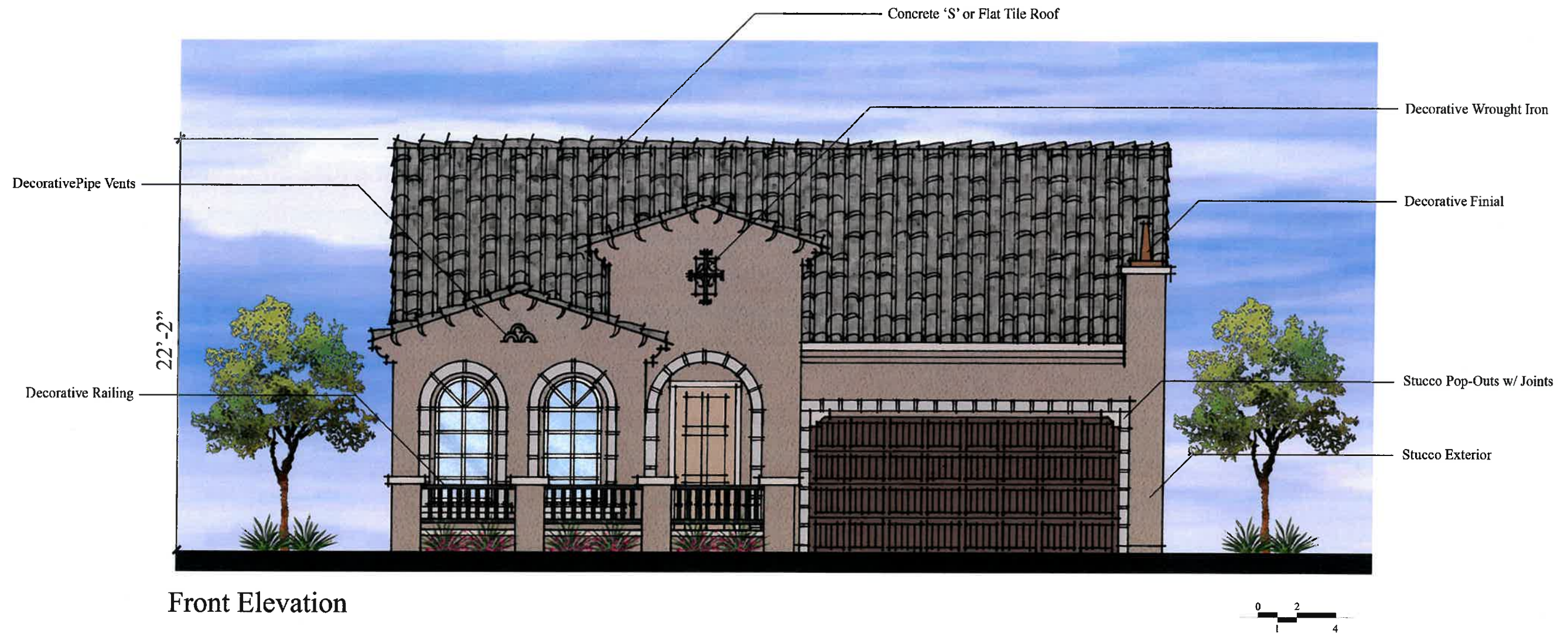
Plan 3 - Spanish Eclectic Elevation

New Vintage Series - 40'

Mesa, Arizona

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ID331
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Plan 3 - Spanish Eclectic Elevation w/ Courtyard

New Vintage Series - 40'

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Design &
ID33
Planning



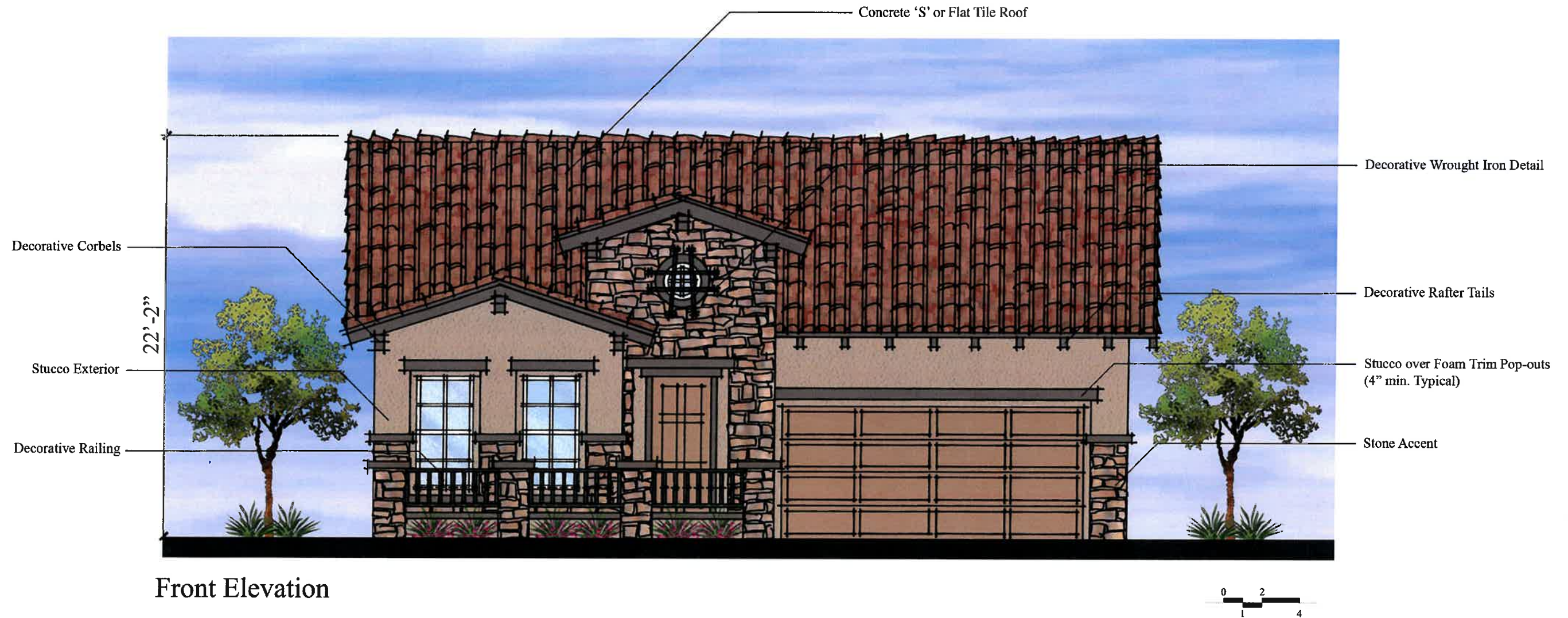
Plan 3 - Italian Farmhouse Elevation

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
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Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
ID33
Planning



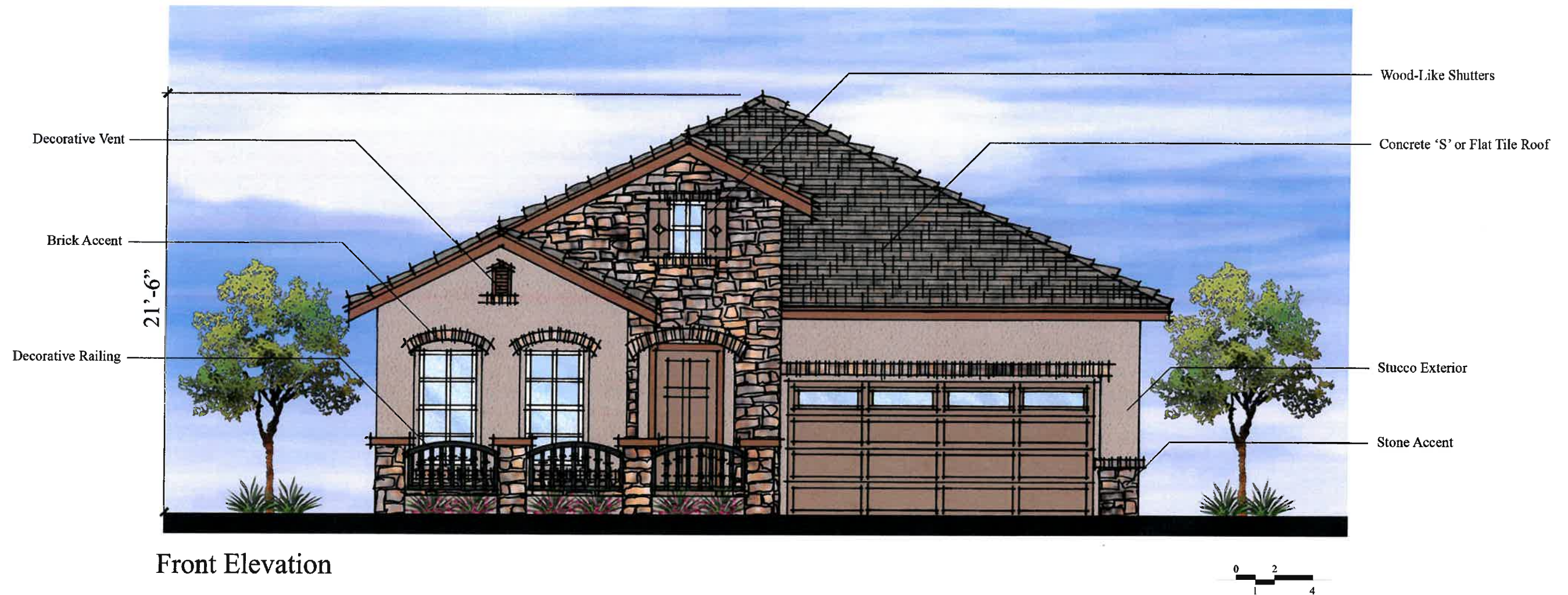
Plan 3 - Italian Farmhouse Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

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1033
Planning



Front Elevation

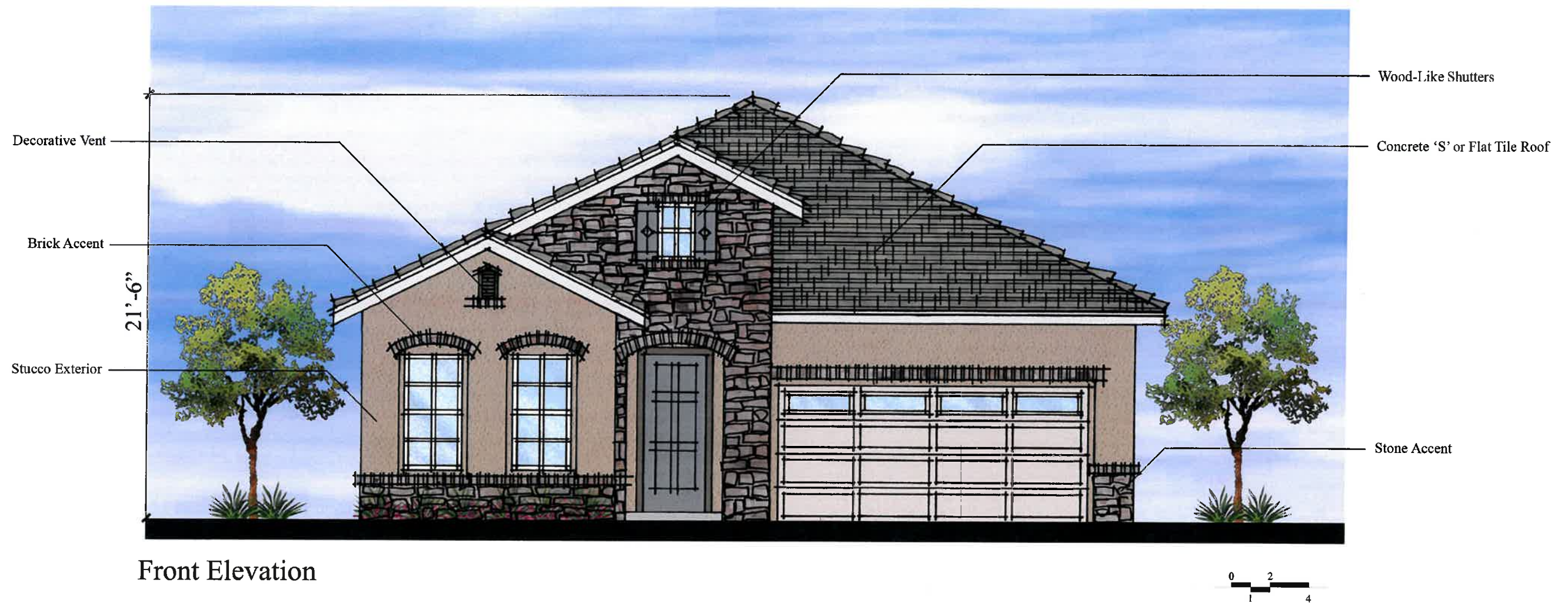
Plan 3 - Country French Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

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3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

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Planning



Plan 3 - Country French Elevation

New Vintage Series - 40'

Mesa, Arizona

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Gilbert, AZ 85234
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Design &
DK3
Planning



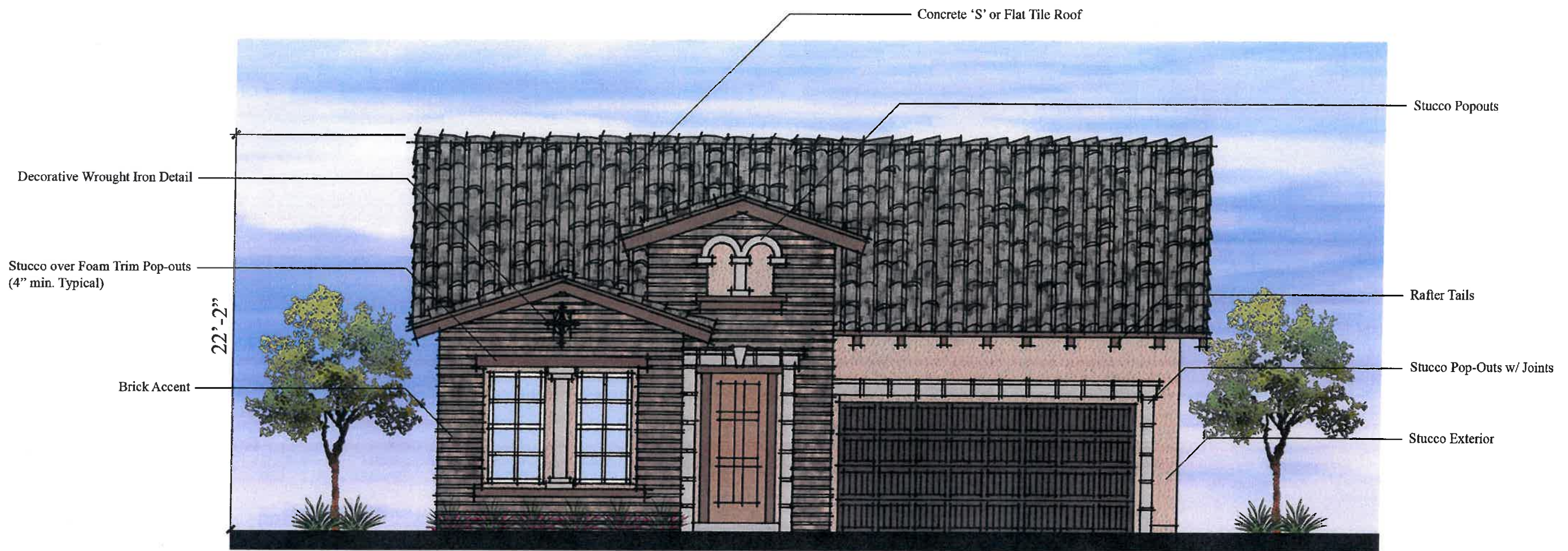
Plan 3 - Andalusian Elevation w/ Courtyard

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
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Gilbert, AZ 85234
Tel: (480) 892-4492

Design &
IDK33
Planning



Front Elevation



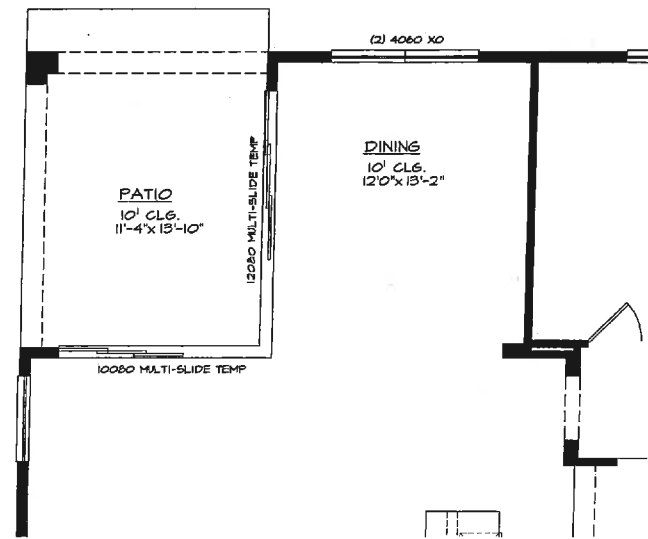
Plan 3 - Andalusian Elevation

New Vintage Series - 40'

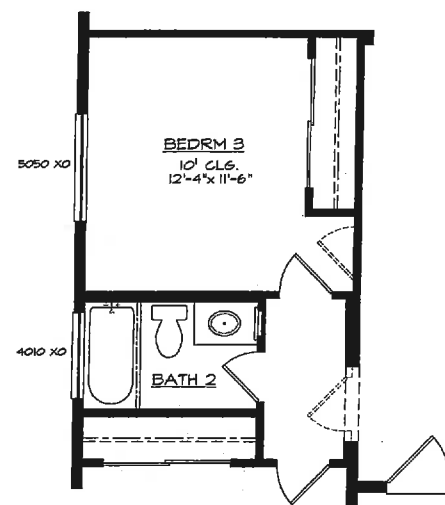
Mesa, Arizona

BLANDFORD HOMES
3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492

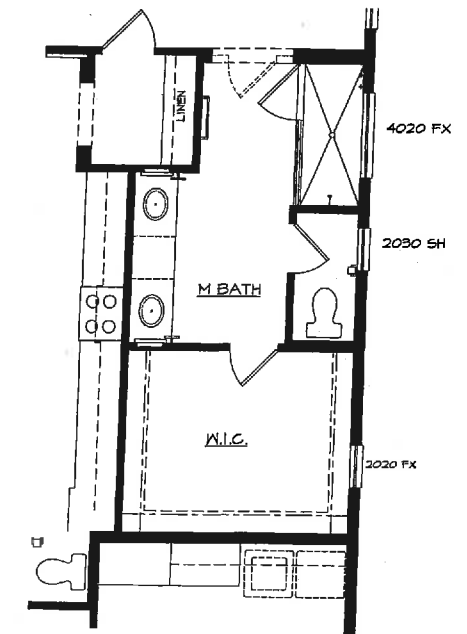
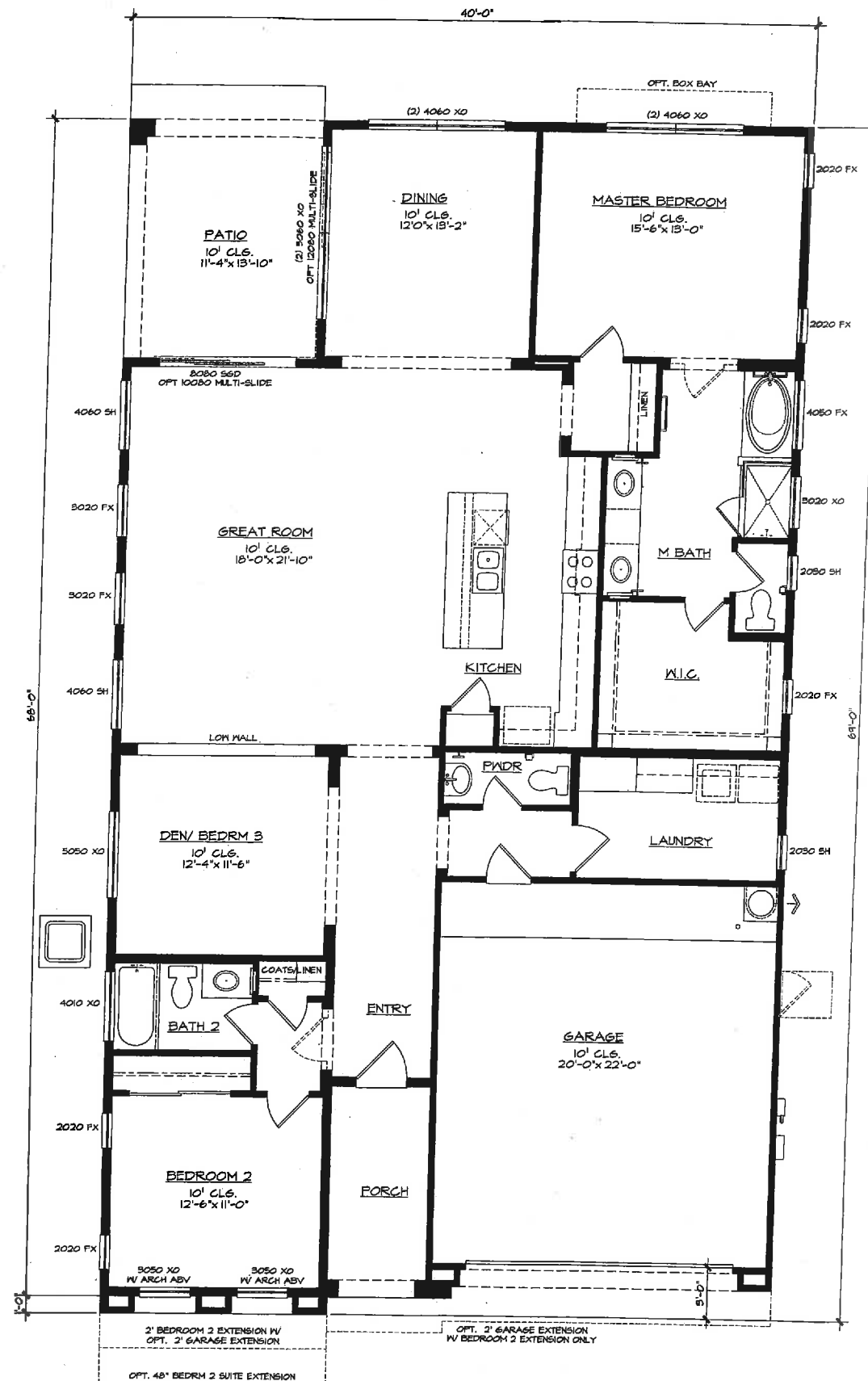
Design &
DKK
Planning



Opt. Multi-Slide Corner Door



Opt. Bedroom 3



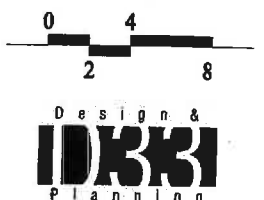
Opt. Walk-in Shower

Plan 3 Spanish Eclectic - 2,000 Sq. Ft.

New Vintage Series - 40'

Mesa, Arizona

BLANDFORD HOMES
3321 East Baseline Rd.
Gilbert, AZ 85234
Tel: (480) 892-4492



SANCTUARY AT LAS SENDAS
N. RED MOUNTAIN ROAD SOUTH OF EAGLE CREST ROAD
Citizen Participation Plan
July 22nd, 2016
Revised October 21st, 2016

Purpose: This citizen participation plan is designed to ensure that citizens, property owners, and neighborhood associations in the vicinity of the Sanctuary at Las Sendas, which is located on N. Red Mountain Road south of Eagle Crest Road in Las Sendas are informed of our application to Rezone the Parcel from RS-90 to RS-9-PAD and prepare a Preliminary Plat for the Parcel.

Contact: Paul Dugas
Desert Vista 100, LLC
3321 E. Baseline Road
Gilbert, AZ 85234
Ph: 480-892-4492
Fax: 480-892-5106
paul@blandfordhomes.com

Pre-Application Meeting: A pre-application meeting was held on 7/18/16 (PS16-057) with City of Mesa staff. Staff reviewed the Sanctuary at Las Sendas proposal and recommended that affected residents and nearby registered neighborhoods be contacted.

Action Plan: Members of the community affected by or interested in this application will be informed of the details of the request through a mailed invitation for an organized neighborhood meeting (Mailing list will be attached to the neighborhood meeting report.)

1. A contact list of citizens, neighborhood associations and agencies will be developed including:
 - Registered neighborhood associations within one mile of the project site
 - Registered homeowners associations within one half mile of the project site
 - Interested neighbors within 500 feet from the site.
2. A neighborhood meeting will be scheduled for interested neighborhood groups and citizens.
3. A Presentation will be made to these individuals and associations at the neighborhood meeting to keep them abreast of any developing changes in the plan.
4. All neighborhood contact materials, such as sign-in lists, comments, meeting notes and petitions will be copied to the City of Mesa.

Schedule:

Pre-Application Meeting:	July 18th, 2016
Neighborhood Meeting:	July 13th, 2016
Application Submittal:	July 25th, 2016
Second Submittal:	November 8th, 2016
Planning & Zoning Commission Hearing:	December 21st, 2016
Council Hearing:	January 2017

BLANDFORD HOMES

June 28th, 2016

Sanctuary at Las Sendas

INVITATION TO NEIGHBORHOOD MEETING

**RE: Property: Located on N. Red Mountain adjacent to Boulder Mountain Park
Las Sendas, 85207**

Dear Property Owner:

The purpose of this letter is to provide you information and invite you to an informational meeting to be held on **Wednesday July 13th, 2016 at 6:00 PM**, at the Trailhead Members Club located at 7900 E. Eaglecrest Drive, Mesa, AZ 85207.

This meeting will be held by Blandford Homes/ Pinnacle Ridge Holdings, LLC to discuss our proposed concept plans and proposed housing product for the Sanctuary at Las Sendas property. At this meeting we will present our Development Plans and allow you, the current residents in the area to comment and ask questions regarding the Plans.

Your input is very important to us. Your comments, suggestions, and/or concerns are taken into account as the Site Plans and Layouts develop.

Should you have any questions feel free to contact me at 480-892-4492.

If you have sold your property in the interim, please forward this correspondence to the new owners so that they can have an opportunity to review this proposal with us.

Sincerely,


Paul R. Dugas

Director of Land Development
Blandford Homes/ Pinnacle Ridge Holdings

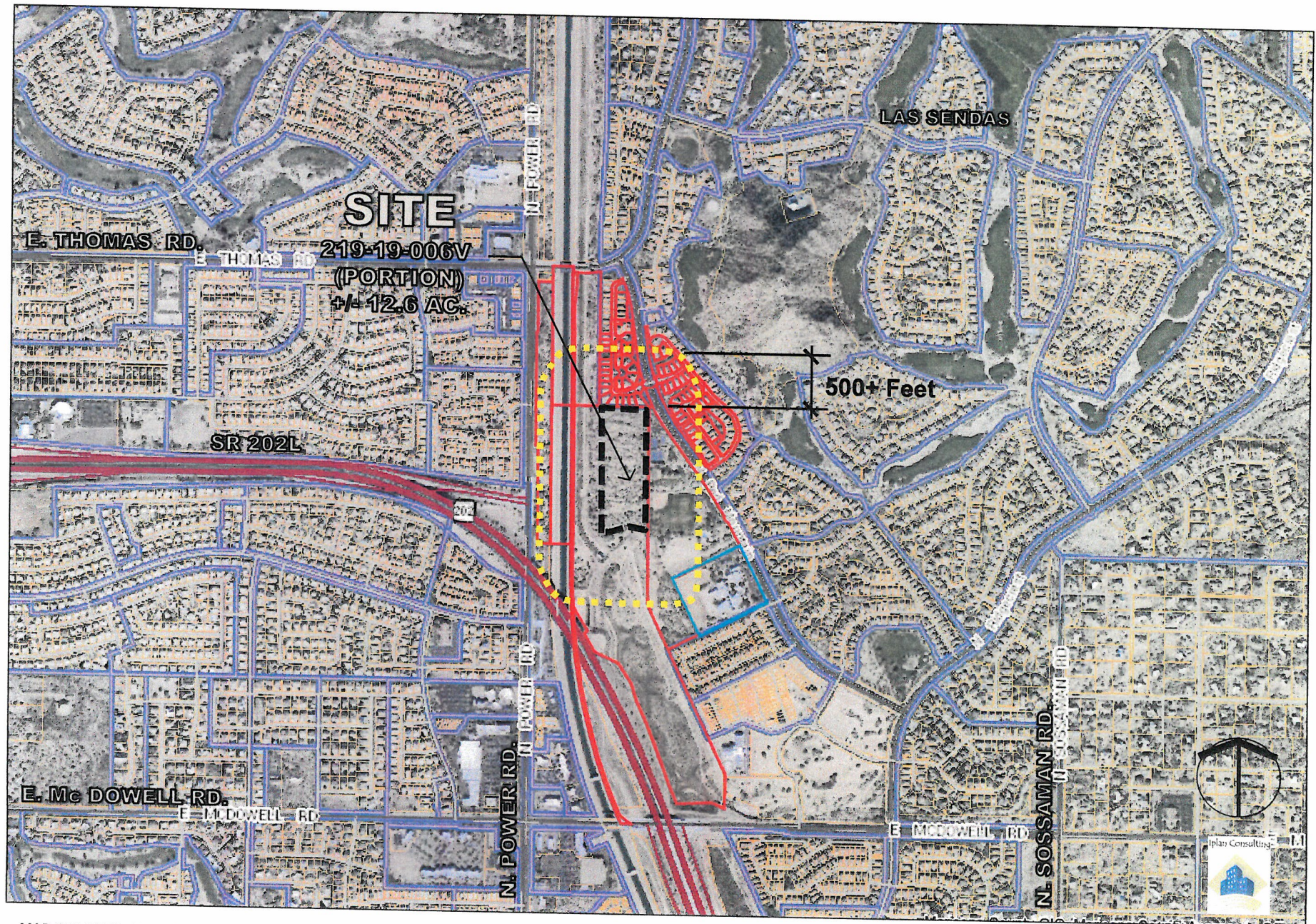




6/28/2016 11:51:27 AM

SANCTUARY AT LAS SENDAS

SANCTUARY AT LAS SENDAS | ADJACENT PROPERTIES WITHIN 500-FEET



SANCTUARY

At Las Sendas

NEIGHBORHOOD MEETING

(North Red Mountain Road at Boulder Mountain Park)

July 13th, 2016

NAME	ADDRESS	TELEPHONE
Bruce Rosenberg	Pinnacle Point	
Mae Pellegrini	Silver Hawk	
NICK & LINDA SAVATANO	SILVER HAWKE	
E. K. Trissale	Eagle Feather	
Barb Seperich	Desert Vista #136	
Carolyn Siver	3040 N Redpoint #200	
Norma Suger	Shadow Canyon	
JOHN ENGLUND	3646 N. DESERT OASIS	480-699-1567
ERIC CAROL	3342 N. Brighton	
ALITA MC COVE	3318 N BRIGITON	480 575 1174
J. McHoney	7030 E Russell	480-326-2416
ALICE PAES	7264 E. Tasmau St	480-659-9554
Deanna & Walt / pers	3862 N. Desert Oasis	480-2783-6500
Peter & Judy Allard	Mtn Village	
Brian & Sheri Snow	7130 E Saddleback St #41	
JEFF BRUGOS	4164 N. Diamond Pt	480-471-5917
Kelly Hopstaken		
Marilyn Veich	3055 N. Red Mtn #215	
Katherine Karpinsky	2703 N Staling Mesa AZ 85207	480 776 7972
Samuel Patried	3934 N. Stone Gully Cir.	854-9391
Linda Nislet	4928 E Sandra Cir Mesa 85207	480-641-1737

SANCTUARY AT LAS SENDAS

Neighborhood Meeting Summary

Wednesday, July 13th, 2016: 6:00 PM – 7:00 PM

Las Sendas Trailhead Members Club
7900 E Eaglecrest Drive, Mesa AZ 85207

Desert Vista 100, LLC Representatives:

Meeting Facilitator / Owner Representative: Paul Dugas, Desert Vista 100, LLC, Gilbert, AZ

Neighborhood Attendees:

Various Neighbors and Homeowners{See attached sign-in sheet(s)}

City of Mesa Representative:

None

Purpose:

Objective of neighborhood meeting was to inform Neighbors of the Sanctuary at Las Sendas Property and the re-zoning from RS-90 to RS-9-PAD. This neighborhood meeting was conducted with the adjacent property owners and Homeowners Associations (HOA), and is in compliance with the public participation provisions for the City of Mesa's Citizen Participation Program.

All question and comments are numbered and in italicized font, while responses to questions and comments of the meeting attendees are identified in a **red color typeface**.

Presentation Summary:

- Mr. Dugas indicated that the requested modifications can be summarized into the following components:

Re-Zoning of the 13 +/- acres Sanctuary at Las Sendas property located just west of the Las Sendas Boulder Mountain Park from RS-90 to RS-9-PAD to create a (50) lot subdivision. The Vintage Collection of Homes being developed for Parcel 1/3 in Mountain Bridge will be the product for Sanctuary at Las Sendas and will be annexed into the Las Sendas Community Association.

1) *Will Sanctuary have any of its own amenities?*

Response: No, just like all the other subdivisions in Las Sendas Sanctuary will be part of the Las Sendas Development Master Plan and will use all the common area amenities currently in Las Sendas.

2) *There is a wash running through the property, what will be done with that water?*

Response: The wash you are speaking about will remain in its location and box culverts will be placed at the two road crossings in the subdivision.

3) *What will the Homes be like at Sanctuary?*

Response: The homes will be our new Vintage Home Collection that we will also be building at Mountain Bridge. The homes will all be single story and have 1700, 1900 and 2000 square feet of living area and two stall 20'X 22' garages.

4) *What will the price ranges of these homes be at?*

Response: The prices can vary due to the market at the time we build the community. Most likely the base pricing will start in the mid \$300,000.00 range and then increase with the bigger homes and the options buyers chose to add to their homes.

5) *Where will the entry be to Sanctuary at Las Sendas?*

Response: The entry will be off of N Red Mountain Road at the north end of Boulder Mountain Park just north of the tennis court parking lot. There will be a median cut placed in N Red Mountain Road to access Sanctuary

6) *Will Sanctuary be a gated community?*

Response: Yes, Sanctuary will be gated and have private street like all the other Las Sendas communities, and the streets and common open space will be maintained by the Las Sendas Community Association.

7) *Will there be any buffers to the current residents on the south end of Stoneledge?*

Response: Yes, there will be 85' of landscaping, then a 35' private roadway. When you add a 15' to the livable part of a home you have a total buffer from those homeowners rear wall to the front of the nearest new home of 135'.

8) *Will we still have access to the trail on the south side of Stoneledge and west side of Boulder Park?*

Response: Yes, both of those trails will remain and the one on the south side of Stoneledge will end up in the 85' buffer we spoke about earlier.

9) *When will you start construction and have models built?*

Response: This Community is not on the immediate horizon to be built. I would anticipate a start of development to be no earlier than the end of 2017 or the beginning of 2018.

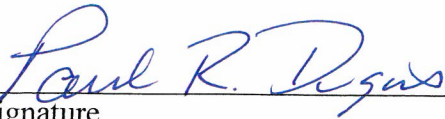
10) *We are all very grateful that Blandford Homes was the successful bidder on this parcel at the Maricopa Flood Control Auction. We look forward to its construction and the possibility of moving down from our larger Blandford home into another quality Blandford home and be able to stay in Las Sendas!*

Response: Thank You!

With no further questions or comments, the meeting concluded at approximately 7:00 p.m.

END

I HEREBY VERIFY THAT THE NEIGHBORHOOD MEETING SUMMARY ABOVE IS AN ACCURATE DEPICTION OF THE MEETING PROCEEDINGS.


Signature

10/21/16
Date

Paul R Dugas
Desert Vista 100, LLC

Name (printed)

10/21/16
Date

SANCTUARY AT LAS SENDAS | MESA | ARIZONA
Adjacent Property Owners | Homeowners Associations
Notification List

**Property owners within 500-feet adjacent to property boundaries; and,
Homeowners Associations within 1.0-miles of project boundaries.**

Adjacent Property Owners / 500-feet:

APN: 219-19-753
AKINWALE, PHILLIP C/PHYLLIS U
3402 N SONORAN HILLS
MESA, AZ 85207

APN: 219-19-752
NANDA, VISHAL/GAYATRI
6939 E ROLAND ST
MESA, AZ 85207

APN: 219-19-751
WHITE, KENT A/JOANNE M
15850 DAWN DR
MINNETONKA, MI 55345

APN: 219-19-750
LE, NGA/RACHEL C
6951 E ROLAND ST
MESA, AZ 85207

APN: 219-19-749
ARNOLDUSSEN, CLARENCE/JOHANNA
6957 E ROLAND
MESA, AZ 85207

APN: 219-19-788
PRESTON, TERRANCE R/AIMEE J TR
952 CUTTER LN
PARK CITY, UT 84098

APNs: 219-19-001P, 219-19-002E,
USA-BOR
23636 N 7TH ST
PHOENIX, AZ 85024

APNs: 219-19-001R, 219-19-006V,
FLOOD CONTROL DISTRICT OF
MARICOPA COUNTY
2801 W DURANGO ST
PHOENIX, AZ 85009

APN: 219-19-006G
U S A /C A P SG-1-179/
201 N CENTRAL AVE STE 2100
PHOENIX, AZ 85073

APNs: 219-19-006U, 219-19-656C, 219-19-
732, 219-19-733, 219-19-734, 219-19-736, 219-
19-738, 219-19-790, 219-19-791, 219-19-792,
219-19-794,
LAS SENDAS COMMUNITY ASSOCIATION
9000 E PIMA CTR PKWY 300
SCOTTSDALE, AZ 85258

APN: 219-19-708
DUNCAN, JOHN P/TAMARA S
3454 N BOULDER CANYON CIR
MESA, AZ 85207

APN: 219-19-789
FREEMAN, MARK W/RACHEL A
2717 E LEHI RD
MESA, AZ 85213

APN: 219-19-660
MIDDIONE, ANDREW J/LORI E
3327 KIMBERLY WAY
SAN MATEO, CA 94403

APN: 219-19-661
TASSART, JEFFREY/MARY
1804 GINGOTEAGUE WY
PEKIN, IL 61554-6392

APN: 219-19-662
GOHL, JAMES R/SUGHROUE-GOHL
CONNIE S
37475 ROAD 716
CULBERTSON, NE 69024

APN: 219-19-787
COATS, MARK/CAROL
3423 N SONORAN HILLS
MESA, AZ 85207

APN: 219-19-664
DREYER, LACEY M
7031 E ROLAND ST
MESA, AZ 85207

APN: 219-19-665
WHITLOCK, LINDA A TR
7044 E REGINA ST
MESA, AZ 85207

APN: 219-19-666
REGINA MANAGEMENT LLC
3517 E MENLO CIR
MESA, AZ 85213

APN: 219-19-667
DARRELYN J SCANLON
REVOCABLE TRUST
7032 E REGINA ST
MESA, AZ 85207

APN: 219-19-668
CAMPBELL, STEPHEN A/LORI
122 WILLOW LN
WARRINGTON, PA 18976

APN: 219-19-669
{No associated address or ownership
available.}

APN: 219-19-670
HAMANN, RONALD D/JASON E
3358 N BRIGHTON
MESA, AZ 85207

APN: 219-19-671
ROST, SHAWN/SUSAN AZARSKI
3354 N BRIGHTON ST
MESA, AZ 85207

APN: 219-19-672
MURDOCK, KEVIN N/HUANG JIRAVANN
3350 N BIRGHTON ST
MESA, AZ 85207

APN: 219-19-673
CAROL, ERIC J/MICHELLE M
3342 N BRIGHTON ST
MESA, AZ 85207

June 27, 2016

APN: 219-19-674
YUAN, HAIDAN
3338 N BRIGHTON
MESA, AZ 85207

APN: 219-19-675
RIDDLE, CURTIS/CHRISTINE
3334 N BRIGHTON NO 16
MESA, AZ 85207

APN: 219-19-710
DORIS J HARRIS REVOCABLE TRUST
7008 E ROLAND ST
MESA, AZ 85207

APN: 219-19-711
MCDONALD, DENNIS
7020 E ROLAND ST
MESA, AZ 85207

APN: 219-19-786
MCCORMICK, COREY/TESHA
3427 N SONORAN HILLS
MESA, AZ 85207

APN: 219-19-731
CHARTIER, CARL D/HUGHES TAMI L
3341 N BRIGHTON ST
MESA, AZ 85207

APN: 219-19-712
FOSSEN, LIANE
7026 E ROLAND ST
MESA, AZ 85207

APN: 219-19-713
STUMBAUGH, SCOTT/STEPHANIE
3802 WEST SAWTOOTH CIRCLE
MESA, AZ 85215

APN: 219-19-714
ABBIW, JACKSON ADAH
7025 E REGINA ST
MESA, AZ 85207

APN: 219-19-715
BRICKER, CARLA M
7031 E REGINA ST
MESA, AZ 85207

APN: 219-19-716
DORAME, GENARO C/VERA O TR/ETAL
7037 E REGINA ST NO 57
MESA, AZ 85207

APN: 219-19-757
RYAN E AND KRISTIN H TRUST
3426 N SONORAN HILLS
MESA, AZ 85207

APN: 219-19-758
KURAHARA, JON E/JENKINS KIMBERLEE
J
PO BOX 12
TUMALATIN, OR 97062

APN: 219-19-761
DICKINSON, JOHN SAMUEL/LEESMAN
SARAH A
3456 N SONORAN HILLS DR
MESA, AZ 85207

APN: 219-19-754
CORGAN, DAVID N
3408 N SONORAN HILLS
MESA, AZ 85207

APN: 219-19-759
TOSCANO, RIVERA JOSE/BRIONES
ROSINNA
3438 N SONORAN HILLS
MESA, AZ 85207

APN: 219-19-756
COLBURN, KEN P/ANITA J
6936 E SADDLEBACK CIR
MESA, AZ 85207

APN: 219-19-781
HUGHES, STANLEY ALAN/TIFFANY
SUSANNE
6965 E RED HAWK CIR
MESA, AZ 85207

APN: 219-19-782
CAROLYN SUE PATTERSON TRUST
6959 E RED HAWK CIR
MESA, AZ 85207

APN: 219-19-783
JACKSON REVOCABLE TRUST
2941 N POWER RD NO 104
MESA, AZ 85207

APN: 219-19-760
OHARE, MARY PATRICIA TR
1726 BURGANDY PL
SANTA ROSA, CA 95403

APN: 219-19-784
GALANTE, JOSEPH D/CLAIR E
2733 N POWER RD NO 102 PNB 291
MESA, AZ 85215

APN: 219-19-762
BELT, DENNIS V/JOAN M
4896 NW KYLE CT
SILVERDALE, WA 98383

APN: 219-19-785
CRISTA, ROBERT L/CHRISTINA
6302 E QUARTZ ST
MESA, AZ 85215

APN: 219-19-755
LAIRD, GERALD A/BRENDA E
54 GREENFIELD CRESCENT
FOR SATCHEWAN, AB T8L 4P8
CANADA

APN: 219-19-663
O'DOW,
RICHARD/MARYANNE/RODNEY/BARBAR
A
3121 SASKATCHEWAN DR
REGINA, SK S4T 1H6
CANADA

APN: 219-19-748
LUTIC, LLOYD
602 10035 SASKATCHEWAN DR
EDMONTON, AB T6E 4R4
CANADA

APN: 219-19-709
OHE, W MARK/ROXANNE G
180 QUESNELL CRESCENT
EDMONTON, AB T5R 5P3
CANADA

APN: 219-19-006Q
MESA UNIFIED SCHOOL
DISTRICT NO 4
549 N STAPLEY DR
MESA, AZ 85203

Homeowners Associations / 1.0-Mile:

LAS SENDAS COMMUNITY ASSOCIATION
9000 E PIMA CTR PKWY 300
SCOTTSDALE, AZ 85258

MOUNTAIN VIEW HOMEOWNERS ASSOC
OF MESA
2824 N POWE RD #113-122
MESA, AZ 85215

RED MOUNTAIN MANOR HOMEOWNERS
ASSOCIATION INC
PO BOX 17237
FOUNTAIN HILLS, AZ 85268

CAMELOT PROPERTY OWNERS
ASSN INC
150 E ALAMO DR STE 3
CHANDLER, AZ 85225

VILLAS AT RED MOUNTAIN
HOMEOWNERS ASSOC THE
7255 E HAMPTON AVE STE 101
MESA, AZ 85209

VISTA VILLA TOWNHOMES
HOMEOWNERS ASS INC
PO BOX 14479
MESA, AZ 85216

RED MOUNTAIN RANCH OWNERS
ASSOCIATION
4710 E FALCON DR STE 205
MESA, AZ 85215

CORTA BELLA HOMEOWNERS
ASSOC
PO BOX 25466
TEMPE, AZ 85285

CAMELOT PROPERTY OWNERS ASSOC
INC
P O BOX 21688
MESA, AZ 85277-1688

VILLA ROYALE II
PO BOX 14767
SCOTTSDALE, AZ 85267-4767

WINTER HAVEN HOMEOWNERS
ASSOCIATION
2516 N 3RD ST
PHOENIX, AZ 85004

PARCEL D OF DESERT CREEK AT
LAS SENDAS PARCEL
890 W ELLIOT RD SUITE 101
GILBERT, AZ 85233

SPOOK HILL NEIGHBORHOOD ACTION
ASSOC.
C/O: WILLIAM PUFFER
8330 E. THOMAS RD.
MESA AZ 85207

OTHER INTERESTED PARTIES:

CITY OF MESA PLANNING DEPARTMENT
ATTN: JOHN WESLEY, AICP, DIRECTOR
PO BOX 1466
MESA, AZ 85211 USA

I HEREBY VERIFY THAT THE NAME LIST ABOVE WAS OBTAINED ON THE
27th DAY OF JUNE 2016, FROM THE MARICOPA COUNTY ASSESSOR'S WEB
SITE. THE LIST IS ACCURATE AND COMPLETE TO THE BEST OF MY
KNOWLEDGE.

Mario
Mangiamele

Digitally signed by Mario Mangiamele
DN: cn=Mario Mangiamele, o, ou,
email=lplanMM@cox.net, c=US
Date: 2016.06.27 19:32:58 -07'00'

Signature

Date

Mario Mangiamele, AICP

06-27-2016

Name (printed)

Date

June 27, 2016

Sanctuary at Las Sendas
Adjacent Property Owner List – HOAs
Page 4 of 4