

SKY VIEW

PLANNED AREA DEVELOPMENT

POWER ROAD AND UNIVERSITY DRIVE - MESA, ARIZONA



September 14, 2016

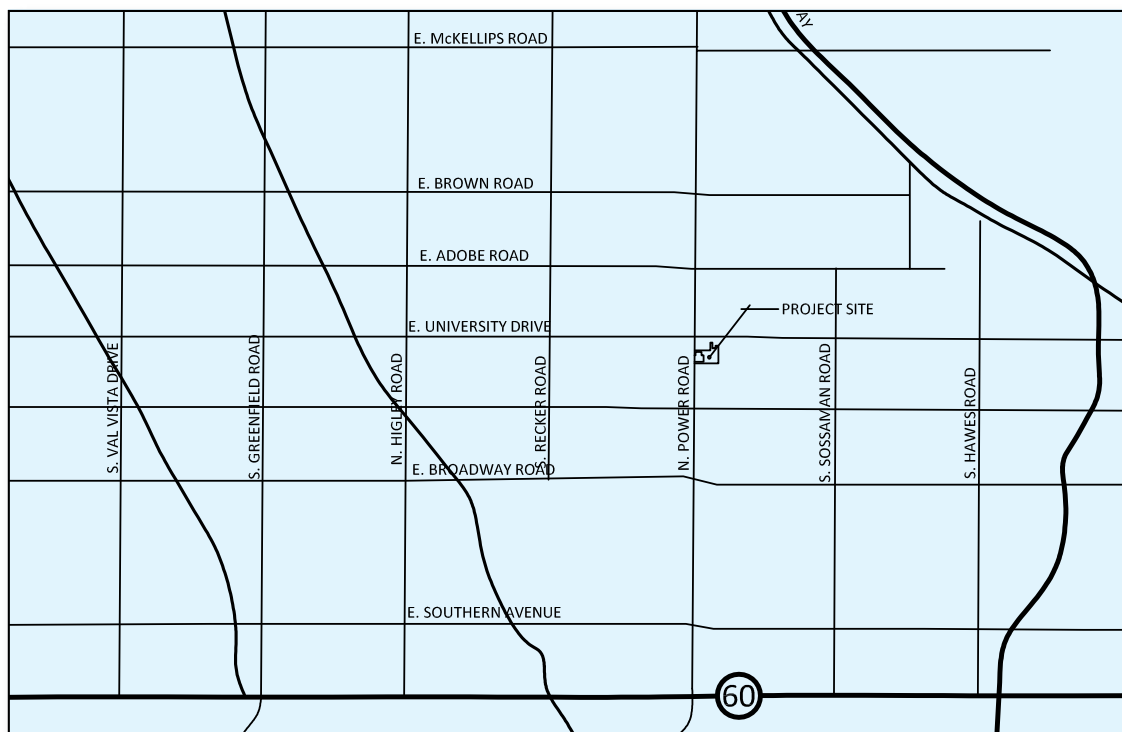
INTRODUCTION



The Skyview planned neighborhood is a proposed single family detached neighborhood consisting of 83 traditional cottage style residential homes. The approximately 12.7 acre site is located on the southeast corner of Power Road and University Drive. The site is adjacent to an existing manufactured housing development on the east and south borders. Vacant parcels and isolated commercial uses are located along Power Road and University Drive to the west and to the north.

A QuickTrip service station is located at the corner parcel. A pet hospital and a car wash is located along Power Road, leaving two narrow parcels that provide access to the proposed Skyview neighborhood. A single developed parcel that has been a restaurant and a church in recent years is located along University Drive. There is a large vacant area of land to the north between the Skyview property and University Drive where the roadway alignment transitions slightly to meet the intersection at Power Road.

The proposed residential development of Skyview will be compatible with the surrounding residential land uses and will provide a logical transition development in the area.



VICINITY MAP

SITE MAP



DEVELOPMENT CONCEPT

The development concept for Skyview, as shown on the Conceptual Site Plan on the following page, is to create a planned neighborhood by developing a variety of architectural expressions along tree lined private streets. The site plan proposes 83 single family homes.

The homes are a traditional design with front entries and porches facing the street and garage doors oriented onto rear, private lanes. All of the homes utilize use and benefit easements to provide more usable private yard areas.

The primary access to Skyview neighborhood is via a public un-gated entry road from Power Road. This primary entry access road leads directly past the main neighborhood recreation area and forms the northern leg of an interior local grid loop public road system.

Thematic entry monumentation at the primary entry along Power road will include signage and landscaping that reflect the character of the overall neighborhood.

GENERAL PLAN AND CURRENT ZONING

The General Plan designation for the project site is Community Commercial.

The current zoning is C-2. The proposed zoning for the Skyview development is RSL-2.5. The proposed density for the site is 6.6 du/ac. The proposed RSL-2.5 zone is consistent with the adjacent, non-residential uses and provides a compatible infill development next to the manufactured residential uses to the south and east.



NEIGHBORHOOD DESIGN

The neighborhood design proposes homes that are oriented onto pedestrian friendly public or private streets and landscaped greenbelt areas. A central greenbelt spine with a formalized walkway runs north and south within the central portion of the site, connecting homes to the main recreation area at the northern end of the greenbelt and to the pocket park at the southern end. An intimate gathering courtyard is sited at the midpoint of the greenbelt spine. A smaller walkway paseo extends east and west from the central gathering courtyard providing connectivity to neighborhood sidewalks and other passive open space areas within Skyview.

The circulation system for the neighborhood is defined by a primary public loop street and a north-south private street that extends into one of two narrow strips of land along the north end of the site. The proposed street cross section will be consistent with City of Mesa standards and includes a 34 foot paved width to allow for parking on both sides of the street. Detached sidewalks and landscaped parkways are proposed on both sides of the public street and on one side of the private street which is single-loaded. An emergency access drive is proposed along University Drive at the northeastern corner of the site. The emergency access drive will utilize an existing driveway access and the paved section will be 20 feet wide, consistent with fire department standards.

The intersection of the private roadway and alley ways and the public loop street will be designed to be consistent with City of Mesa Design Detail M-42. Only emergency access to the project is proposed along University Drive. No access to land uses along University will be restricted by the proposed project; however, the driveway approach from University to the restaurant/church parcel will be utilized for the emergency access.

The open space system for Skyview integrates safe and visible open space and recreation areas into the design of the neighborhood. The primary amenity is a recreation center with a common pool containing a sundeck area, a shade ramada and space for gathering and picnicking. It's surrounded by an open, landscaped play area with accent plantings and shade trees.

Walkways inside the loop connect to the central courtyard on the north and south end. This is scaled as a central meeting place and is designed to contain shaded seating around a focal point element. Additional passive open space areas include pedestrian greenbelts, landscaped retention basins and seating areas. The homes and amenities are connected with a network of inviting, tree-lined paths, walkways, and parkways. Collectively, these features provide passive and active recreational opportunities for future residents. A homeowner's association will own and maintain the recreational facilities within the neighborhood. An informal pedestrian connection with concrete stepping stones will be provided to allow easy access to the existing Quick Trip facility on Power Road.

The building setbacks and other development standards proposed for the Skyview planned neighborhood are generally consistent with the City of Mesa zoning ordinance for RSL-2.5. Proposed setback standards, which are depicted on the Concept Plan and on the following page, demonstrate how the proposed setbacks and use easements optimize usable private yard areas and minimize the visual impact of the street-facing garages. A Development Table on page 8 shows the standards for RSL-2.5 and the proposed standards (RSL-2.5 PAD) for Skyview.

CONCEPTUAL SITE MAP



STATISTICAL SUMMARY

CURRENT GENERAL PLAN:	COMMUNITY COMMERCIAL
PROPOSED GENERAL PLAN:	MEDIUM RESIDENTIAL

CURRENT ZONING:	C-2
PROPOSED ZONING:	RSL-2.5 (12 DU/AC MAXIMUM)

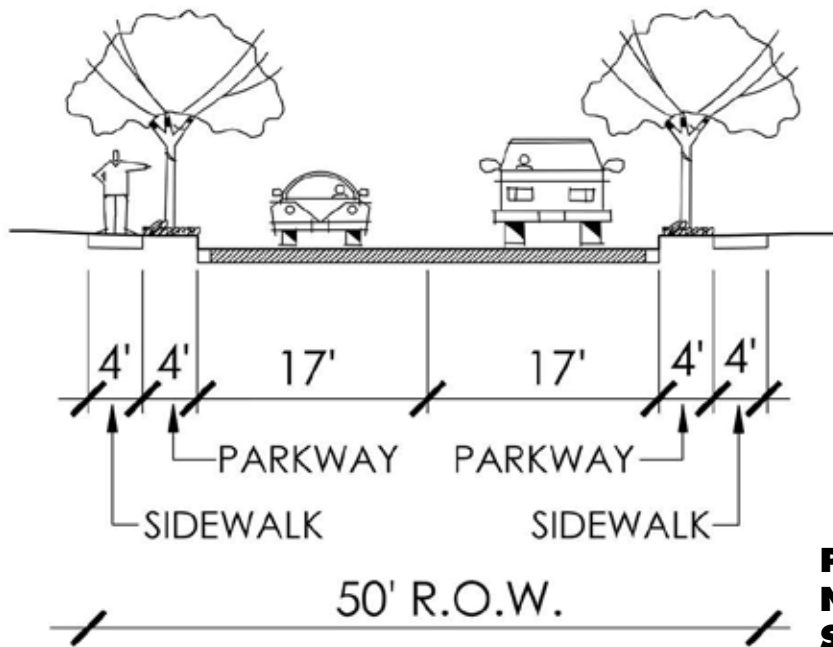
SITE AREA:	12.71 ACRES (NET)
TOTAL UNITS:	83 LOTS
NET DENSITY:	6.53 DU/AC
TYPICAL LOT SIZE:	37'-6" x 77'-0"
CORNER LOTS:	42'-6" x 77'-0"

PROPOSED SETBACKS:	
FRONT:	8 FEET (TO BACK OF SIDEWALK)
SIDE:	5 FEET TO PROPERTY LINE*
CORNER STREET SIDE:	10 FEET (TO BACK OF SIDEWALK)
REAR:	4 FEET (TO EDGE OF 20' ALLEY)

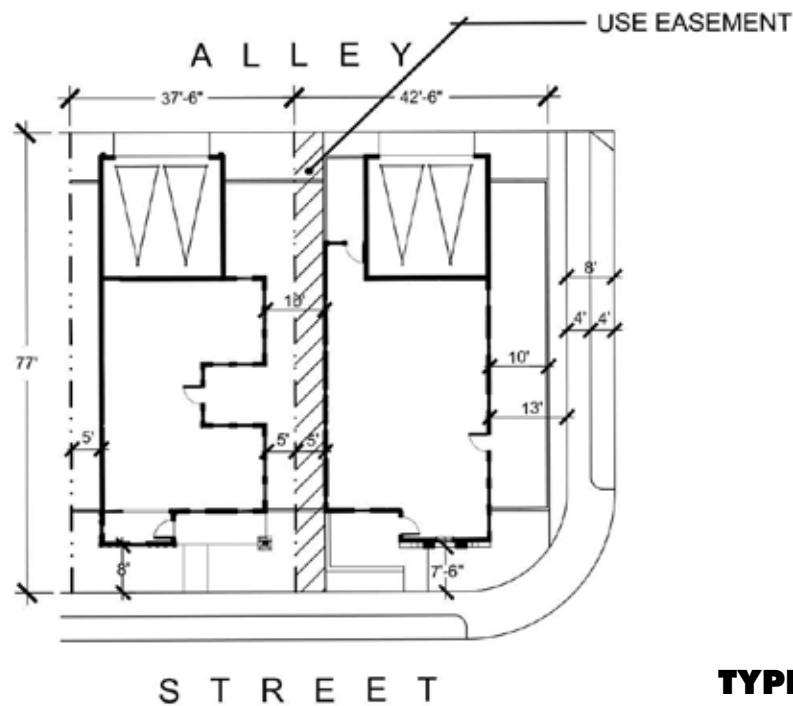
**(USE EASEMENT ALLOWS FOR MINIMUM 10' SIDEYARD)*

PROPOSED PARKING:	
2 GARAGE SPACES PER DWELLING	
0.5 GUEST SPACES PER DWELLING (ON STREET)	

DEVELOPMENT STANDARD DETAILS



**PUBLIC
NEIGHBORHOOD
STREET SECTION**



**TYPICAL
PLOTING**

DEVELOPMENT STANDARDS

The proposed development standards for Skyview generally meet or exceed the setback and requirements for Residential Small Lot Development (RSL – 2.5). The Development Table on page 9 provides a comparison of the City of Mesa standards and the proposed standards for Skyview. Some additional standards are included in the Table to allow flexibility in the architectural design to accommodate changes in the market, building codes and new construction techniques/materials. The proposed architectural plans in this Narrative do not reflect several of these additional standards such as tandem parking or three story homes.

A small deviation from the RSL- 2.5 standards is the front setback to the building wall or living area. The proposed homes at Skyview include front elevations with varied building wall setbacks and many elevations include covered front porches and single story roof lines. The homes are oriented so that fronts of homes face onto neighborhood streets that provide an additional four foot (4') landscaped parkway between the curb and the front of each house or they face onto landscaped open space greenbelts.

The plan for Skyview meet the required design elements for small lot subdivisions with an average minimum lot size between 2,500 and 3,000 sq. ft. Skyview meets all four of the Streetscape Elements. All private and public neighborhood streets include a minimum parkway area per Standard 2.a.i and “neck down” curb designs are proposed on the public street connections at the north and south end of the central greenbelt with enhanced decorative pavers at the cross walks per Standard 2.a.ii and iv. Open space amenities exceed the required open space by more than 30% per Standard 2.a.iii.

The proposed site plan meets one of the Site Design Elements, 2.b.1, as 100% of the proposed garages face onto a private alley. Additional parking is provided along the street and additional parking spaces including ADA parking is provided near the main recreation/open space area. Overall the parking within the site substantially exceeds the City parking requirements.

The architectural design also meets the Building Design Elements for Standard 2.C.iv, which requires 7 different elevations for an 83 lot subdivision. Skyview proposes 13 different elevations reflection three distinct architectural styles. Since the plan proposes cottage style homes with garages facing the alley, Standards 2.c.i and ii are not applicable and although all of the homes in Skyview propose front porches they do not meet the technical requirement of 50% of the front elevations. The front elevations of the homes, nonetheless, reflect a front porch dominant street character as demonstrated by the street scene concepts shown on pages 32 and 33 of this Narrative.

DEVELOPMENT STANDARDS



Table 11-5-4 B: Development Standards - RSL Residential Small Lot Single Dwelling Districts			
<i>Standard</i>	<i>RSL-2.5</i>	<i>Proposed RSL-2.5 (PAD)</i>	<i>Additional Standards</i>
Lot Standards			
Minimum Average Lot Area of Subdivision (sq ft)	2500	2849	
Minimum Individual Lot Area (sq ft)	2000	2500	Tandem' parking may be allowed. See Table 11-32-3 (A)
Minimum Lot Width - Interior Lot (ft)	25	37	
Minimum Lot Width - Corner Lot (ft)	30	42	
Minimum Lot Depth (ft)	75	75	
Building Form and Location			
Maximum Height (ft)	30	30	
Maximum Number of Stories	2	2	A third story may be permitted if meets specific standards. See 11-5-4 (B) (1)
Minimum Yards (ft)			
Front - Building Wall	12	8	
Front - Garage	20	N/A	
Front - Porch	7	7	
Street Side	10	10	
Interior Side: Minimum each side	3	4	See 11-5-4 (B) (2) See 11-5-4 (B) (3)
Interior Side: Minimum aggregate of 2 sides	8	8	See 11-5-4 (B) (2)
Rear	15	15	
Rear of Side - Garage, Accessed Alley or Common Drive Shared by 3 or More Lots; Measured to Construction Centerline of Alley or Drive	13'	13	Rear Garage access required to all homes.
Minimum Useable Open Space (sq ft) per unit	400	400	See 11-5-4 (B) (4)

ARCHITECTURAL DESIGN

Skyview proposes five different floor plan designs to attract the wide variety of demographics that currently live in Mesa and the surrounding areas. Plan sizes range from a 1,210 square foot single story home to a two story 2,300 square foot design. All homes include an attached two car direct access garage.

PLAN ONE

is a 1,210 square foot, two bedroom, two bathroom, single story home. The plan design will attract junior executives, young families and retired couples and singles. The entry leads directly into an open living, dining and kitchen area. The Master bedroom has a walk-in closet and is oriented onto a private patio and separated from the second bedroom by a master bath and secondary bathroom. The secondary bedroom can also serve as an office, guest room, or bedroom.

PLAN ONE-X

is 2,020 square foot, two-story home with three bedrooms, a loft, and three full baths. The target market includes growing and extended families and active adult buyers. The design is a modification to the Plan 1 with the Master bedroom located downstairs with private access to an enclosed patio. A large staircase with a tech space replaces the second downstairs bedroom in the Plan 1 to provide access to two upstairs bedrooms and an open loft. Bedroom 2 includes a private vanity area with a dividing door adjacent to the common upstairs bathroom. This family home allows room to grow as the loft can also be converted into a fourth bedroom.

PLAN TWO

is a 1,735 square foot, two story, three bedroom, two and a half bathroom home designed to meet the needs of young couples and families. A large open living area is located at the entrance with the dining/family area

and kitchen placed at the other end of the open plan. All bedrooms are upstairs accessible from a common alcove area. The Master bedroom has a large, walk-in closet and a balcony overlooking the private yard.

PLAN THREE

is a large, 2,240 foot, four bedroom, three bathroom home with an open plan also designed for young couples, families and extended families. The plan is an open layout with a great room and spacious kitchen and adjoining dining. This design has incorporated a Junior Master Bedroom downstairs with a private bathroom. The three upstairs bedrooms open onto common loft/study area. The loft and Master bedroom open onto a balcony overlooking the yard area.

The Master bedroom includes a walk-in closet. Bedrooms 3 and 4 share the second bathroom.

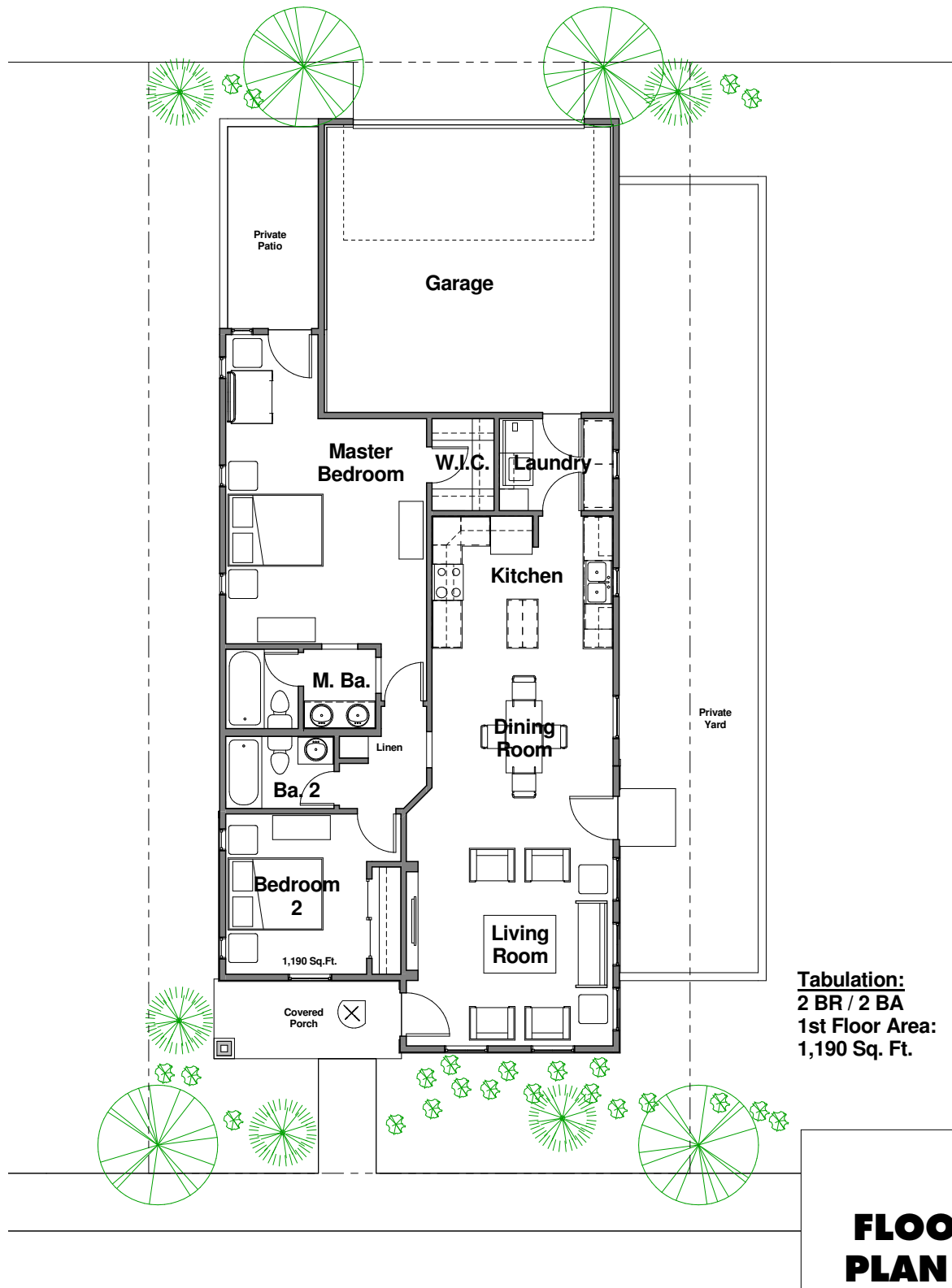
PLAN FOUR

is a 2,300 square foot home with three bedrooms and 2½ bathrooms. This home design will attract a variety of buyers including executives, growing families and mature and extended families. A covered entry opens to a formal living room oriented onto a large private outdoor courtyard. The dining/family areas are also situated towards the outdoor courtyard. An open kitchen provides space for a central long work island.

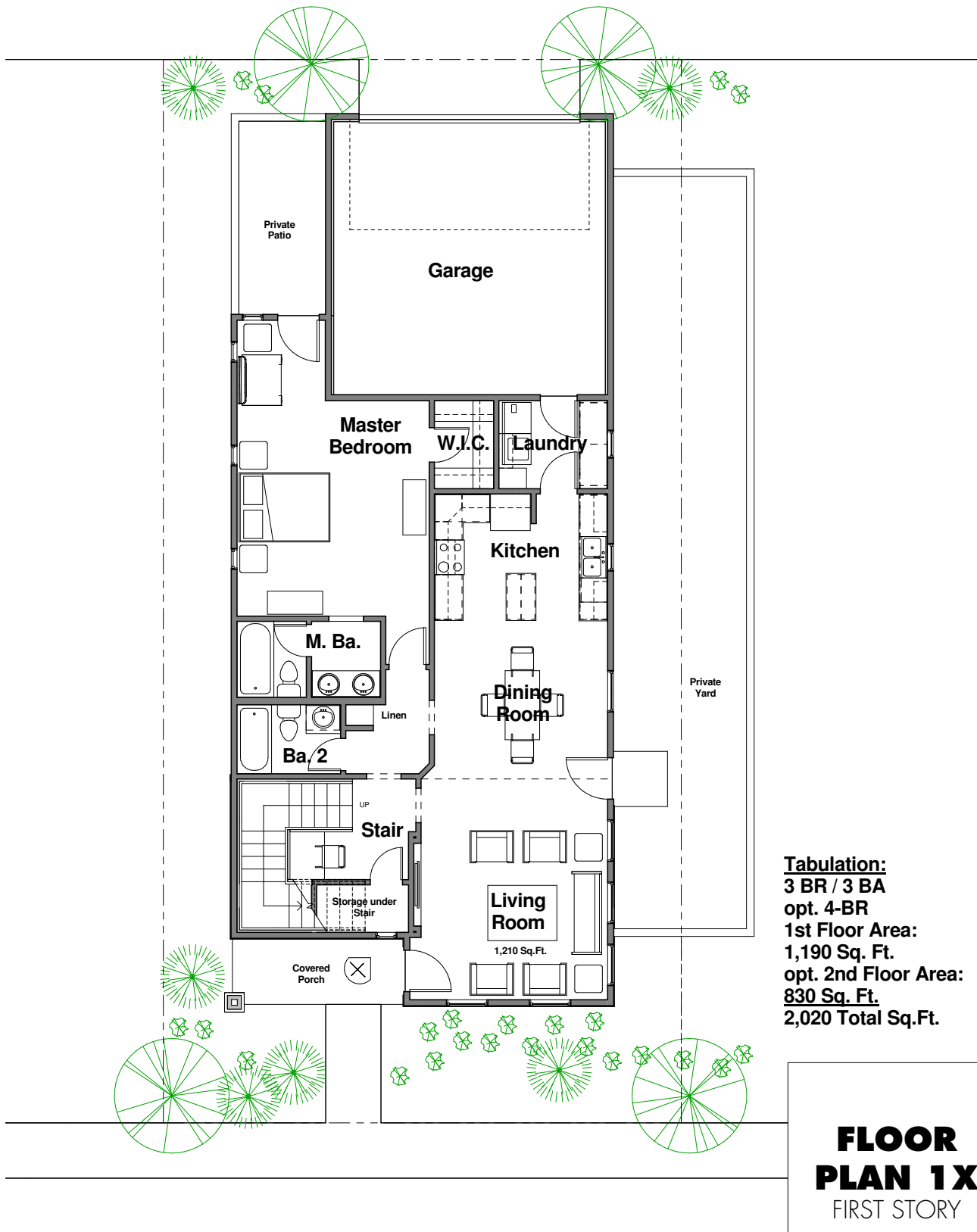
All bedrooms are located upstairs along with a large sunlit study loft. The Master bedroom has a walk in closet and a private balcony area overlooking the yard and the option for a second, larger deck over the garage.

Bedrooms 2 and 3 share the second bathroom. The design themes for Skyview are distinctive new expressions of period architectural styles and include Craftsman, Spanish and Traditional elevations.

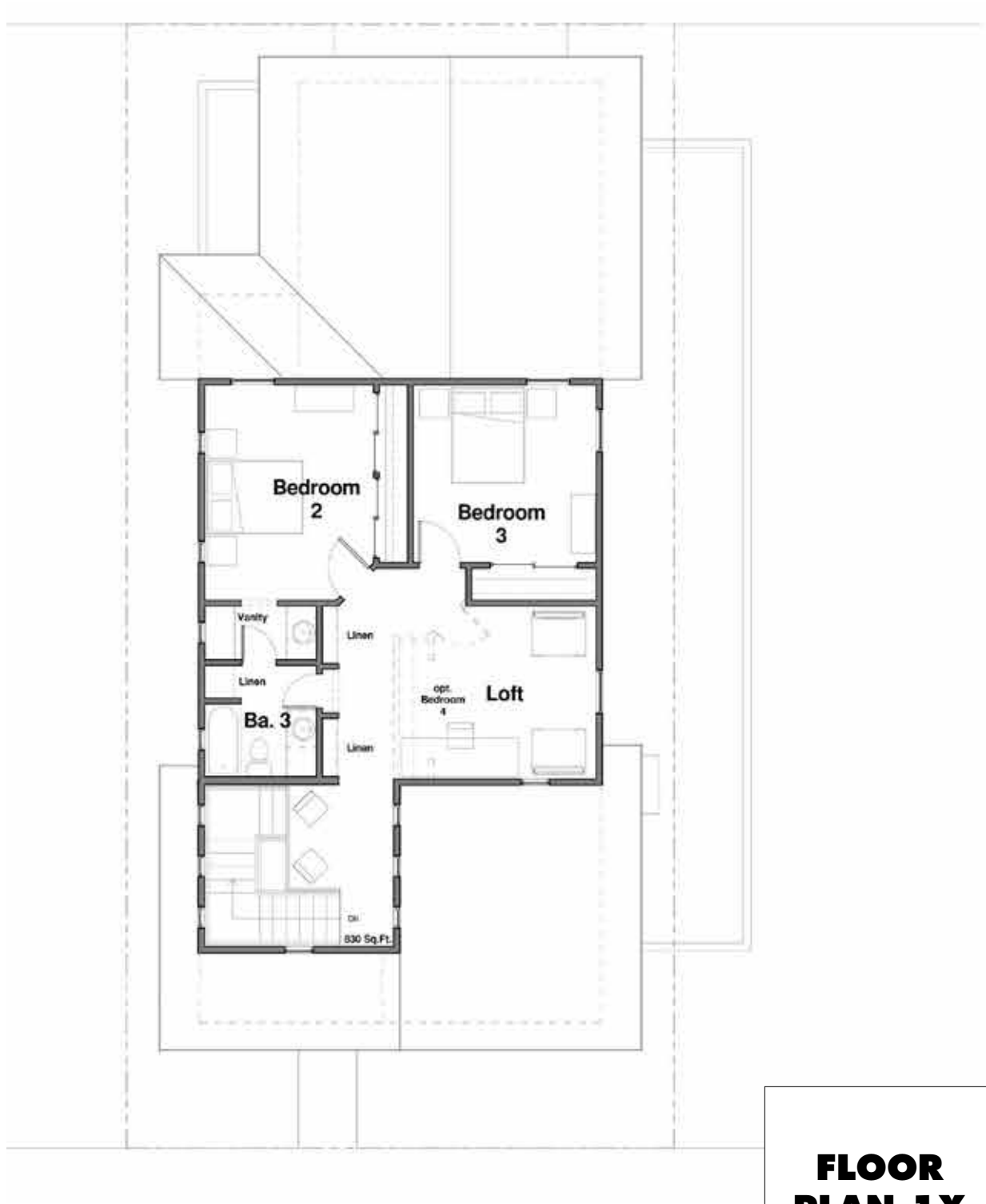
FLOOR PLAN



FLOOR PLAN

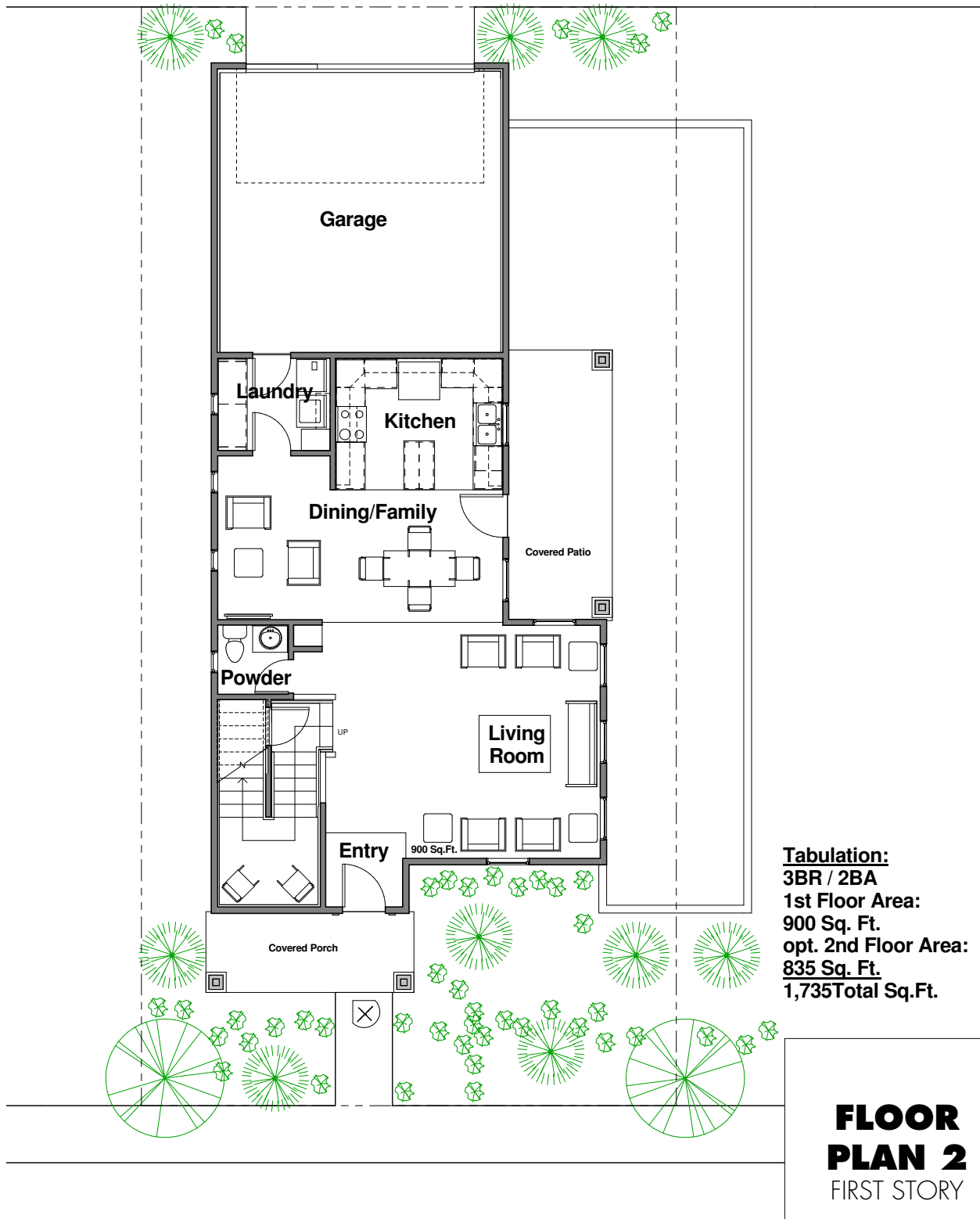


FLOOR PLAN



**FLOOR
PLAN 1X**
SECOND STORY

FLOOR PLAN

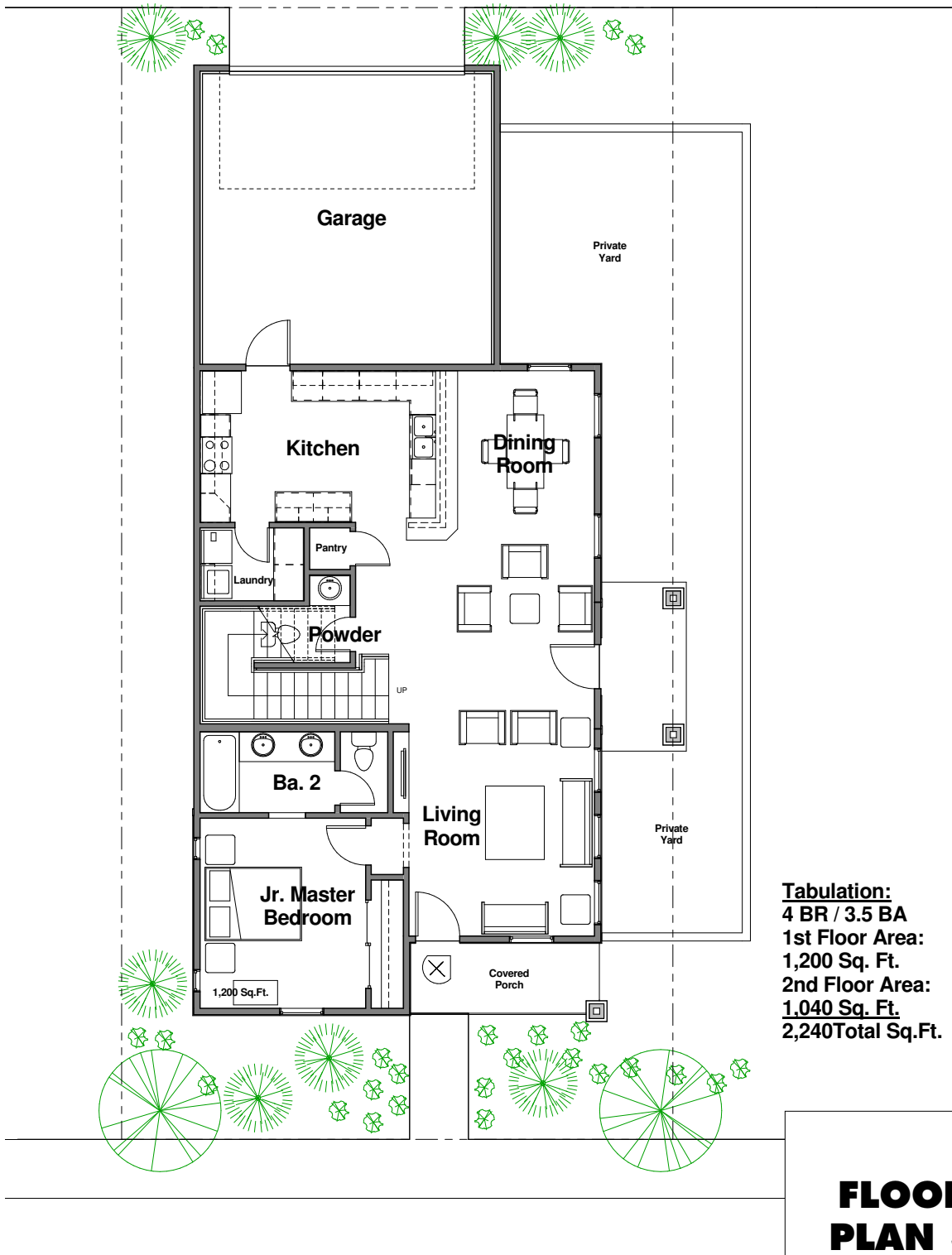


FLOOR PLAN



**FLOOR
PLAN 2**
SECOND STORY

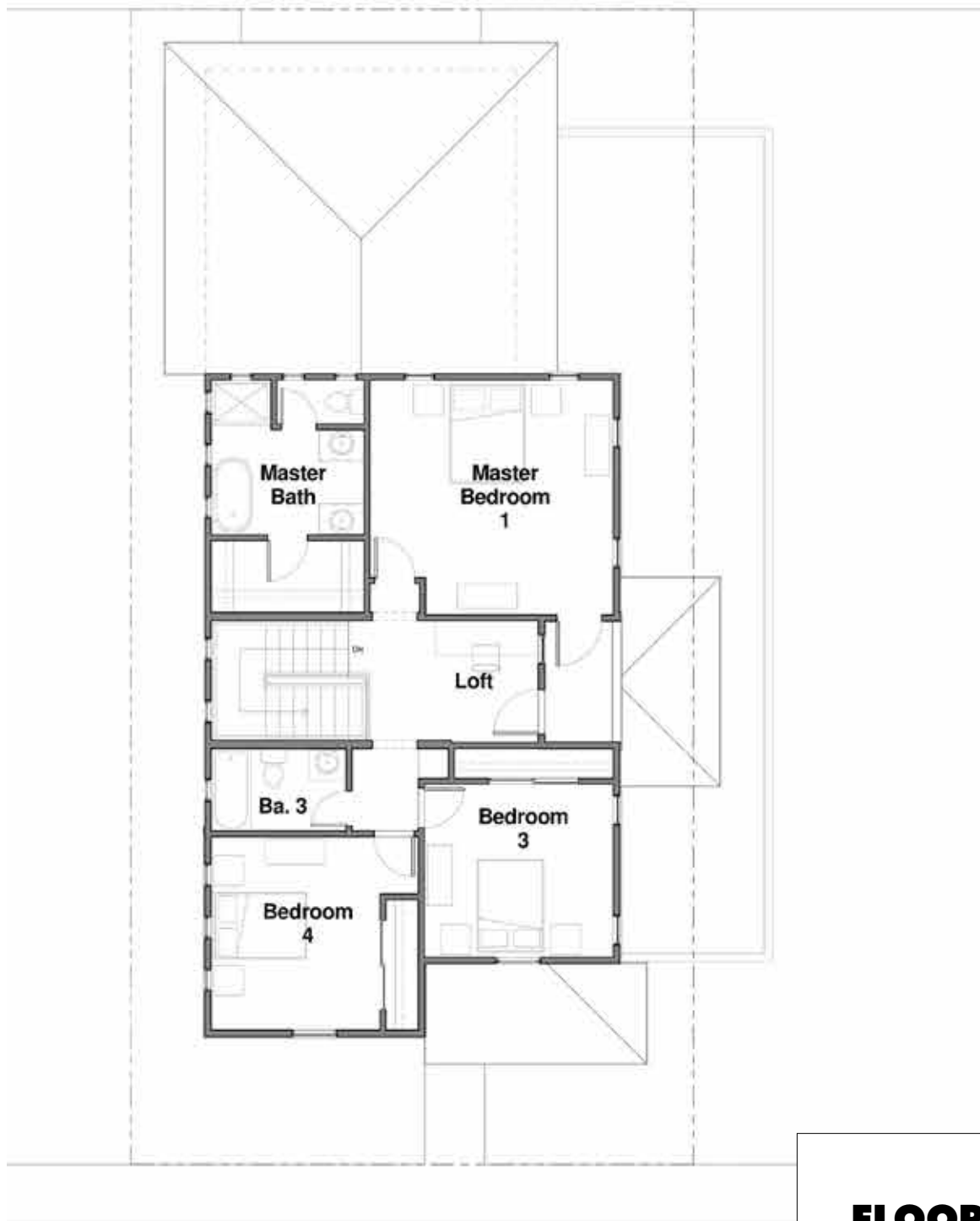
FLOOR PLAN



Tabulation:
 4 BR / 3.5 BA
 1st Floor Area:
 1,200 Sq. Ft.
 2nd Floor Area:
 1,040 Sq. Ft.
 2,240 Total Sq. Ft.

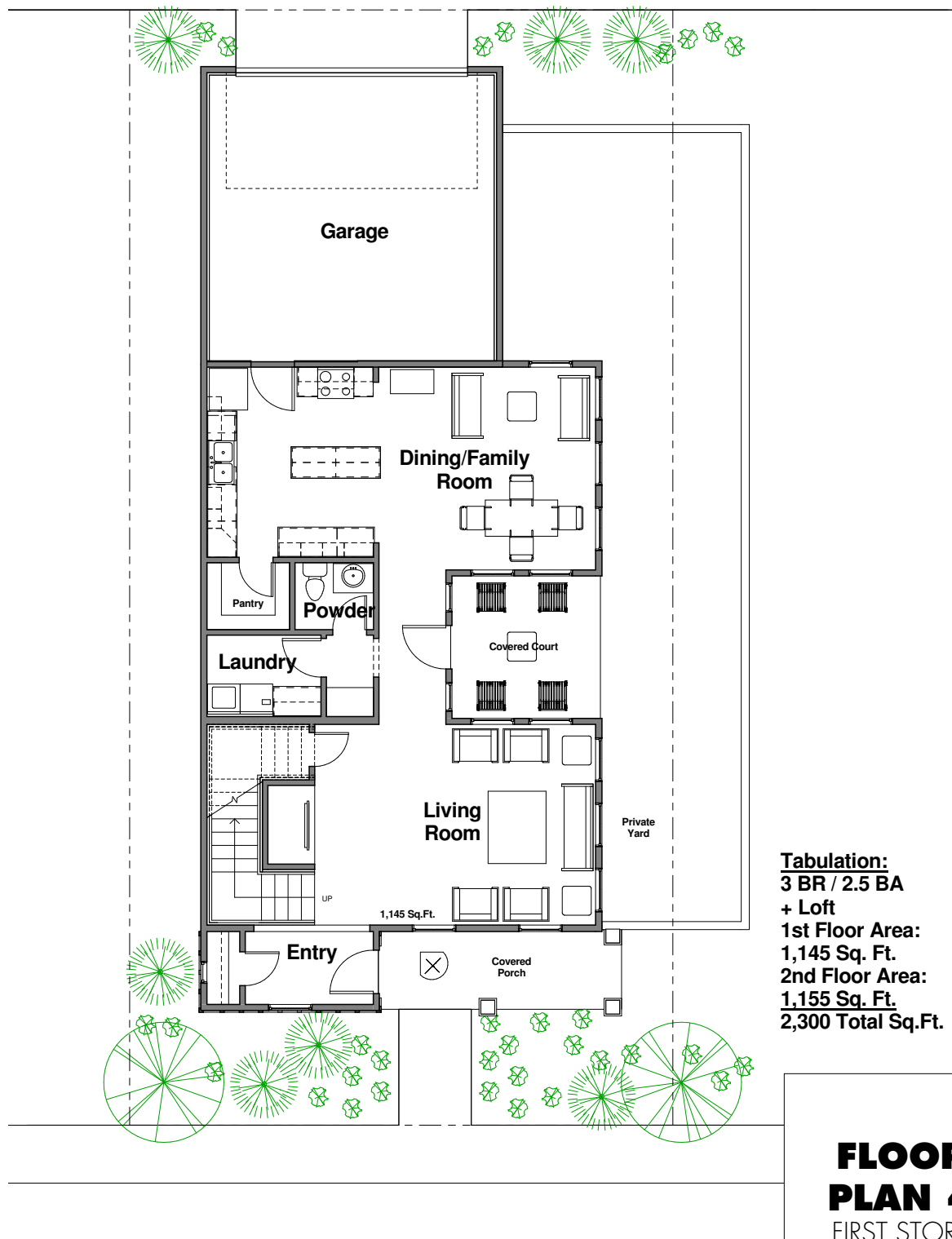
**FLOOR
PLAN 3**
FIRST STORY

FLOOR PLAN



**FLOOR
PLAN 3**
SECOND STORY

FLOOR PLAN



FLOOR PLAN



**FLOOR
PLAN 4**
SECOND STORY

ARCHITECTURAL STYLES

CRAFTMAN

Craftsman architectural details including low, simple gable roofs with rake ends and outlookers and brace details. This style proposes covered porches with low, shed roofs and heavy wood posts on stone bases. The multi-paned windows are framed and incorporate wood headers to accent focal windows. Vertical siding and shingles are used with matching stucco and finished in earth tones and rich wood colors.

SPANISH

The Spanish designs includes simple building massing with low gable roof forms with Mission profile concrete roof tiles and the heavy proportioned stucco walls. This style also incorporates decorative tile or ironwork accent elements. Private entry courtyard areas lead to front entry doorways. The windows are detailed with wood frames or recessed and include gridded divided light. The light stucco exteriors are contrasted with darker wood trim colors and colorful accents.

TRADITIONAL

The Traditional design is characterized by moderate pitched gable roof and hip forms with light colored fascia boards. Covered porches and entries are supported by simple square columns. The windows are accented with decorative shutters. Horizontal siding or vertical board and batten accent the house front.

Colored elevations are included on the following pages. Complementary building forms, elements, details and color will create an overall design theme for Skyview. No two identical elevations will be adjacent to, or directly across the street from one another.

CRAFTMAN

- Roof Pitch 3½:12 to 5:12
- 12" to 18" Roof Overhang
- Flat Concrete Tile or Architectural Shingles
- Minimum 75% accent Siding on Front Elevation
- Window Mullions on all Front and Corner Facing Windows
- Window Trim on all Front and Corner Facing Elevations
- Minimum 6" x 6" Wood Posts. Knee Braces encouraged

SPANISH

- Roof Pitch 3½:12 to 6:12
- Built up Stucco Fascia Detail or 12" min Roof Overhang
- Concrete Tile with Mission Profile
- Medium or Sand Finish Stucco with 6-12" Recesses
- Window Mullions on all Front and Corner Facing Windows
- Window Header Detail on all Front and Corner Facing Elevations
- Decorative tile or terra cotta accent on all gable end roofs

TRADITIONAL

- Roof Pitch 4:12 to 7:12
- 12" min Overhang with accented Fascia Board
- Flat Concrete Tile or Architectural Shingles
- Minimum 50% Siding on Front Elevation
- Decorative Siding/Shingle accents used on Gable End Roofs
- Window Surrounds on all Front and Corner Facing Elevations
- Decorative Window Shutters used on Focal Windows on Front and Corner Facing Elevations

ELEVATION

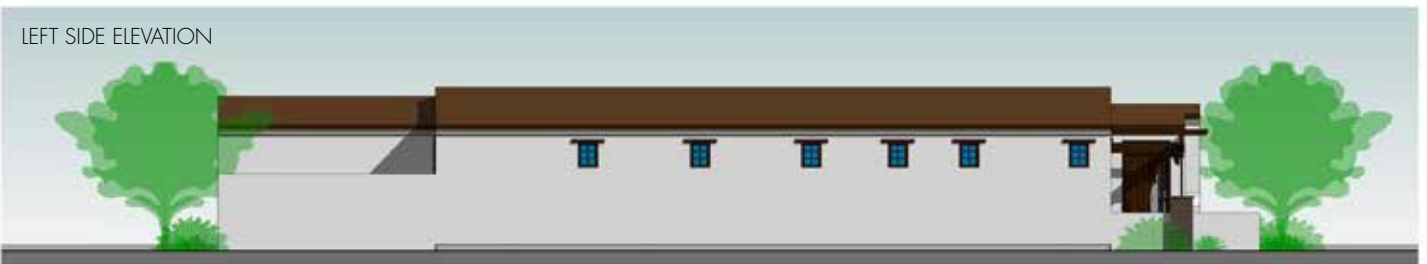
FRONT ELEVATION



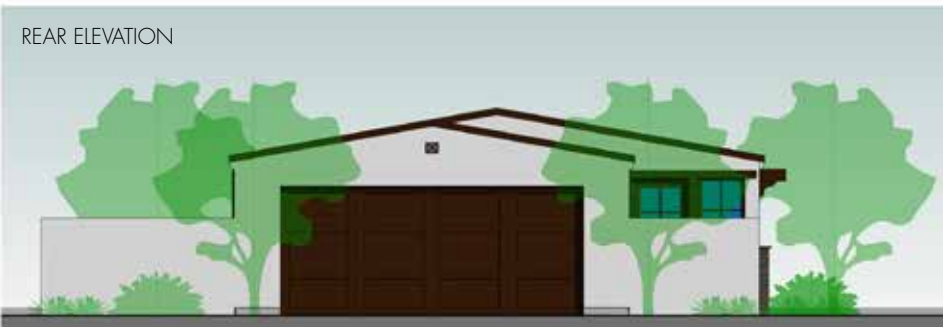
RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION



PLAN 1
SPANISH
ELEVATION

PERSPECTIVE



PLAN 1 CRAFTMAN



PLAN 1 SPANISH



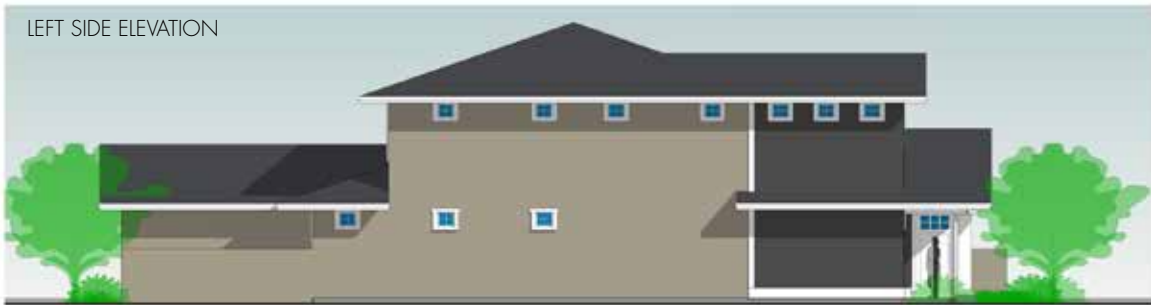
PLAN 1 TRADITIONAL

ELEVATION

FRONT ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



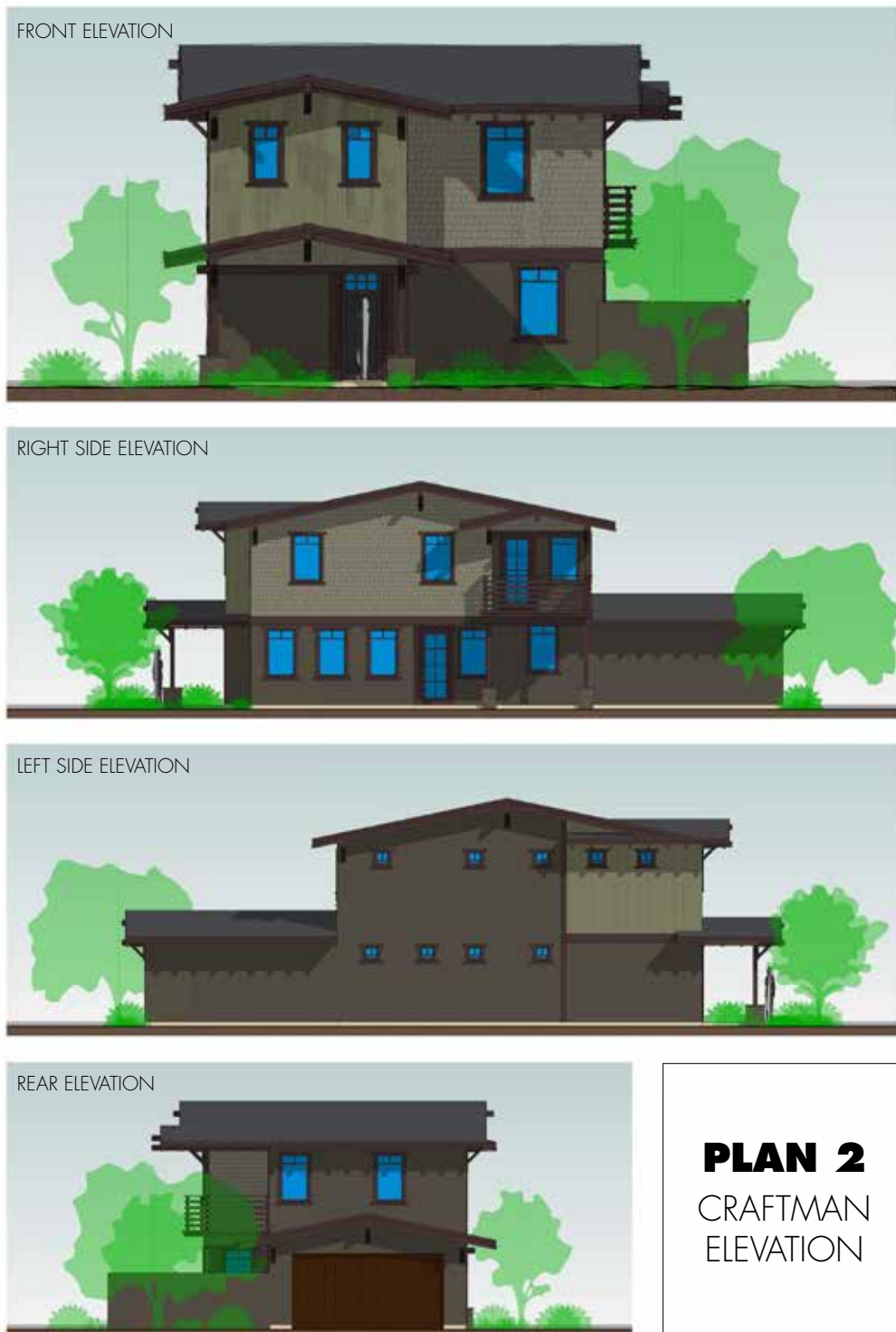
PLAN 1X
TRADITIONAL
ELEVATION

PERSPECTIVE

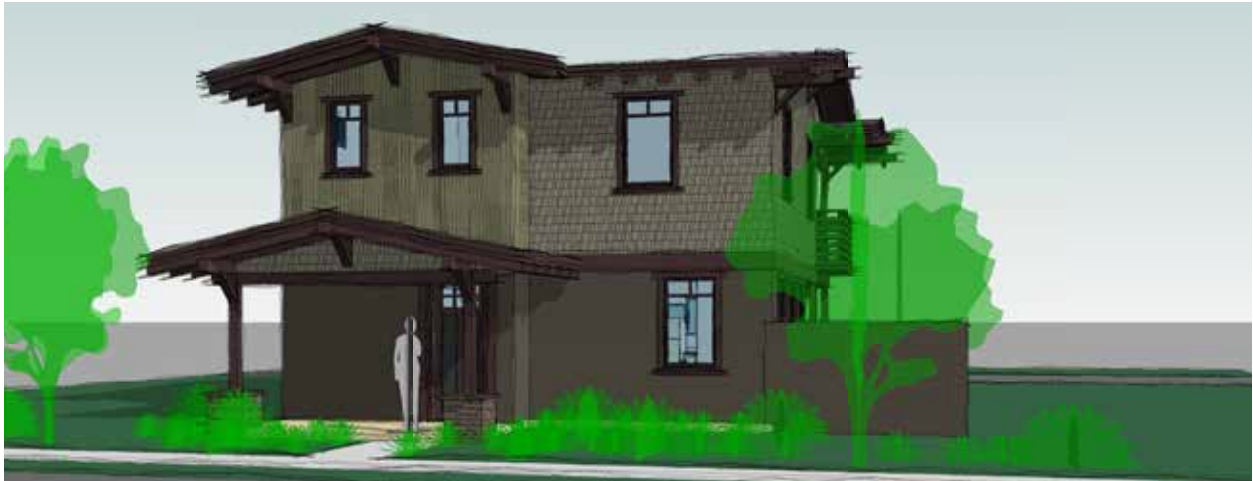


PLAN 1X TRADITIONAL

ELEVATION



PERSPECTIVE



PLAN 2 CRAFTMAN



PLAN 2 SPANISH



PLAN 2 TRADITIONAL

ELEVATION

FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

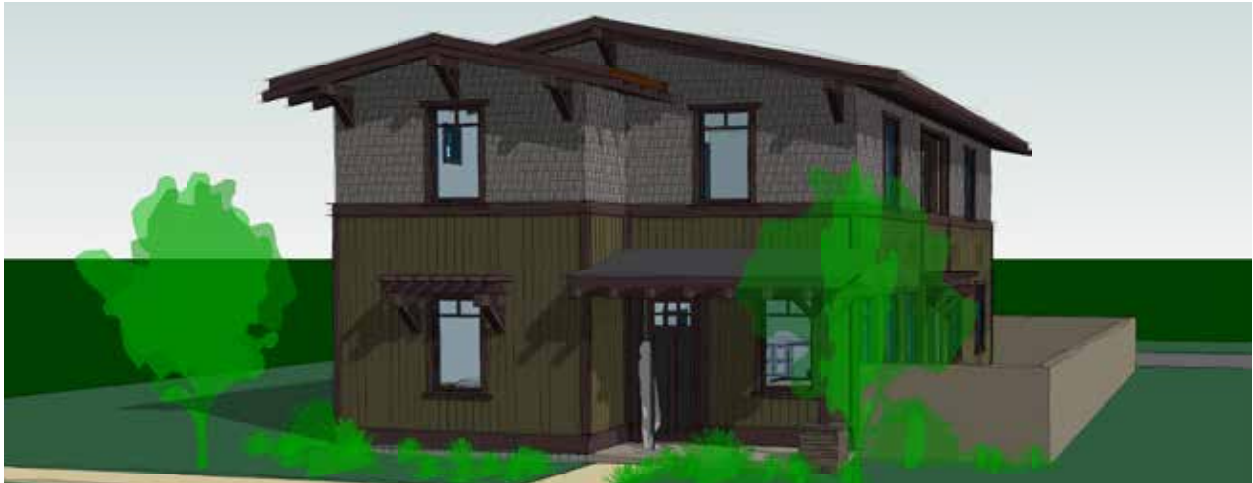


REAR ELEVATION



PLAN 3
SPANISH
ELEVATION

PERSPECTIVE



PLAN 3 CRAFTMAN



PLAN 3 SPANISH



PLAN 3 TRADITIONAL

ELEVATION



PLAN 4
TRADITIONAL
ELEVATION

PERSPECTIVE



PLAN 4 CRAFTMAN



PLAN 4 SPANISH



PLAN 4 TRADITIONAL

STREET SCENE CONCEPT





LANDSCAPE CONCEPT

The landscape concept of Skyview neighborhood will utilize a plant palette indigenous to the area and complementary to the proposed architectural theme. Drought resistant plants and trees will be the predominant materials used in the overall landscape design with colorful accent materials incorporated at the primary entry and in open space areas.

The proposed concept will help define a hierarchy of roadways for vehicular traffic and a pleasing walking experience for the pedestrian.

Formal street trees within landscaped parkways will provide a general organization of circulation and place. Larger focal trees will be placed in an informal arrangement to accentuate open space, punctuate pedestrian activity areas and create visual interest at view terminus points.

The common areas along the perimeter edges will be softened with the landscaping. On-site retention basins will incorporate plant material to blend with the surrounding open spaces. Accent landscaping will also define the recreation area and other amenities including the children's play area, the pocket park, and the central courtyard. Parkway areas will be landscaped with drought tolerant groundcover and decomposed granite and the use of ornamental grass (turf) will be limited to play areas and focal areas.

Front yard landscaping will be installed and maintained by the developer prior to occupancy. Retention areas will be designed as an integral part of the landscape theme and will include plant materials compatible with the natural drainage system.

Pages 35 and 36 show the conceptual landscape plan and landscape details for the pool area at the main recreation amenity and the passive shaded seating area and trellis feature within the central greenbelt.

The primary entry at Power Road will feature a free-standing monument sign with a raised planter and large columns with stone veneer and decorative plaques displaying the street address and logo on each side of the community name displayed with metal lettering on a precast stone surround. A detail is provided on page 37. The walls and fences will be unifying design elements within Skyview. Walls will be constructed with concrete block and painted a neutral earth-tone color with decorative pilasters located 10' on center (maximum spacing). Partial view fencing and pool fencing will be constructed using square tubular metal painted to match the metal detailing consistent with the house architecture. Details of the proposed wall designs are provided on page 37.

PLANT PALETTE	
	TREES
WASHINGTON ROBUSTA	12" TRUNK HT.
MEXICAN PAN PALM	34" BOX MATCHING
QUERCUS VIRGINIANA	8" HT. 43" DB, 1 1/2" CAL.
SOUTHERN LIVE OAK	34" BOX MATCHING
ULMUS PARVIFOLIA	8" HT. 4" DB, 1 1/2" CAL.
EVERGREEN ELM	34" BOX MATCHING
CHITALPA TACHIBENSI	7" HT. 4" DB, 1 1/4" CAL.
CHITALPA	34" BOX MATCHING
BRACHYSTYLIS POPULNEUS	8" HT. 4" DB, 1 1/2" CAL.
BOTTLE TREE	8" GALLON MIN.
CASUALPINA MEXICANA	TREE FORM (8" HT. 2 1/2" DB, 3 1/2" CAL.)
YELLOW MEXICAN BIRD OF PARADISE	
	SHRUBS & VINES
LEUCOPHYLLUM LARGIFLORUM	3 GALLON
RED BRAYO BUSH	3 GALLON
RUELLIA BRITTONIANA CALIFORNICA	3 GALLON
RUELLIA	3 GALLON
NEROLIUM CLEANDRA TOP	3 GALLON
QUARTZ PINK CLEANDRA	3 GALLON
TEGONA HYBRID	3 GALLON
ORANGE JASMINE	3 GALLON
GALLIETERON VINCIGALIS "LITTLE JOHN"	3 GALLON
LITTLE JOHN BOTTLE BRUSH	3 GALLON
BOUGAINVILLEA "SAN DIEGO RED"	3 GALLON
RED VINE BOUGAINVILLEA	3 GALLON
CASUALPINA PULCHERRIMA	3 GALLON
RED BIRD OF PARADISE	3 GALLON
	GROUNDCOVERS AND ACCENTS
ERIPHYLLA "MEXICAN GOLD"	1 GALLON
OUTBACK BARRAGE	1 GALLON
LANTANA RELIGIOSA "TIP"	1 GALLON
TRAILING PURPLE LANTANA	1 GALLON
PARVIFOLIA HESPERALOE	1 GALLON
RED YUCCA	1 GALLON
AGAVE SEDGEM "DO"	1 GALLON
DESERT CARPET SEDGEM	1 GALLON
LANTANA MONTICULUS "NLS"	1 GALLON
NEW GOLD LANTANA	1 GALLON
	SODDED TURF

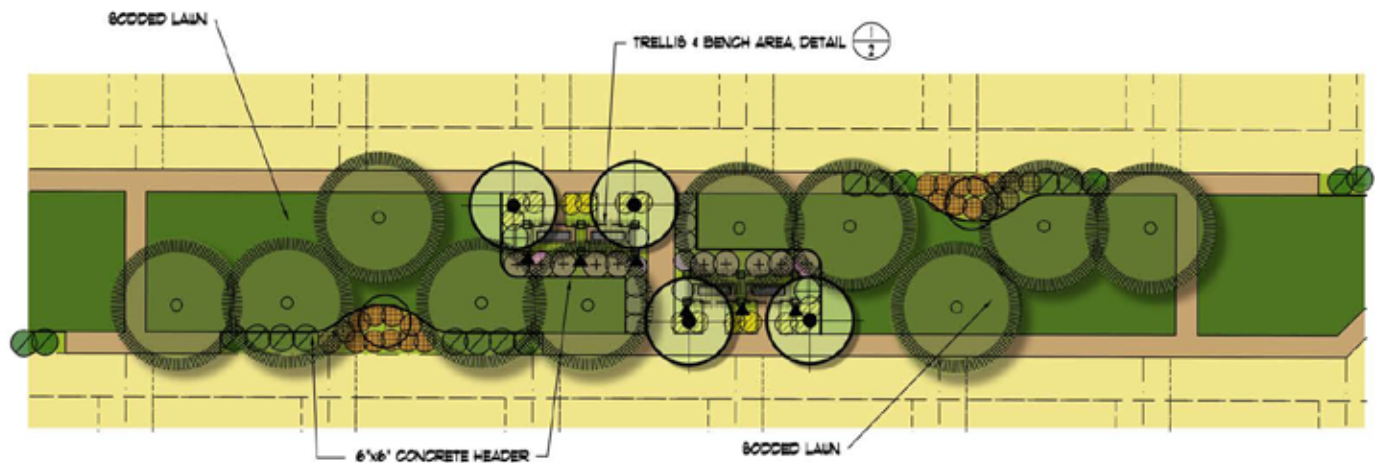
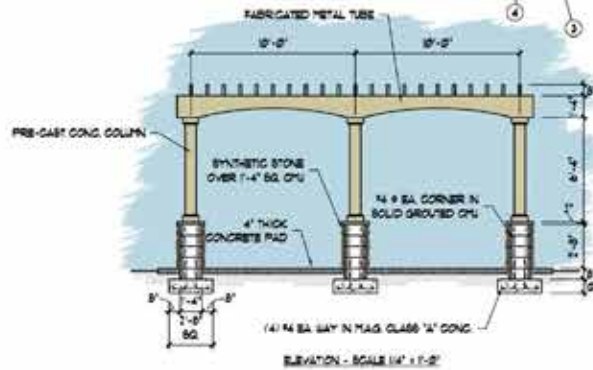
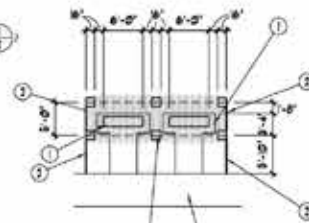
LANDSCAPE PLAN



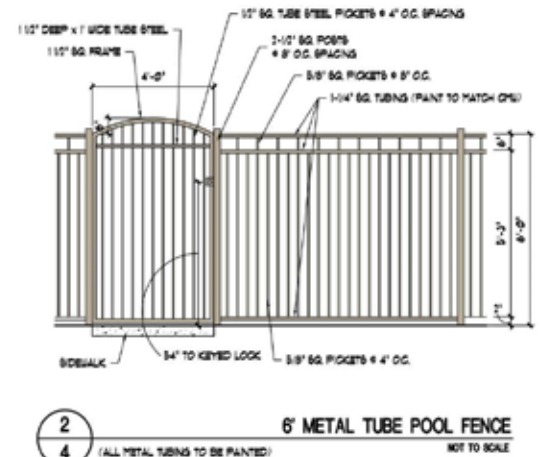
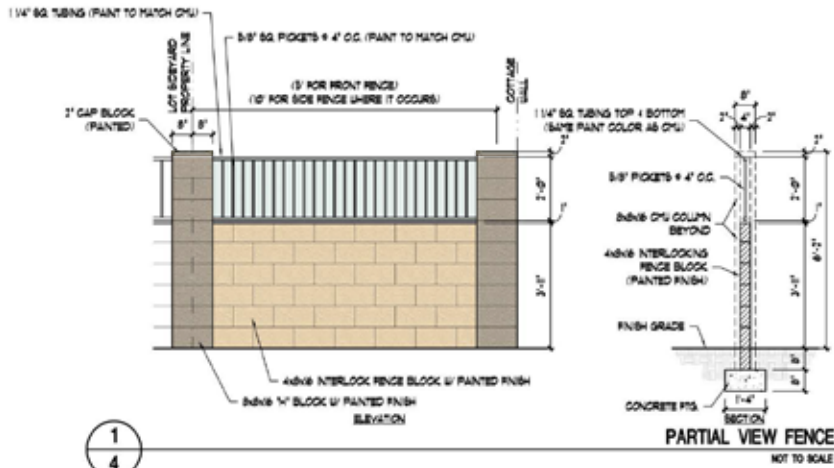
LANDSCAPE DETAILS

PLAN KEY NOTES: (FOR DETAIL 1/2)

- ① BENCH
- ② 6"x6" CONCRETE HEADER
- ③ SIDEWALK
- ④ TRELLIS STRUCTURE (DETAIL BELOW)

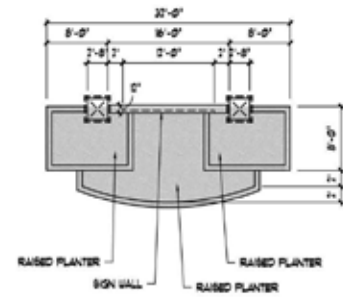
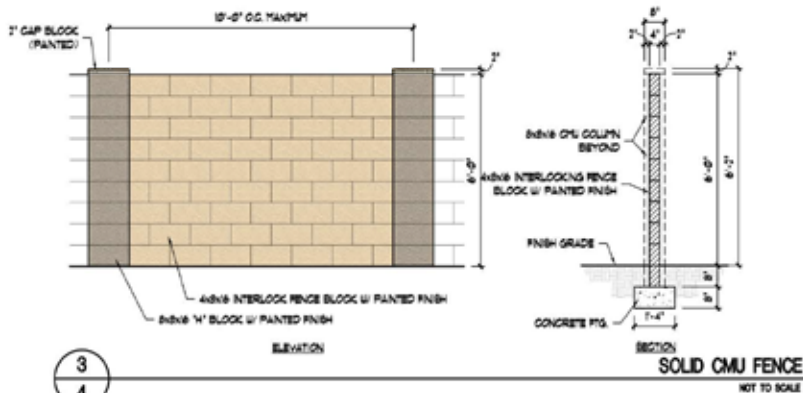


WALL DETAILS



PLAN KEY NOTES:

- ① PARTIAL VIEW FENCE DETAIL (1)
- ② EXISTING CMU WALL
- ③ PROJECT SIGN WALL DETAILS (2) (3)
- ④ 6' HT. TUBE STEEL FENCE DETAIL (1)
- ⑤ MAILBOX (USPS PROVIDED)
- ⑥ 6' HIGH CMU 'BUILDER WALL' DETAIL (NOTE: SEE SHEET L-3 FOR LOCATION)
- ⑦ POOL (SEE SHEET L-1)
- ⑧ SHADED SEATING AREA (SEE SHEET L-1)



Prepared for:

CITY OF MESA

20 E. Main Street
Mesa, AZ 85201

Applicant:

HIGHLAND HOMES

1425 South Higley Road #101
Gilbert, AZ 85296

Design Team:

**THE GALLOWAY GROUP
TRA/ANGLE DESIGN**

18001 Cowan, Suite L
Irvine, CA 92614



CURVE DATA:

Curve Number	Delta	Radius	Arc Length	Tangent Length
C1	3°45'57"	11497.69'	755.70'	377.99'

LINE DATA:

Line Number	Bearing	Distance
L1	N 89°48'36" W	10.00'
L2	S 00°24'40" E	89.66'
L3	N 00°24'08" E	40.00'
L4	N 00°24'40" E	45.66'
L5	N 00°24'40" E	85.66'
L6	S 89°48'36" E	65.00'
L7	N 00°51'13" E	0.00'

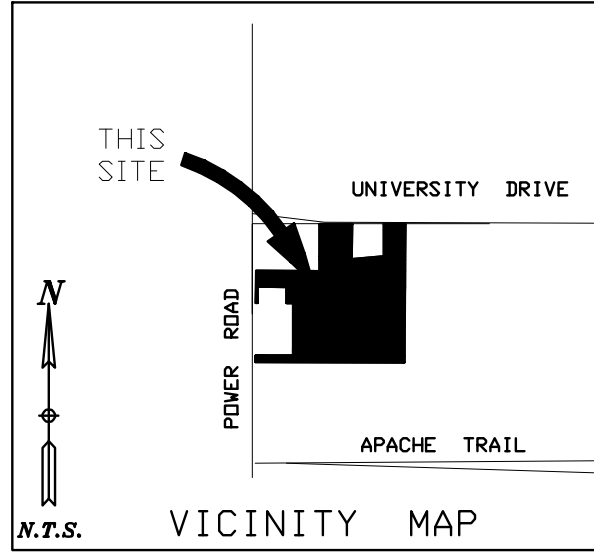
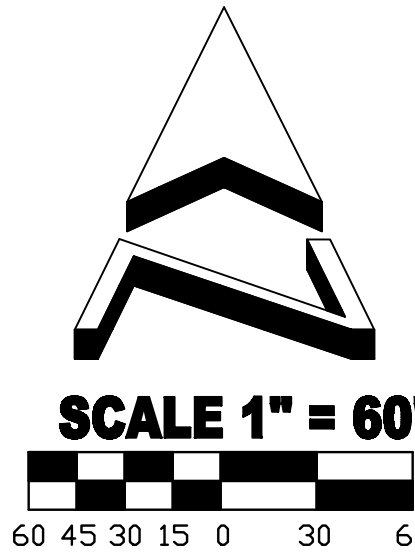
NORTHING FOUND
SE COR. SEC. 24
T1N,R7E (STANDARD
CORNER)

LEGEND

- SET 1/2" REBAR LS#41076
- BRASS CAP
- ▲ FOUND 1/2" REBAR
- SET PK NAIL WITH TAG LS#41076
- FOUND PK NAIL
- NOTHING FOUND/NOTHING SET
- BCHH BRASS CAP IN HANDHOLE
- M MONUMENT LINE
- CENTER LINE
- CATCH BASIN
- DRYWELL
- DRAIN PIPE
- BACKFLOW PREVENTER
- HEADWALL ("U SHAPED")
- SIDEWALK / HANDICAP RAMP
- ▲ THRUST BLOCK
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- ▼ REDUCER
- TAPPING TEE AND VALVE
- SEWER CLEANOUT
- SEWER SERVICE
- SEWER MANHOLE
- HANDICAPPED SPACE
- WALL
- STREET LIGHT
- POWER POLE
- GUY WIRE
- TELECOM JUNCT. BOX
- CABLE TV
- ELECTRICAL TRANSFORMER
- GAS METER / GAS VAULT
- GAS LINE INDICATOR
- GAS VALVE
- FIRE DEPARTMENT SIAMESE CONNECTION
- CONCRETE
- PUFE PUBLIC UTILITY FACILITY EASEMENT
- ROW RIGHT OF WAY
- BSL BUILDING SETBACK LINE
- ◆ GRADE BREAK SYMBOL
- TRW TOP OF RETAINING WALL
- TSW TOP OF STEMWALL
- TF TOP OF FOOTING
- G FINISHED GUTTER GRADE
- P FINISHED PAVEMENT GRADE
- VG VALLEY GUTTER GRADE
- FF FINISHED FLOOR GRADE
- TC TOP OF CURB ELEV.
- SW SIDEWALK GRADE
- B/C BACK OF CURB
- EXISTING 8" WATERLINE
- EXISTING 48" CITY OF PHOENIX WATERLINE
- EXISTING 39" SEWERLINE
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING GRADE
- STREET SIGN
- 23.50 TOP OF CURB ELEV.

SKYVIEW PRELIMINARY GRADING AND DRAINAGE PLAN

A PORTION OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH,
RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA
COUNTY, ARIZONA



OWNER

HIGHLAND COMMUNITIES
MARK PUGMIRE
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ENGINEER

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FAX: 480-830-8453
EMAIL: ace@allenconsultengr.com

BASIS OF BEARINGS

THE WEST LINE OF THE NORTHWEST QUARTER
OF SECTION 19, BEARS NORTH 00°00'30"
EAST AS SHOWN.

BENCHMARK

FOUND BRASS TAG TOP OF CURB AT THE
INTERSECTION OF POWER ROAD &
UNIVERSITY DRIVE
ELEVATION = 1435.22

SITE DATA

APN: 218-13-009G
APN: 218-13-010
APN: 218-13-003J
APN: 218-13-003F
APN: 218-13-003G

GROSS AREA = 566,412 SF
13.003 AC
NET AREA = 550,807 SF
12.644 AC

EXISTING ZONING: C-2
PROPOSED ZONING: T-4 GENERAL URBAN

RETENTION CALCULATIONS

THE RETENTION BASINS ARE TO BE SIZED TO RETAIN 100% OF THE
100-YEAR, 2-HOUR STORM EVENT IN ACCORDANCE WITH THE CITY OF
MESA REQUIREMENTS.

LOT WEIGHTED 'C' CALCULATIONS:

AVERAGE LOT SIZE = 2,887 S.F.
ROOF & CONCRETE = 1,300 S.F.
GRASS LANDSCAPE = 793.5 S.F.
DESERT LANDSCAPE = 793.5 S.F.

$$(1,300 \times 0.95) + (793.5 \times 0.15) + (793.5 \times 0.5) = 0.61$$

SITE WEIGHTED 'C' CALCULATIONS:

TOTAL AREA = 550,807 S.F.
STREET AREA = 160,424 S.F.
LOT AREA = 245,501 S.F.
LANDSCAPE = 144,882 S.F.

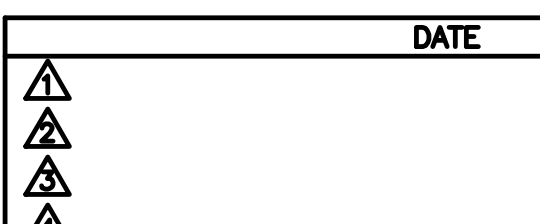
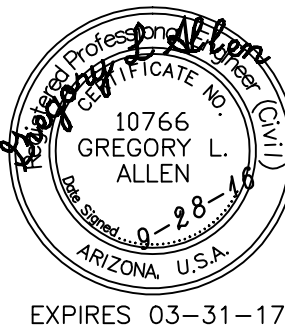
$$(160,424 \times 0.85) + (245,501 \times 0.61) + (144,882 \times 0.50) = 0.58$$

RETENTION REQUIRED:

$$V = C(D/12)A$$

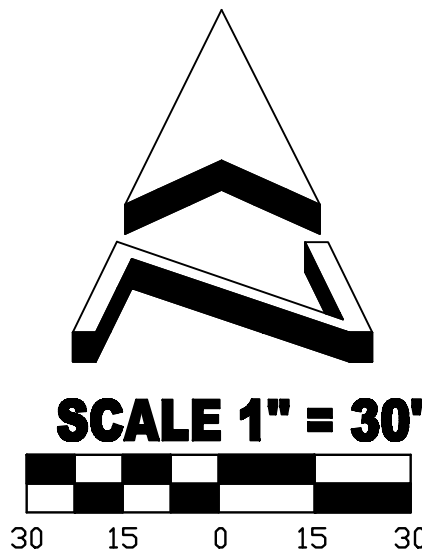
$$(0.58)(2.2/12)(550,807) = 61,232 \text{ C.F.}$$

RETENTION BASINS				
BASIN	TOP	BOTTOM	DEPTH	VOLUME PROVIDED
A	1437.00	1434.00	3'	28,824 C.F.
B	1432.00	1429.00	3'	24,624 C.F.
C	1427.00	1424.00	3'	21,500 C.F.
TOTAL				74,948 C.F.



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SKYVIEW HIGHLAND COMMUNITIES MESA, ARIZONA 85203 PRELIMINARY GRADING & DRAINAGE PLAN					
JOB NUMBER		95481	SHEET		1 OF 3
DRAWING		COVER	CHECKED BY		DATE 09-28-16
DRAFTSMAN					



EXCEPTION

EXCEPTION

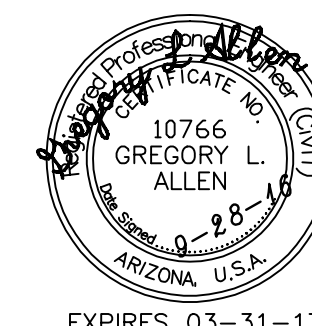
EXCEPTION

MATCHLINE - SEE SHEET 3

MATCHLINE - SEE SHEET 3



ALLEN CONSULTING ENGINEERS, INC.
3921 E. BASELINE ROAD #112
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**SKYVIEW
PRELIMINARY GRADING & DRAINAGE PLAN**

JOB NUMBER	95481	SHEET	2	OF	3
DRAWING	PRELIM-G&DI	CHECKED BY		DATE	09-28-16
DRAFTSMAN					

JOB NUMBER	95481	SHEET	3	OF	3
DRAWING	PRELIM-G&D2				
DRAFTSMAN	CHECKED BY			DATE	09-28-16

LINE DATA:

NUMBER	DIRECTION	DISTANCE
L1	N89°48'35"W	10.00'
L2	N45°35'59"W	14.41'
L3	N43°39'47"E	5.43'
L4	S52°56'29"E	6.67'
L5	S53°19'17"W	6.67'
L6	S89°48'36"E	11.33'
L7	S89°48'36"E	11.33'
L8	N52°56'29"W	6.67'
L9	S83°11'49"E	6.22'
L10	N41°11'57"E	10.60'
L11	N89°48'36"W	18.82'
L12	N89°48'36"W	18.82'
L13	N40°49'09"W	10.60'
L14	N41°11'56"E	10.60'
L15	N89°48'36"W	13.82'
L16	N89°48'36"W	12.50'
L17	N89°48'36"W	1.32'
L18	N40°49'09"W	10.60'
L19	S00°11'23"W	5.00'
L20	S63°54'05"E	17.03'
L21	N63°54'05"W	17.03'
L22	N00°11'17"E	20.50'
L23	N00°11'17"E	20.50'
L24	N00°11'24"E	4.50'
L25	N53°19'17"E	6.67'
L26	N52°56'29"W	6.67'
L27	S89°48'36"E	1.33'
L28	S89°48'36"E	10.00'
L29	S89°48'36"E	10.00'
L30	S89°48'36"E	1.33'
L31	N00°11'24"E	3.00'
L32	N89°48'27"E	26.87'
L33	S00°11'24"W	3.18'
L34	S52°56'29"E	6.67'
L35	N89°48'40"W	1.33'
L36	N89°48'37"W	10.00'
L37	N89°48'36"W	10.00'
L38	N89°48'36"W	1.33'
L39	S53°19'17"W	6.67'
L40	N53°19'17"E	1.67'
L41	S89°48'36"E	1.33'
L42	S89°48'36"E	10.00'
L43	S89°48'36"E	10.00'
L44	N00°11'24"E	2.21'
L45	S89°48'36"E	1.33'
L46	S52°56'29"E	6.67'
L47	N00°11'24"E	2.21'
L48	S53°19'17"W	6.67'
L49	N89°48'36"W	1.33'
L50	S00°11'24"W	2.20'
L51	N89°48'36"W	10.00'
L52	N89°48'36"W	10.00'
L53	N89°48'36"W	1.33'
L54	S00°11'24"W	2.20'
L55	N52°56'29"W	1.67'
L61	S69°17'04"E	3.74'
L62	N00°12'14"E	2.08'
L63	N00°11'24"E	18.00'
L64	N00°11'24"E	15.50'
L65	N45°41'56"E	6.35'
L66	N45°41'56"E	13.66'
L67	N45°41'56"E	20.01'
L68	N12°12'22"E	1.79'
L69	N14°09'31"W	0.96'
L70	N00°12'14"E	10.21'
L71	S69°17'04"E	5.13'
L72	S00°11'25"W	3.43'
L73	N56°08'11"E	15.15'
L74	N56°08'11"E	13.28'
L75	N56°08'11"E	28.44'
L76	S89°48'44"E	15.53'

LOT TABLE

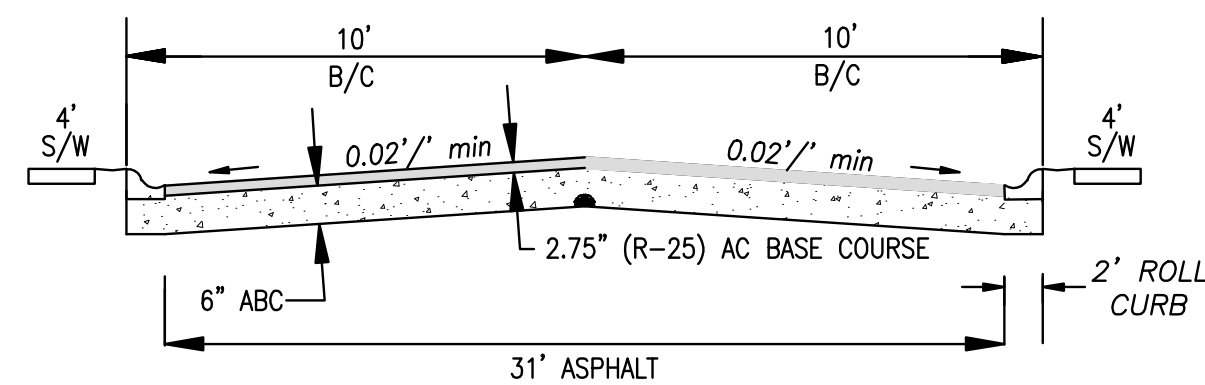
NAME	SQUARE FEET	ACRES
1	3272.35	0.0751
2	2887.37	0.0663
3	2887.37	0.0663
4	2887.37	0.0663
5	2887.37	0.0663
6	2887.37	0.0663
7	2887.37	0.0663
8	2887.37	0.0663
9	3356.20	0.0770
10	3113.35	0.0715
11	2887.12	0.0663
12	2887.13	0.0663
13	2887.13	0.0663
14	2887.13	0.0663
15	2887.13	0.0663
16	2887.13	0.0663
17	3118.50	0.0716
18	3118.50	0.0716
19	2887.13	0.0663
20	2887.14	0.0663
21	2887.14	0.0663
22	3117.75	0.0716
23	3271.87	0.0751
24	2880.77	0.0661
25	3272.50	0.0751
26	2887.50	0.0666
27	2887.24	0.0663
28	2887.25	0.0663
29	2887.25	0.0663
30	2887.25	0.0663
31	2887.25	0.0663
32	2887.25	0.0663
33	2887.25	0.0663
34	3250.22	0.0746
35	3118.50	0.0716
36	2887.25	0.0663
37	2887.25	0.0663
38	2887.24	0.0663
39	3267.96	0.0750
40	3118.50	0.0716
41	3118.50	0.0716
42	3094.16	0.0710
43	2887.25	0.0663
44	2887.24	0.0663
45	2887.24	0.0663
46	2887.24	0.0663
47	2887.24	0.0663
48	2887.24	0.0663
49	2887.24	0.0663
50	3105.06	0.0713
51	3118.50	0.0716
52	2887.37	0.0663
53	2887.37	0.0663
54	2887.37	0.0663
55	2887.37	0.0663
56	2887.37	0.0663
57	2887.24	0.0663
58	2877.87	0.0661
59	3118.50	0.0716
60	3118.50	0.0716
61	2887.20	0.0663
62	2887.24	0.0663
63	2887.24	0.0663
64	2887.37	0.0663
65	2887.37	0.0663
66	2887.37	0.0663
67	2887.38	0.0663
68	3118.50	0.0716
69	3093.95	0.0710
70	2887.37	0.0663
71	2887.37	0.0663
72	2887.37	0.0663
73	2887.37	0.0663
74	2887.37	0.0663
75	2887.37	0.0663
76	2887.37	0.0663
77	3094.75	0.0710
78	3118.50	0.0716
79	2887.48	0.0663
80	2887.47	0.0663
81	2887.48	0.0663
82	2887.48	0.0663
83	3118.50	0.0716

CURVE DATA:

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH
C1	48°02'14"	17.05	14.25
C2	49°47'33"	16.93	14.72
C3	40°12'27"	16.93	11.87
C4	90°00'00"	16.93	26.59
C5	40°05'39"	17.00	11.89
C6	49°54'12"	17.00	14.81
C7	89°59'52"	17.00	26.70
C8	89°59'59"	17.00	26.70
C9	60°10'29"	25.00	26.26
C10	03°54'50"	25.02	1.71
C11	64°05'28"	25.00	27.97
C12	16°00'49"	17.00	4.73
C13	39°28'33"	17.00	11.72
C14	55°29'21"	17.00	16.45
C15	39°02'52"	67.00	45.66
C16	37°31'02"	67.00	43.87
C17	01°31'49"	67.00	1.79
C18	17°31'05"	67.00	20.48
C19	90°00'00"	10.00	15.71
C20	43°10'48"	10.00	7.54
C21	44°25'42"	10.00	7.75
C22	90°00'00"	20.00	31.42
C23	90°00'00"	20.00	31.42
C24	89°59'59"	10.00	15.71
C25	13°37'16"	19.50	4.64
C26	14°02'03"	67.00	16.41
C27	53°05'01"	16.00	14.82
C28	36°54'59"	16.00	10.31
C29	90°00'00"	16.00	25.13
C30	34°55'46"	15.00	9.14
C31	40°32'02"	10.00	7.08
C32	49°27'57"	10.00	8.63
C33	19°32'22"	10.00	3.41
C34	23°38'26"	10.00	4.13
C35	44°54'07"	17.00	13.32
C36	45°05'51"	17.00	13.38
C37	55°43'59"	10.00	9.73
C38	34°16'01"	10.00	5.98

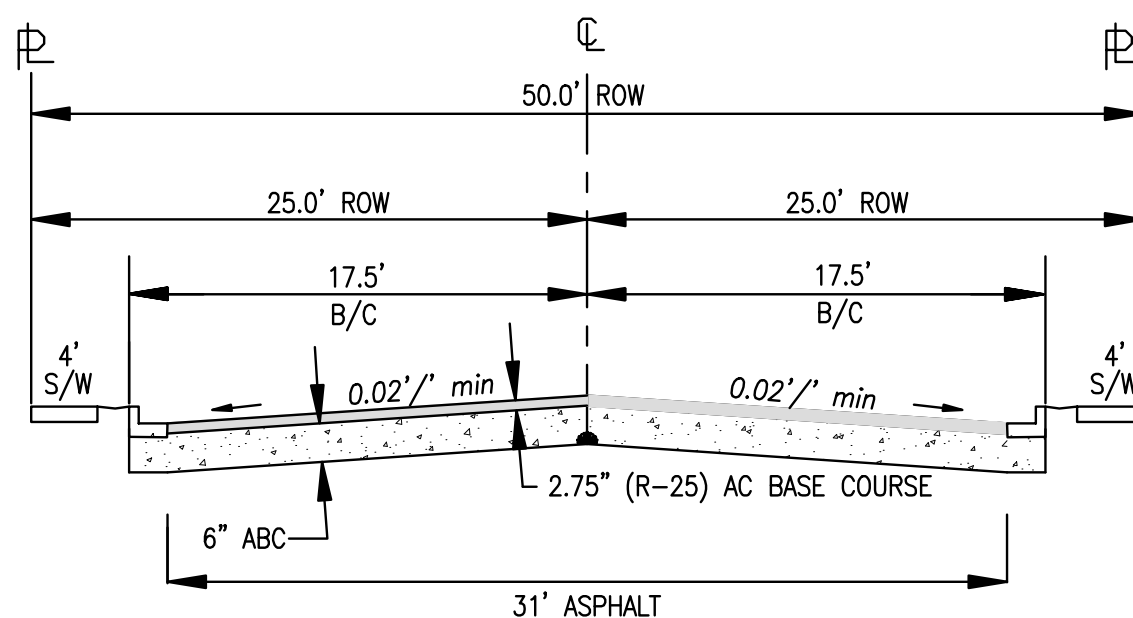
TRACT TABLE

NAME	SQUARE FEET	ACRES
TRACT A	100191.53	2.3001
TRACT B	6913.94	0.1587
TRACT C	13347.22	0.3064
TRACT D	6913.77	0.1587
TRACT E	253.99	0.0058
TRACT F	253.82	0.0058
TRACT G	214.66	0.0049
TRACT H	226.53	0.0052
TRACT I	11910.78	0.2734
TRACT J	57269.08	1.3147



TYPICAL SECTION OF INTERIOR PRIVATE STREETS

NTS
35' PRIVATE ACCESSWAY WITH EMERGENCY & SERVICE TYPE VEHICLE, REFUSE COLLECTION, PUBLIC UTILITY & FACILITIES & DRAINAGE EASEMENTS

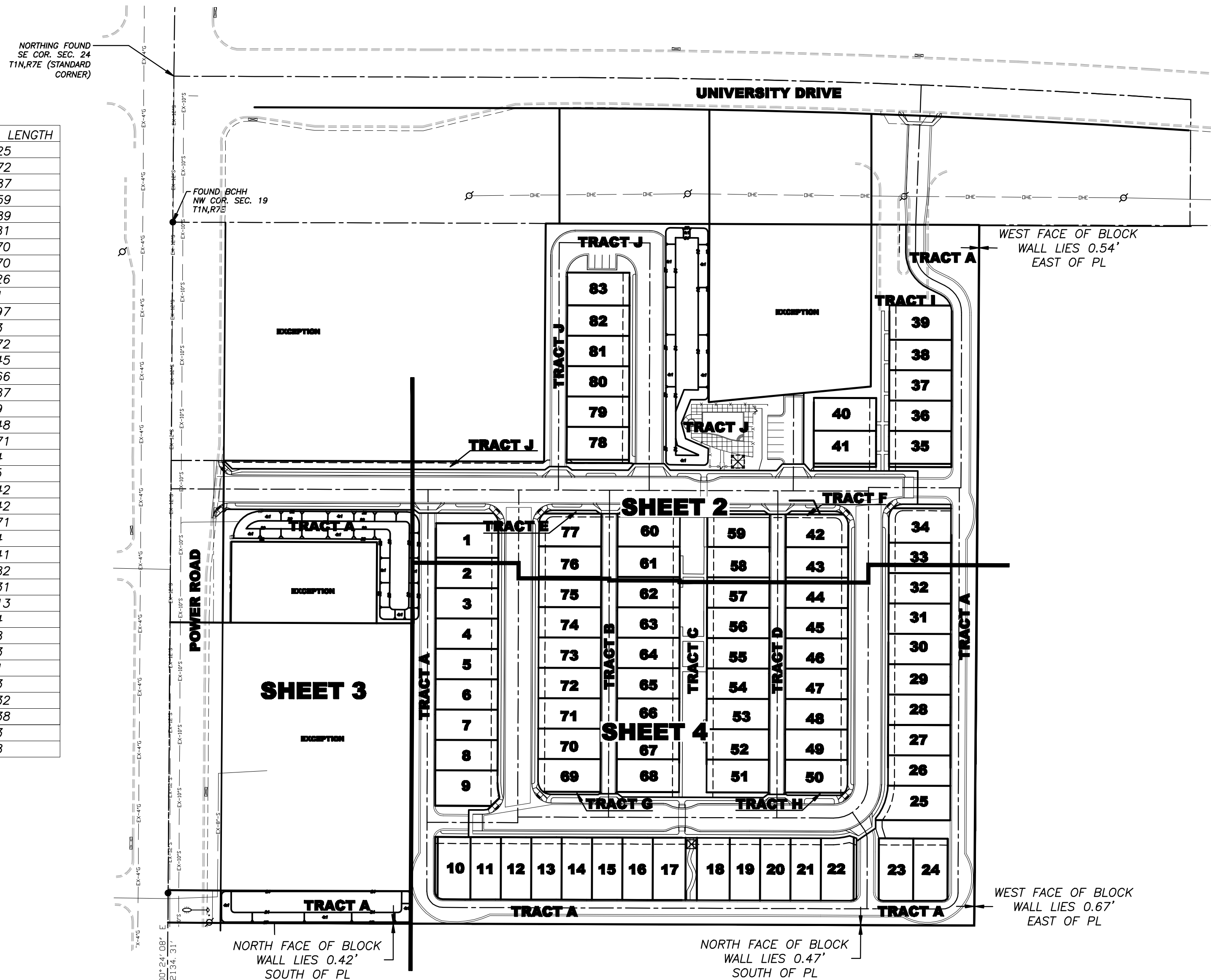


TYPICAL SECTION OF INTERIOR PUBLIC STREETS

NTS

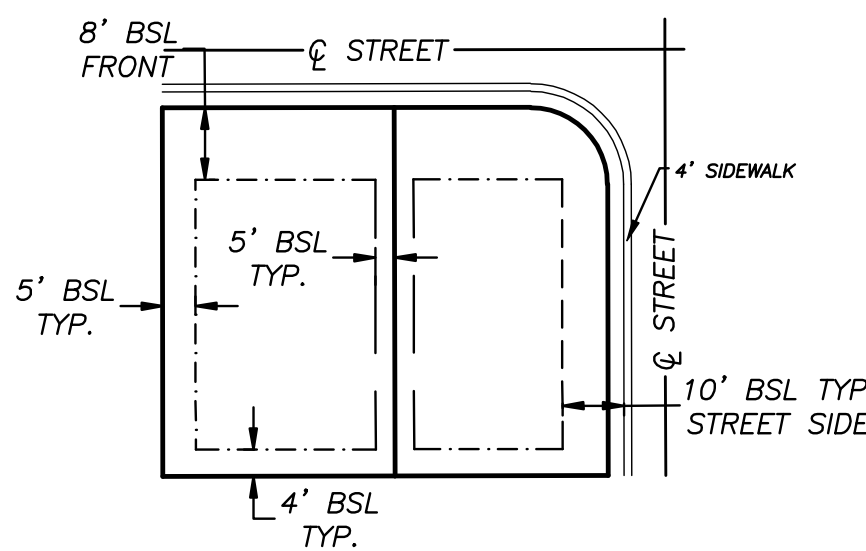
SKYVIEW
PRELIMINARY PLAT

A PORTION OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 NORTH,
RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA
COUNTY, ARIZONA



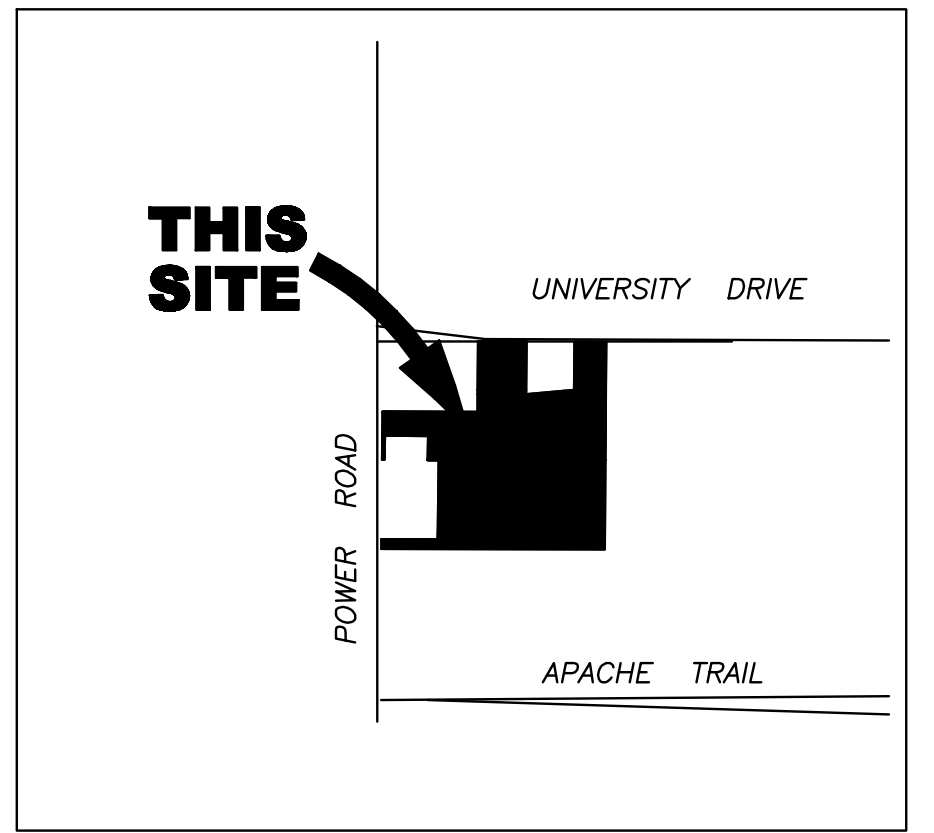
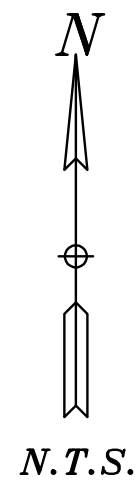
SHEET INDEX

N.T.S.



SETBACK LINE DETAIL

N.T.S.



VICINITY MAP

N.T.S.

OWNER

HIGHLAND COMMUNITIES
MARK PUGHIRE
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BENCHMARK

FOUND BRASS TAG TOP OF CURB AT THE
INTERSECTION OF POWER ROAD &
UNIVERSITY DRIVE
ELEVATION = 1435.22

BASIS OF BEARINGS

THE WEST LINE OF THE NORTHWEST QUARTER OF
SECTION 19, BEARS NORTH 00°00'30" EAST AS SHOWN.

SITE DATA

APN: 218-13-009G
APN: 218-13-010
APN: 218-13-003J
APN: 218-13-003F
APN: 218-13-003G

GROSS AREA = 566,412 SF
13,003 AC

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EXISTING ZONING: C-2
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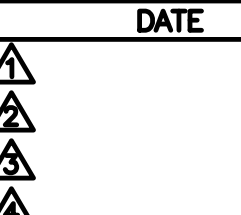
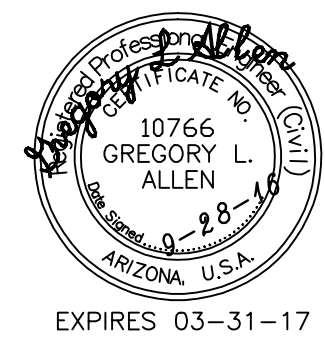
OPEN SPACE CALCULATIONS

GROSS AREA: 550,807 S.F. = 13,003 AC
NET AREA: 550,807 S.F. = 12,644 AC

OPEN SPACE AREA: = 4,2163 AC.
TOTAL OPEN SPACE = 4,2163/12,644 AC = 33.35%

NOTE

SOLID WASTE CONTAINERS WILL BE STORED IN
GARAGE AND PICKED UP BY CITY OF MESA.



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SKYVIEW
HIGHLAND COMMUNITIES
MESA, ARIZONA 85205
PRELIMINARY PLAT

JOB NUMBER	95481	SHEET	1	OF	4
DRAWING	PRELIMINARY PLAT	CHECKED BY	DATE	09-28-16	

UNIVERSITY DRIVE

218-10-003A
LEGACY REAL ESTATE
GROUP LLC
VACANT
ZONING: LC

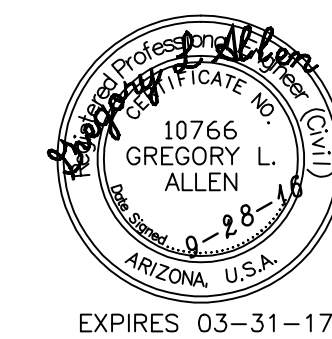
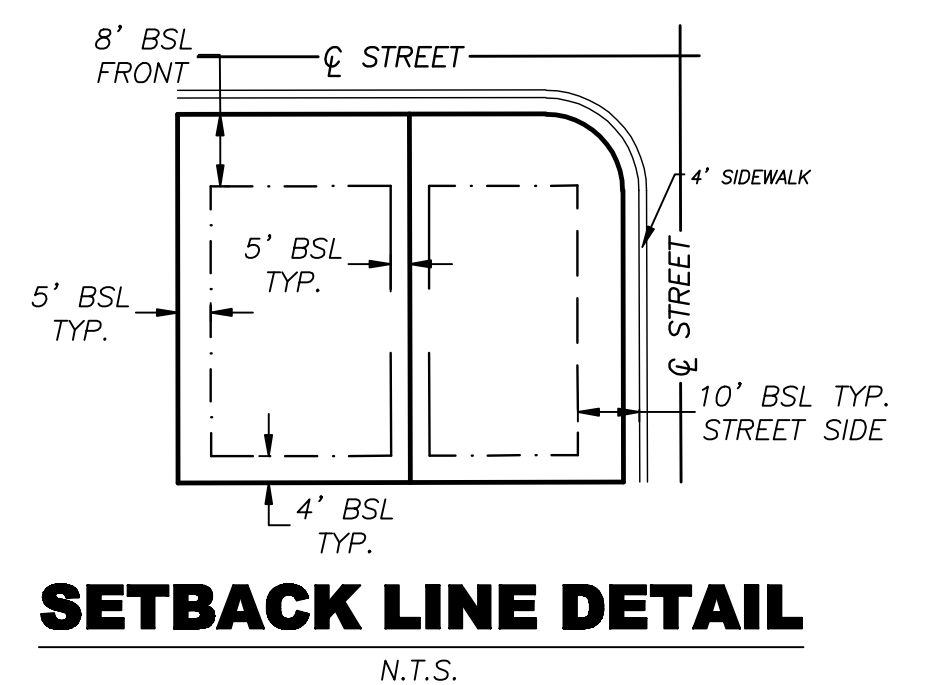
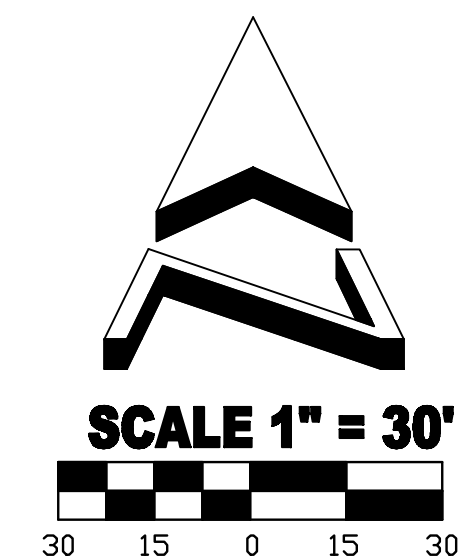
218-10-003B
LEGACY REAL ESTATE
GROUP LLC
VACANT
ZONING: LC

218-10-004A
HEATHER WAGENHALS
VACANT
ZONING: LC

218-13-001X
PRECISION MANAGEMENT
PARTNERS, LLC
ZONING: N/A

218-10-003B
LAS PALMAS
LAS PALMAS LIMITED
PARTNERSHIP
ZONING: RM-4

218-13-009F
QUICKTRIP CORPORATION
ZONING: LC



CALL TWO WORKING DAYS
BEFORE YOU DIG
263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY

DATE

**ALLEN
CONSULTING
ENGINEERS, INC.**

3921 E. BASELINE ROAD #112
GILBERT, ARIZONA 85234
PHONE (480) 844-1666
E-MAIL: ace@allenconsulting.com

SKYVIEW
HIGHLAND COMMUNITIES
MESA, ARIZONA 85205
PRELIMINARY PLAT

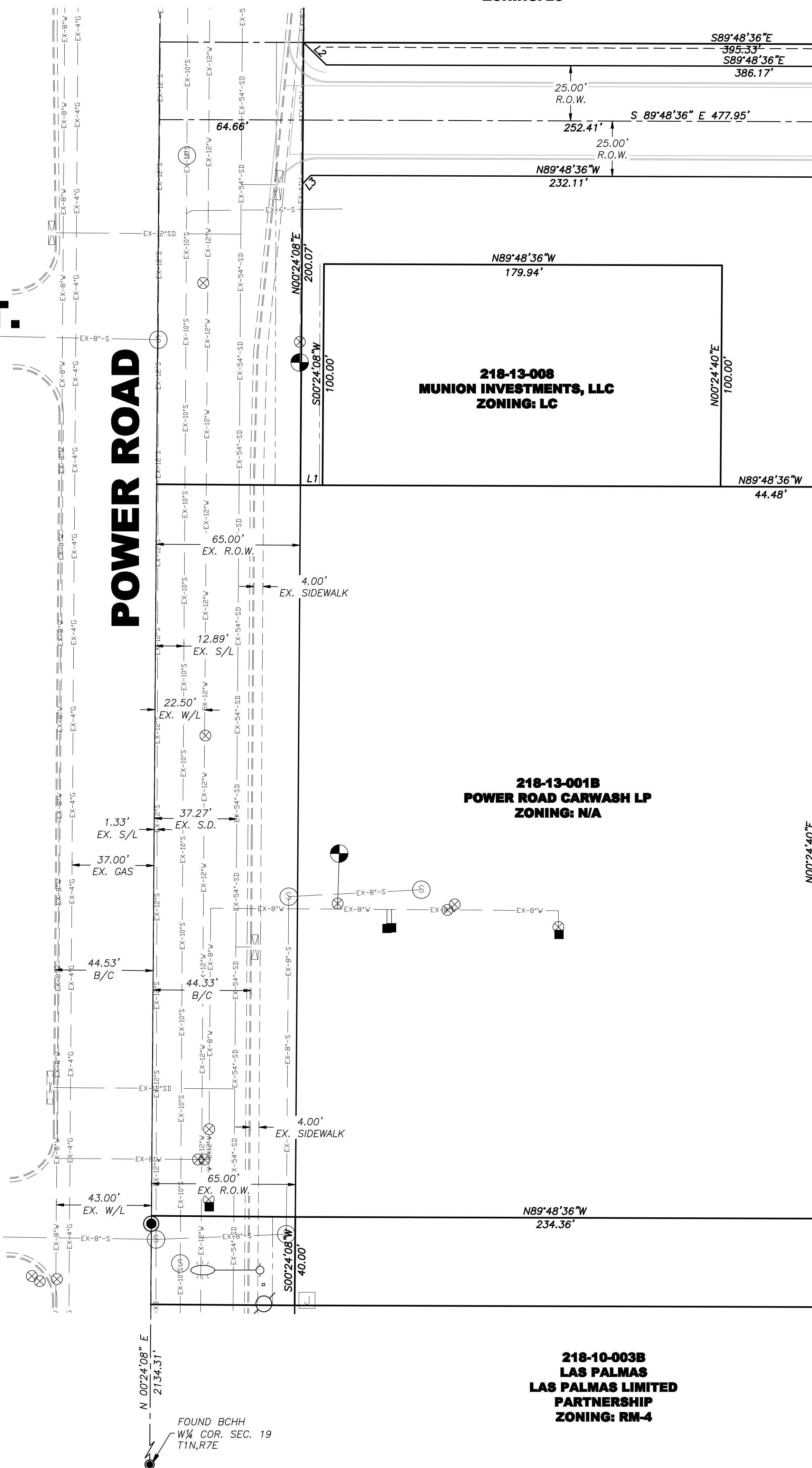
JOB NUMBER	95481	SHEET	2	OF	4
DRAWING	PRELIMINARY PLAT	CHECKED BY		DATE	09-28-16
DRAFTSMAN					

MATCHLINE SEE SHEET 3

MATCHLINE SEE SHEET 4

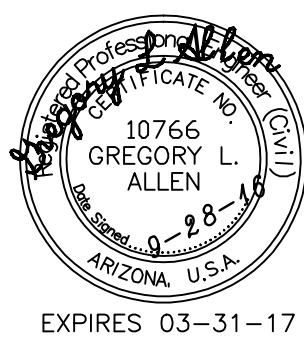
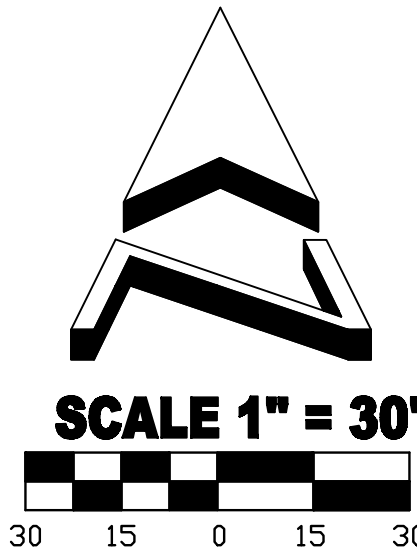
MATCHLINE SEE SHEET 4

E. BILLINGS ST.



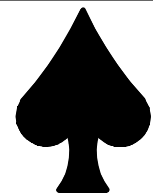
MATCHLINE SEE SHEET 3

MATCHLINE SEE SHEET 4



CALL TWO WORKING DAYS
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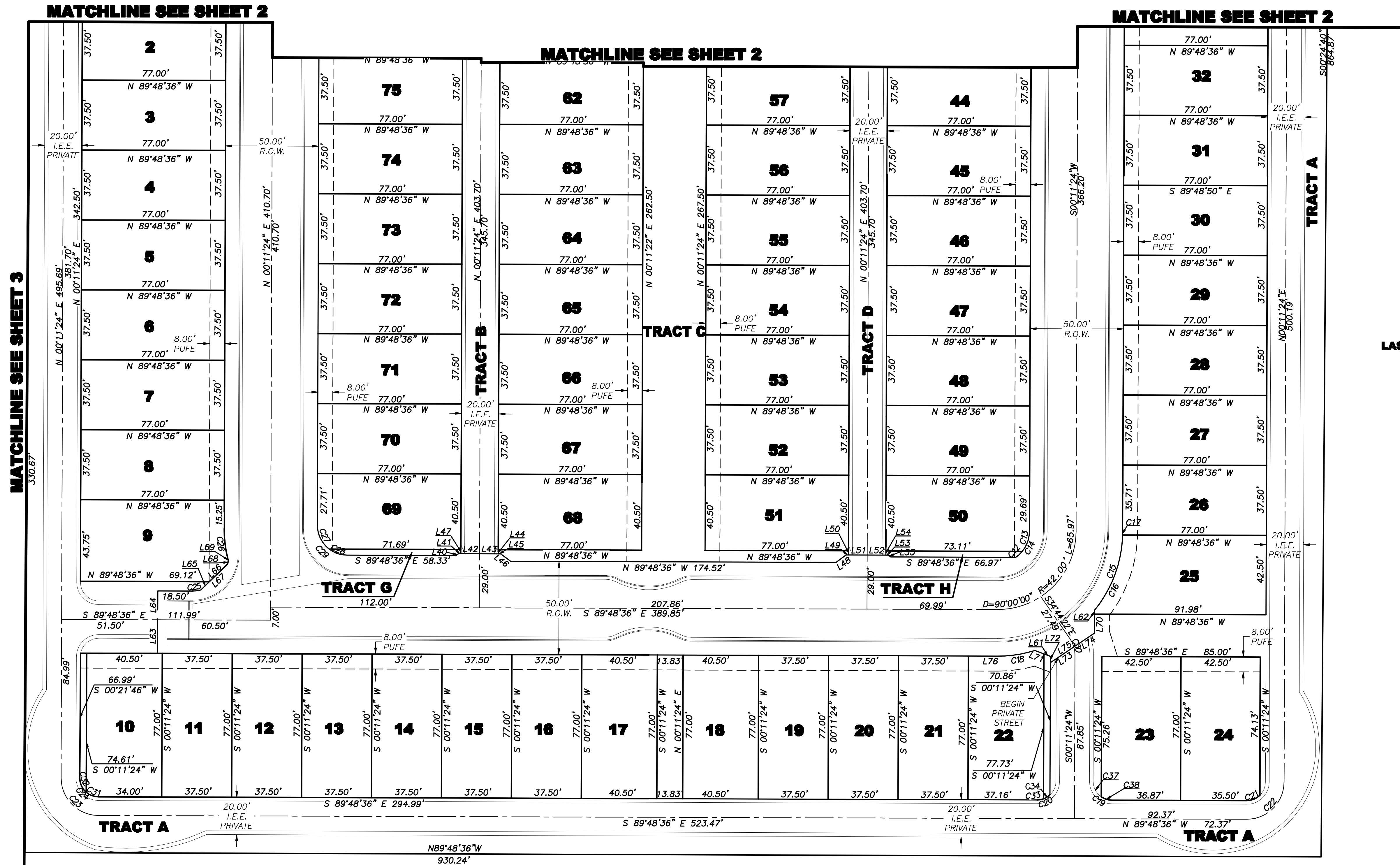
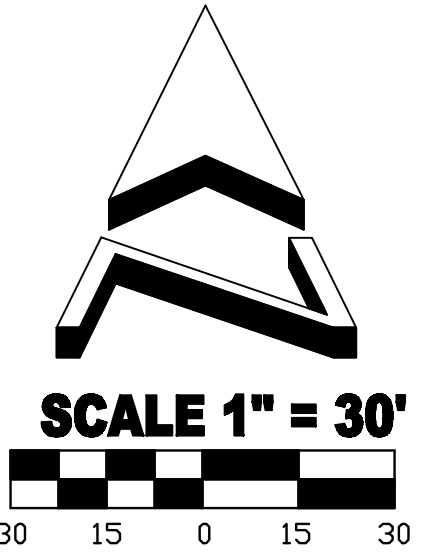


ALLEN CONSULTING ENGINEERS, INC.

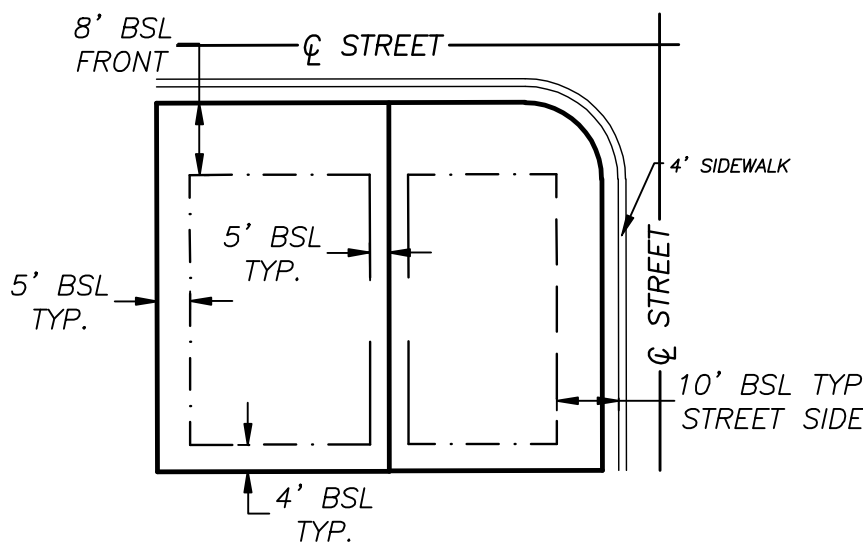
3921 E. BASELINE ROAD #112
GILBERT, ARIZONA 85234
PHONE (480) 844-1666
E-MAIL: ace@allenconsultengr.com

SKYVIEW
HIGHLAND COMMUNITIES
MESA, ARIZONA 85205
PRELIMINARY PLAT

JOB NUMBER	95481	SHEET	3	OF	4
DRAWING	PRELIMINARY PLAT				
DRAFTSMAN	CHECKED BY			DATE	09-28-16



218-10-003B
LAS PALMAS
LAS PALMAS LIMITED
PARTNERSHIP
ZONING: RM-4



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SKYVIEW HIGHLAND COMMUNITIES MESA, ARIZONA 85203 PRELIMINARY PLAT			
JOB NUMBER	95481	SHEET	4 OF 4
DRAWING	PRELIMINARY PLAT	CHECKED BY	DATE 09-28-16
DRAFTSMAN			

Citizen Participation Plan for Skyview

Date: 1 November 2015

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for the Skyview subdivision. The site is located south of University Road and east of Power Road. The application is to rezone approximately 12.5 acres from C-2 to RSL for the single family housing units. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact: Mark Pugmire
1425 South Higley Road #101
Gilbert, Arizona 85296
602.989.0375; 480.279.4000
Email: pugmark@highlandcommunitiesaz.com

Pre-application meeting: The pre-application meeting with City of Mesa planning staff was held on 1 June 2015. Staff reviewed the application and recommended that adjacent residents, Mesa School District and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the applicant will take the following actions to provide opportunities for community members to understand and address any real or perceived development impacts:

1. Develop a contact list that includes:
 - a. All neighborhood associations within one mile of the project.
 - b. Homeowners Associations within one half mile of the project.
 - c. Interested neighbors within 1,000 feet of the project.
 - d. Mesa Public School District, with copies to Red Mountain High School, Fremont Junior High School and Salk Elementary School.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan and invitation to a series of two neighborhood meetings to be held at Red Mountain Library.
 - a. The first meeting will be an introduction to the project and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.

- b. The second meeting will be held two weeks later and will include responses to questions and concerns of the first meeting. A sign-in list and comment cards will be copies and sent to the City of Mesa Planner.
3. Neighborhood Associations and Homeowners Associations within 1,000 feet of the site will be called by telephone to inform them personally of the project and receive comments.
4. Presentations will be made to groups of citizens or neighborhood associations upon request.

Schedule:

Pre-application meeting:	<u>1 June 2015</u>
Initial phone calls	<u>November 2015</u>
First neighborhood meeting	<u>27 JAN 2016</u>
Application submittal	<u>-</u>
Second neighborhood meeting	<u>10 FEB 2016</u>
Submittal of Citizen Participation Report and Notification materials-	_____
Planning and Zoning Board Hearing	_____

NEIGHBORHOOD MEETING NOTICE

Highland Communities, L.L.C., ("Highland") owns approximately 12.5 acres south of University Road and east of Power Road in Mesa, Arizona. Highland plans to develop this parcel as 83 sites suitable for small lot single family detached residences as shown by the accompanying site plan. Consequently, Highland proposes to change the property's current C-2 zoning classification to Residential Small Lot with application of T-3N standards. Highland plans to begin development of the project during September 2016.

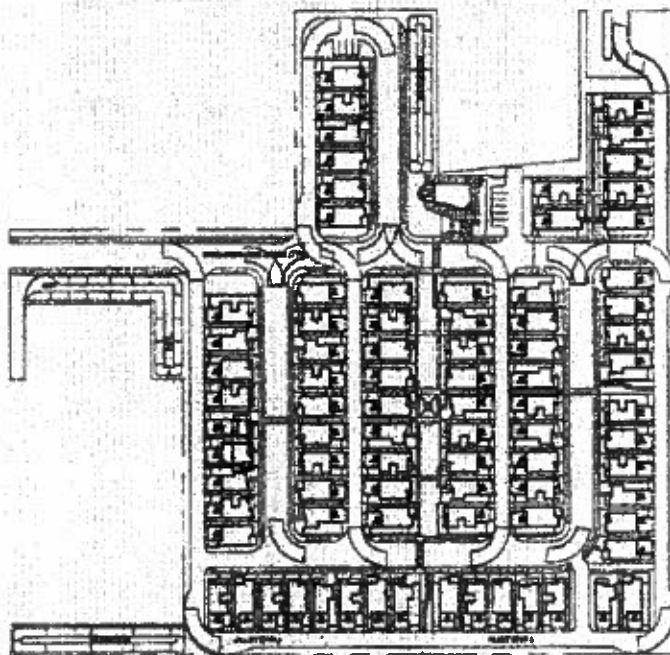
The proposed development affects your community. Highland, therefore, invites you to attend two neighborhood information meetings at the Red Mountain Library. Relevant meeting information is:

Dates: 27 January 2016
10 February 2016
Location: Red Mountain Library
635 North Power Road
Mesa, Arizona 85205
Time: 6:00 p.m. to 7:00 p.m.

Highland representatives will be available to present the project and answer questions. Please inform your neighbors of this meeting.

We look forward to being with you.

SKYVIEW CONCEPT SITE PLAN



Skyview Public Meeting

27 January 2016 – 6:00pm

Red Mountain Mesa Public Library – Roadrunner Room

Highland Communities were represented by Mark Pugmire, Laurel Pugmire, Erik Pugmire & Linda Barragan

Public attendees: George E. Griffith, Larry Popplewell, Rod Peaks, Charles Young, Norma Cross, R. Michael Logan, Karen Hokinson, Todd Lufh

Mr. Pugmire greeted the attendees. He presented information books along with a slide presentation of the proposed neighborhood.

Questions and concerns posed by attendees...

Q: What size lots & setback?

A: T3N Standard, 10 ft. setback. Zero lot line with use easement. Ally load garage, no back yard, but 10 ft. side yard. Lot size: 42.6'X77'

Q: Where are the access roads?

A: Primary access on Power Road, with a secondary break-away emergency access also on Power.

Q: How will we determine where 2 stories are placed? Las Palmas residents concerned about privacy.

A: Buyers will determine. A large portion of the available lots are along the outer perimeter, to stay profitable, 2-stories have not been restricted.

Q: How far along is the project with the City of Mesa?

A: The Pre-Application Meeting is complete and this is the first of 2 Public meetings. The Formal Public Hearing Meeting is about 3-4 months out. Then it will go before the City Council and then to Engineering. We estimate 1 year before we are able to start selling.

Q: Will there be an HOA?

A: Yes

Q: Is there a chance of picking up those extra pieces of land.

A: No

Q: Will there be a perimeter wall?

A: Yes, but not all. There will be a joint wall shared with Las Palmas.

Q: Will CCC&R's be submitted when we go to Planning and Zoning?

A: Not sure.

Q: Lot size?

A: 42'X 77'

Summary of concerns : 2-stories looking down on Las Palmas, density, shared wall maintenance, maintenance of trees along LP wall, ample lighting.

Highland Communities
Skyview Public Meeting Attendance Log
27-Jan-16

<u>Name</u>	<u>Telephone</u>	<u>Email Address</u>
George E. Griffin - LP. HOA Pres.	860-790-5866	CSIGRIFF@Gmail.com
Larry Popplewell		Poipullo Adl. Com
Rob PEAKS		rpeake49@Gmail.com
Charles Young		young 89 @cox.net
Norma Cross		nlcross124@yahoo.com
R. Michael Logan		teamlogan2000@Yahoo.com
Karen Hokenson		THE Khokenson @Thesman.com
Todd Luth - (Investor)		

Las Palmas

480-396-2172

Skyview Public Meeting

10 February 2016 – 6:00 p.m.

Red Mountain Mesa Public Library – Program Room

Highland Communities were represented by Brent Pugmire, Erik Pugmire and Linda Barragan

Public Attendees: Larry Poppleweil, Tracy Roedel, Rod Peake, Wanda O'Brien, Don Nace, Dana Pefferly, Alan Tom

Brent Pugmire conducted the meeting with the assistance of Eric Pugmire. Information books and artist renderings were shared with the attendees.

Those in attendance were pleased that single family homes were planned for that area. Their concerns are much the same as were mentioned in the first meeting.

- 1. Lighting**
- 2. Parking**
- 3. Vegetation**
- 4. Drainage**
- 5. *Traffic**
- 6. 2-story placement and privacy for Las Paimas residents**

***They are very concerned about the amount of traffic at Power and having only one main access on Power that is so close to the University/Power Intersection. They would like to see an access on University.**

Highland Communities
 Skyview Public Meeting Attendance Log
 27 Jan 16 2/10/2016

Name	Telephone	Email Address
Lenny Popplewell	503-880-4279	Poipal@Aol.com
Tracy Roedel	480 294 0722	Tracy@Lscu.com
ROD PEAKE		RPEAKE49@GMAIL.COM
Wanda O'Brien	602-708-1858	O'Brien home 8000@yahoo.com
DON NACE	602-840-8837 6815 UNIVERSITY	NACEFINANCIAL@hotmail.com
Dana Pfefferly	480 285 5416	Dana. Pfefferly@gmail.com
<u>ALAN TOM</u>	<u>480-833-3441</u>	