

Rezoning and Preliminary Plat Project Narrative

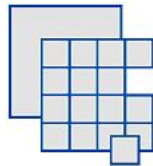
for

**Diamond Court
South of the Southwest Corner of Signal Butte and Broadway Roads
(PS16-028)**

Submitted on Behalf of:

Newmark Homes
Jim Carlson
Newmark Homes
8080 E Geilding Dr., Suite 108
Scottsdale, Arizona 85260

Submitted by:



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

Sean B. Lake
1744 South Val Vista Drive, Suite 217
Mesa, AZ 85204
sean.lake@pewandlake.com

Consultants:

Stuart Rayburn
RCC Design Group, LLC
(480) 598-0270

Christopher Baker
Greythorn Design Studio, LLC
(480) 782-1110

Mark Lewis
Timothy Robins Design, LLC
(623) 341-6574

Submitted to:

The City of Mesa
55 North Center Street
Mesa, AZ 85201

Submitted July 6, 2016

Introduction

Pew & Lake, PLC, on behalf of Newmark Homes, is pleased to submit this application for Diamond Court, a proposed single family home subdivision located south of the southwest corner of Signal Butte and Broadway Roads in Mesa, Arizona (the “site”). This infill parcel contains 3.1 gross acres and is identified on the Maricopa County Assessor’s map as parcel 220-71-004F. As shown on the aerial map below in **Fig. 1.0**, the site is an irregular, triangular piece of property nestled between the RWCD canal, Signal Butte Road, and an LDS Church on the north.

Fig. 1.0: Aerial Map



Existing Conditions

The project site is currently zoned RS-43 and is designated in the City of Mesa General Plan as Neighborhood Suburban. It is an oddly shaped, infill “remnant” parcel which remains undeveloped after being used by the Roosevelt Water Conservation District. Its relationship to surrounding properties is shown in the graphic below. It is surrounded on all four sides by parcels with similar General Plan Designations and other residential zoning classifications as indicated in the chart below:

Fig. 2.0 Relationship to Surrounding Uses

Direction	General Plan Land Use	Existing Zoning	Existing Use
North	Neighborhood Suburban	RS-43	Religious Use
East	Neighborhood Suburban	RS-6	Signal Butte Road/Residential
South	Neighborhood Suburban	RS-43	RWCD Canal
West	Neighborhood Suburban	RS-43	RWCD Canal
Project Site	Neighborhood Suburban	RS-43	Vacant

Request

This application contains two requests:

1. To rezone the site from RS-43 to RSL-3.0 PAD.
2. Approval of the preliminary plat as submitted.

Approval of these requests will allow for the development of a 19-lot single family detached residential subdivision as shown on the Preliminary Site Plan included as **Exhibit A** of this narrative. The developer and engineer have worked diligently to create a site plan which: 1) incorporates creative street alignments and circulation for adequate ingress and egress, 2) creates and distributes open space both on the developed lot and throughout the site and 3) makes efficient use of the irregularly shaped parcel. The development of this property as a residential use will complement the residential pattern established by the site to the east and provides an ideal infill development solution.

Development Standards

Per Table 11-5-4 B, Chapter 5 of the Mesa Zoning Ordinance, the RSL-3.0 development standards will be met by the Diamond Court development.

Fig. 3.0 RSL-3.0 Development Standards

Standard	Required	Proposed
Minimum Average Lot Area within Subdivision	3,250 square feet	3,730square feet
Minimum Individual Lot Area	2,750 square feet	3,200square feet
Minimum Lot Width-Interior Lot	25 feet	25 feet
Minimum Lot Width-Corner Lot	30 feet	40 feet
Minimum Lot Depth	80 feet	80
Maximum Height (ft.)	30	30
Maximum Number of Stories	2	2
Minimum Yard Size (ft.):		
Front (building wall)	15	15
Front- Garage	20	18*
Front- Porch	10	10
Street Side	10	10
Interior side: minimum each side**	4	4
Interior Side: Minimum aggregate of 2	9	9***
Rear	20	20*****
Rear or side- garage, accessed by alley or common drive shared by 3 or more lots, measured to construction centerline of alley	13'	n/a
Minimum Useable Open Space (sq. ft.) per unit*****	400 sq. ft.	1098 sq. ft.

Table Notes:

* 18 feet from face of garage to property line, 20 feet to back of sidewalk.

**Interior Side- Minimum Each Side Provided will be 4 feet.

Additional development standards for the RSL-3.0 district related to building form, accessory structures, fences & walls, landscaping, parking, signs, and other elements found in the City's zoning ordinance are also subject to compliance by this development.

*** Front porch may encroach 1 foot into side yard setback.

**** Rear patio shall be allowed to encroach 8 feet into rear 20 foot setback.

*****400 S.F. of usable open space per unit x 19 units = 7,600 S.F. (.17 AC) required. The proposed plan provides 1, 098 S.F. of usable open space per lot

Design Elements

Per Table 11-5-4-A of the City of Mesa Zoning Ordinance, there are five design elements which must be implemented in this subdivision to achieve the RSL 3.0 designation. The developer has chosen to implement the following Design elements in consideration of reduced lot size and the 3.0 designator:

- **Parkland and Open Space:** The open space proposed in this subdivision is 20,866 square feet, or 16.8% of the net acreage. This is 1,098 square feet per lot and more than double the code requirement of 400 square feet of open space per lot in an RSL-3.0 subdivision. As shown on the landscape plan submitted with this application, there are two tracts which provide the majority of the open space in this project. The largest of the two open space tracts contains shaded seating areas, a ramada with picnic tables, a large play structure and turf areas.
- **Paving Material:** As shown on the landscape plan submitted with this application, two decorative paving materials will be applied at the main entry to the development.
- **Variable Front Yards:** As shown on the preliminary plat, 10 of the lots in this small subdivision will have front yards that are 17' deep or greater. The others will be 15' deep.
- **Entries and Porches:** At least 50% of the homes in this subdivision will have front porches which meet the minimum width of 8 feet and a minimum depth of four feet.
- **Architectural Diversity:** There will be five unique floor plans offered in this 19-lot subdivision, and four different elevation options.

Proposed Plan

The homes proposed at Diamond Court will range from roughly 1,500 to over 2,000 square feet in size. Five (5) different floorplans will be available and four (4) different elevations for each plan will be available. The five different floorplans have been submitted concurrently with the rezoning application (Plans 1520, 1610, 1675, 1798 and 2050)

Elevations which will be offered at Diamond Court are shown on the next page in **Fig 4.0**. The minimum lot size contained in the subdivision is 3,200, while the average lot size is 3,750. These proposed lot dimensions exceed the individual minimum and average lot size outlined in the development standards for the RSL-3.0 zoning classification.

Fig. 4.0 Elevations



PLAN ONE ELEVATION A
SCHEME A.1



PLAN FOUR ELEVATION D
SCHEME A.2



PLAN FIVE ELEVATION A
SCHEME C.11



PLAN TWO ELEVATION B
SCHEME B.5



PLAN THREE ELEVATION C
SCHEME C.9

Circulation and Parking

Vehicular access to this subdivision is proposed by a single point of entry from Signal Butte Road. There will be two cul-de-sac streets branching off from the entry to the subdivision. The streets in this subdivision are planned as 34-foot, public streets with sidewalks on both sides of the street. This allows for ample on-street guest parking in this small-lot subdivision. Each of the homes in this subdivision has a two-car garage.

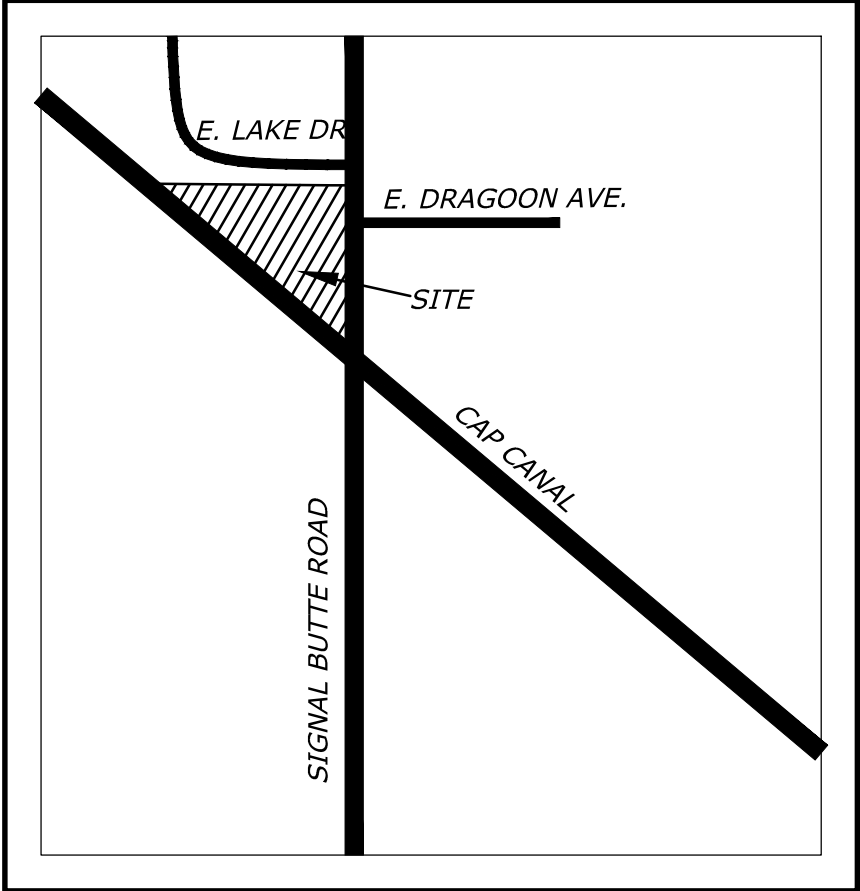
Conclusion

This proposal for Diamond Court will provide a traditional single family detached residential project within the City of Mesa that will establish a new neighborhood in a unique setting. This subdivision will create an opportunity for additional housing choices in this area.

This application is consistent with the land use patterns already established in the immediate area and is therefore compatible with the vision established by the City of Mesa General Plan and Zoning Ordinance. The applicant and property owner look forward to working with the City of Mesa to create this quality single-family home subdivision, and respectfully request approval of this application.

PRELIMINARY PLAT
FOR
DIAMOND COURT
MESA, ARIZONA

A PORTION OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 1 NORTH,
RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA
S. OF SWC OF SIGNAL BUTTE AND BROADWAY ROADS, MESA, ARIZONA



VICINITY MAP
NOT TO SCALE

OWNER / DEVELOPER:
NEWMARK HOMES
ATTN: JIM CARLSON
8080 E. GELDING DRIVE, SUITE 1088
SCOTTSDALE, AZ 85260
480.505.4600

APPLICANT:
PEW & LAKE, PLC
ATTN: SEAN LAKE
1744 S. VAL VISTA DRIVE, SUITE 217
MESA, AZ 85204
480.461.4670

ENGINEER:
RCC DESIGN GROUP, LLC
ATTN: STUART W. RAYBURN, P.E.
4505 E. CHANDLER BLVD., SUITE 265
PHOENIX, AZ 85048
480.598.0270
480.598.0273 FAX

LANDSCAPE ARCHITECT:
GRAYTHORN DESIGN STUDIO, LLC
ATTN: CHRISTOPHER BAKER
1881 E. HARRISON STREET
CHANDLER, AZ 85225
480.782.1110

DESCRIPTION:
SMALL LOT SINGLE FAMILY RESIDENTIAL
SUBDIVISION WITH NOMINAL LOT SIZE OF
40' X 80' FOR 19 TOTAL LOTS.

SITE AREA:
GROSS SITE AREA = 135,130 SF
OR 3.102 ACRES
NET SITE AREA=124,064 SF
OR 2.848 ACRES

ZONING: RS-43 (EXISTING)
RSL-3.0 (PROPOSED)

SETBACKS:
FRONT = 15'-17'
SIDE = 4'-5'
REAR = 20'

COMMON OPEN SPACE:
REQUIRED = 1205 SF/LOT = 2,280 SF
PROVIDE = 20,866 SF (16.8%)

APN: 220-71-004F

CURRENT USE: VACANT

DENSITY: 6.67 DU/AC

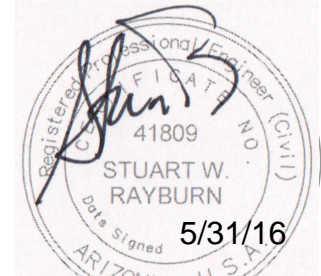
PARKING REQUIRED: 38 SPACES (2 PER UNIT)

PARKING PROVIDED:
GARAGE PARKING: 38 (2 PER UNIT)
DRIVEWAY: 19 (1 PER UNIT)
TOTAL PARKING: 57 SPACES

NOTES:
1. THIS PLAN IS NOT A CONSTRUCTION DOCUMENT
2. ALL ROADS TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MESA STANDARDS
3. LOT DIMENSIONS ARE APPROXIMATE. FINAL DIMENSIONS SHALL BE PER THE FINAL PLAT.
4. THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE TRACTS.
5. THIS DEVELOPMENT WILL PROVIDE ANY REQUIRED STREETLIGHTS.
6. DRAINAGE CONCEPTS ARE SHOWN ON THE PRELIMINARY GRADING AND DRAINAGE PLAN.

RCC
DESIGN
GROUP, LLC
"...WHATEVER IT TAKES"

4505 E. CHANDLER BLVD.
SUITE 265
PHOENIX, AZ 85048
480.598.0270
480.598.0273 FAX
CIVIL & SITE ENGINEERING SERVICES



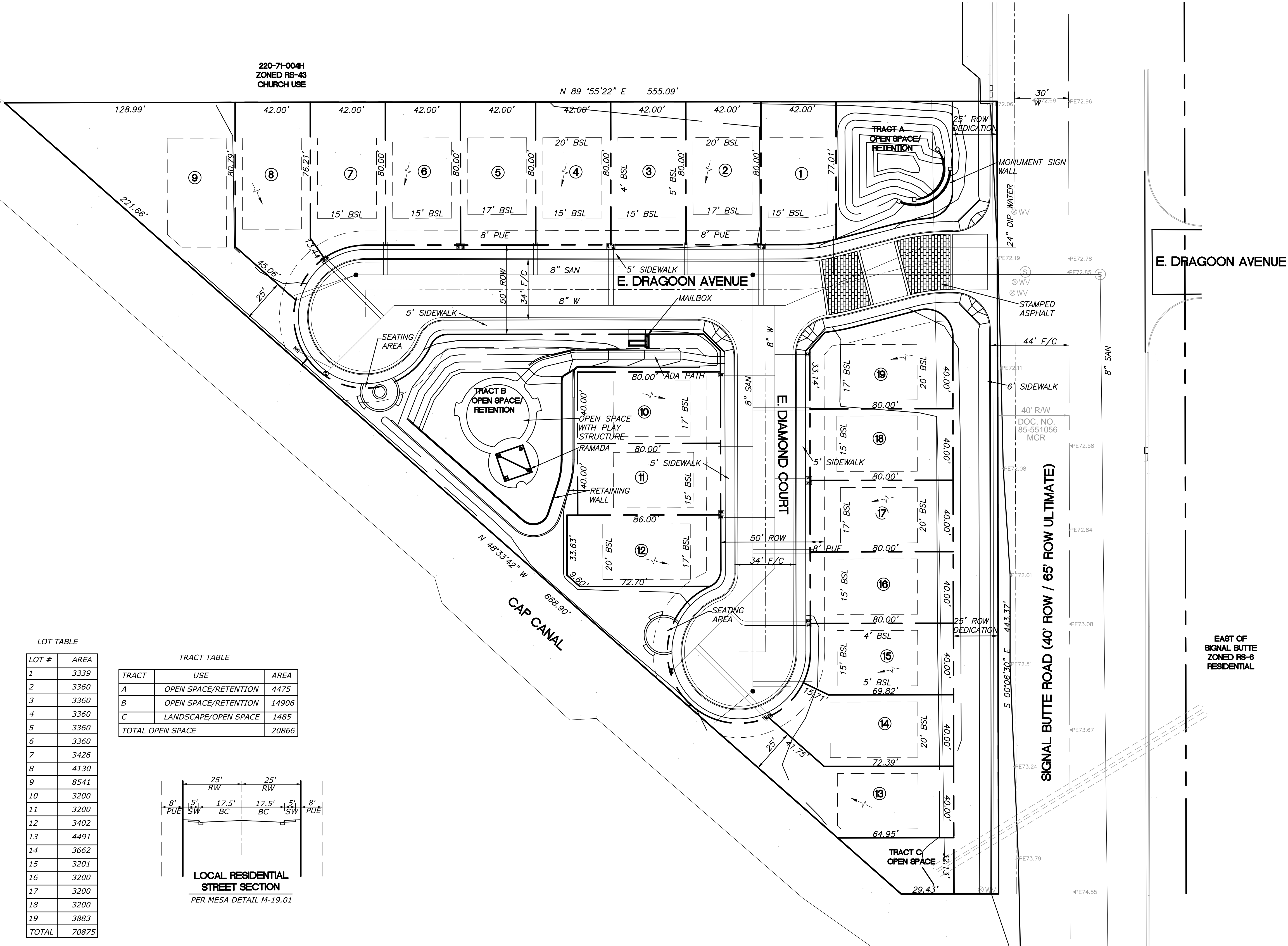
Expires 12/31/16



PRELIMINARY PLAT
FOR
DIAMOND COURT
S. OF SWC OF SIGNAL BUTTE AND BROADWAY ROADS
ARIZONA
MESA

PROJECT NO. 16-014-50
DRAWING NO. 00427
DATE: 05/30/16
DRAWN BY: JSR/SWR
CHECKED BY: JSR/SWR
REVISIONS:

SHEET NO.
C 1.0
1 OF 1
PRELIMINARY
PLAT

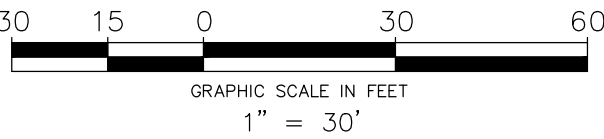
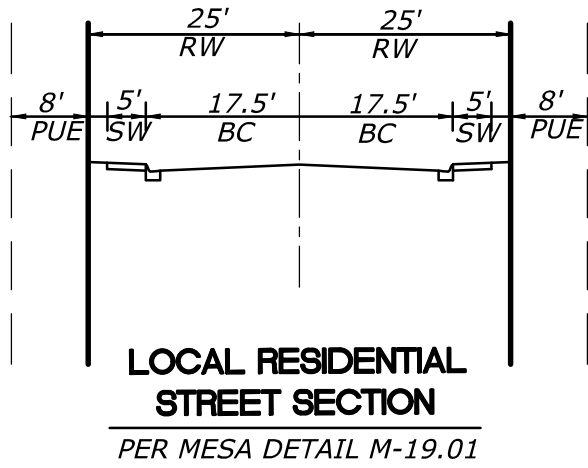


LOT TABLE

LOT #	AREA
1	3339
2	3360
3	3360
4	3360
5	3360
6	3360
7	3426
8	4130
9	8541
10	3200
11	3200
12	3402
13	4491
14	3662
15	3201
16	3200
17	3200
18	3200
19	3883
TOTAL	70875

TRACT TABLE

TRACT	USE	AREA
A	OPEN SPACE/RETENTION	4475
B	OPEN SPACE/RETENTION	14906
C	LANDSCAPE/OPEN SPACE	1485
TOTAL OPEN SPACE		20866





Diamond Court

S of SWC of Signal Butte and Broadway Roads
Mesa, Arizona

Owner: Newmark Homes
8080 E. Gelding Dr., Ste. 108
Scottsdale, Arizona 85260
P: 480. 505. 4600
Contact: Jim Carlson

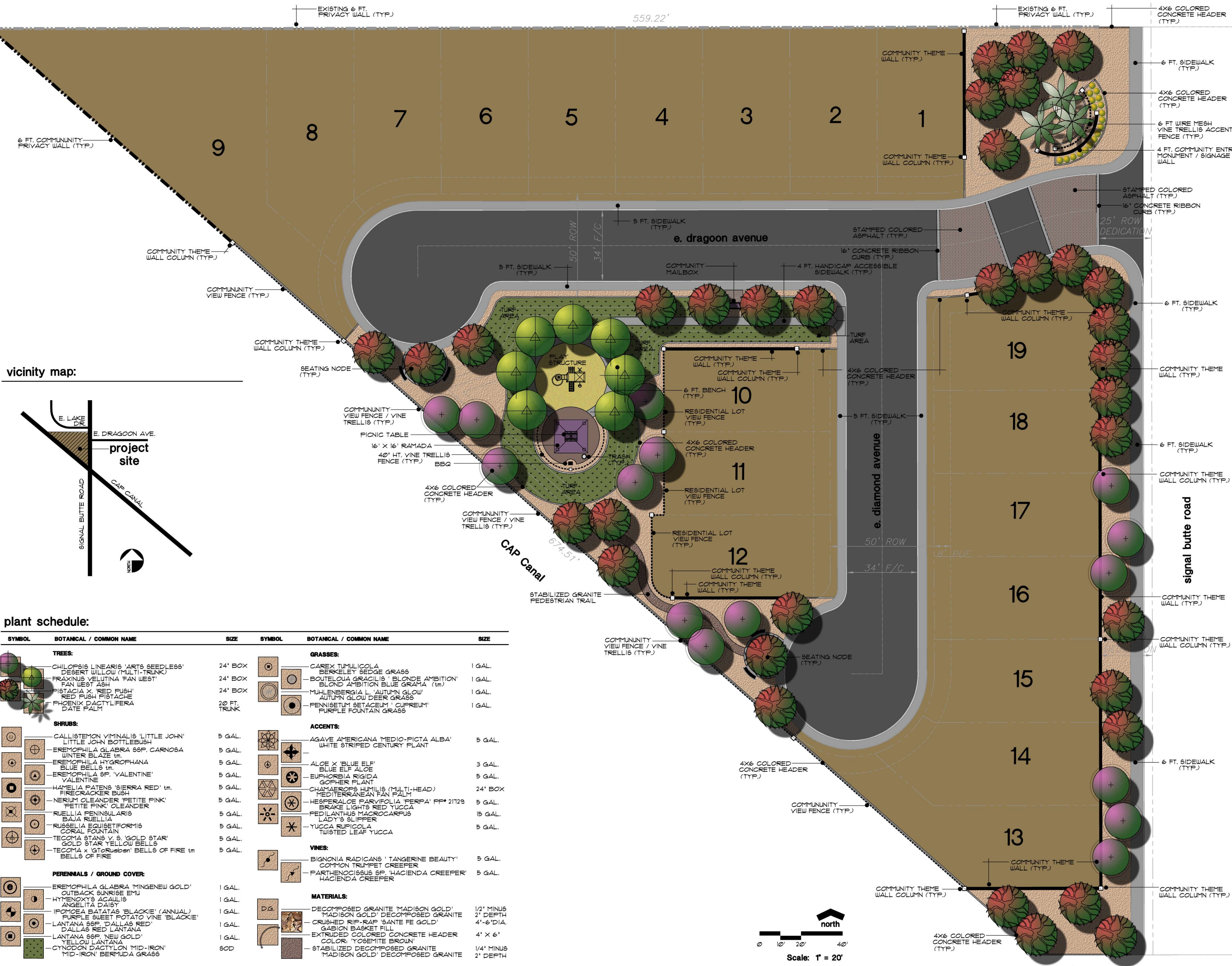
Applicant: Pew & Lake, PLC
1744 S. Val Vista Dr., Ste 217
Mesa, Arizona 85204
P: 480. 461. 4670
Contact: Sean Pew

Engineer: RCC Design Group, LLC
4505 E. Chandler Blvd., Ste. 265
Phoenix, Arizona 85048
P: 480. 598. 0270
Contact: Julie S. Rayburn, P.E.

Landscape Architect: Graythorn Design Studio, LLC
1881 E. Harrison Street
Chandler, Arizona 85225
P: 480. 782. 1110
Contact: Christopher Baker, RLA

Date : May 26, 2016

conceptual
landscape plan





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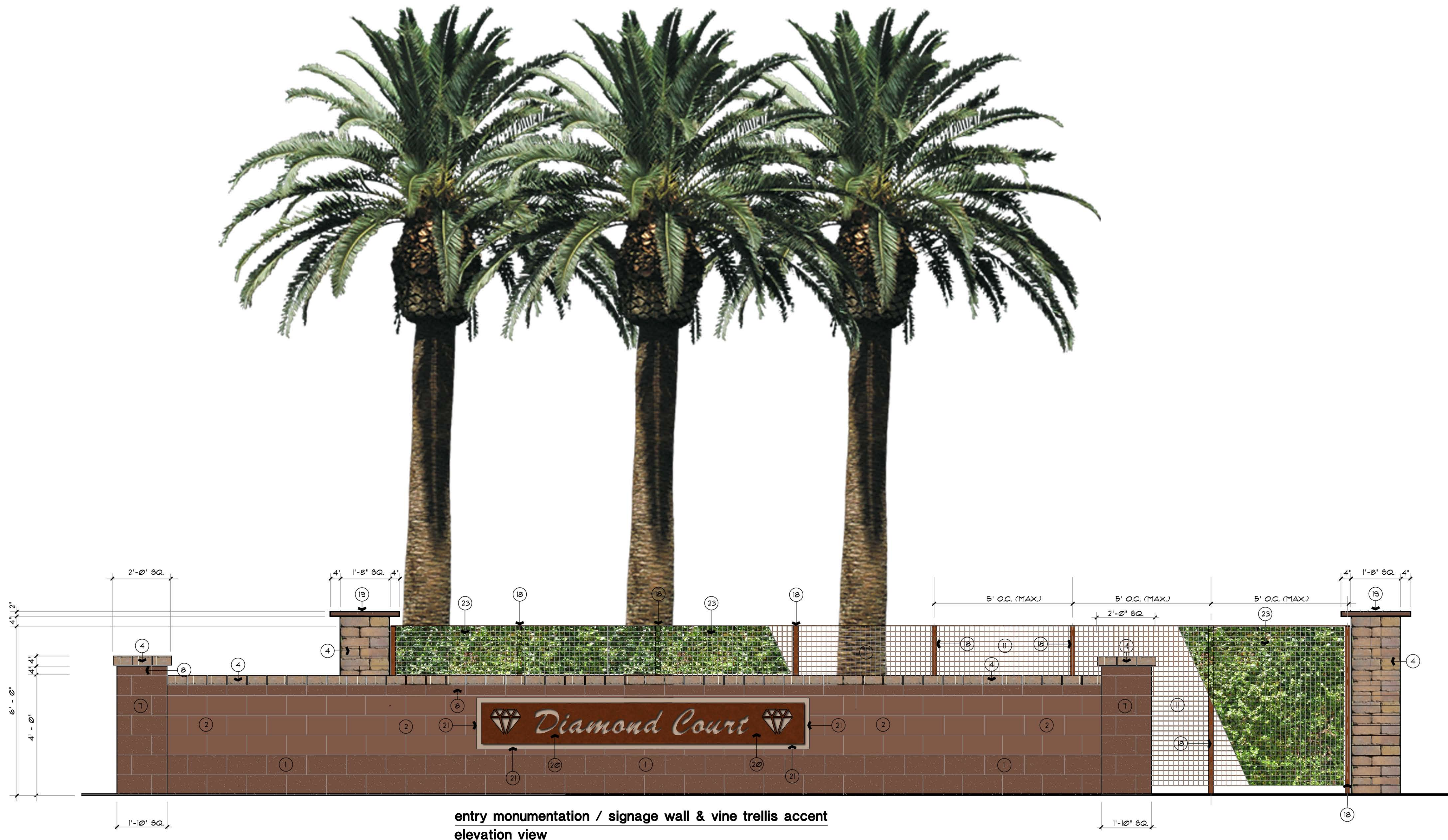
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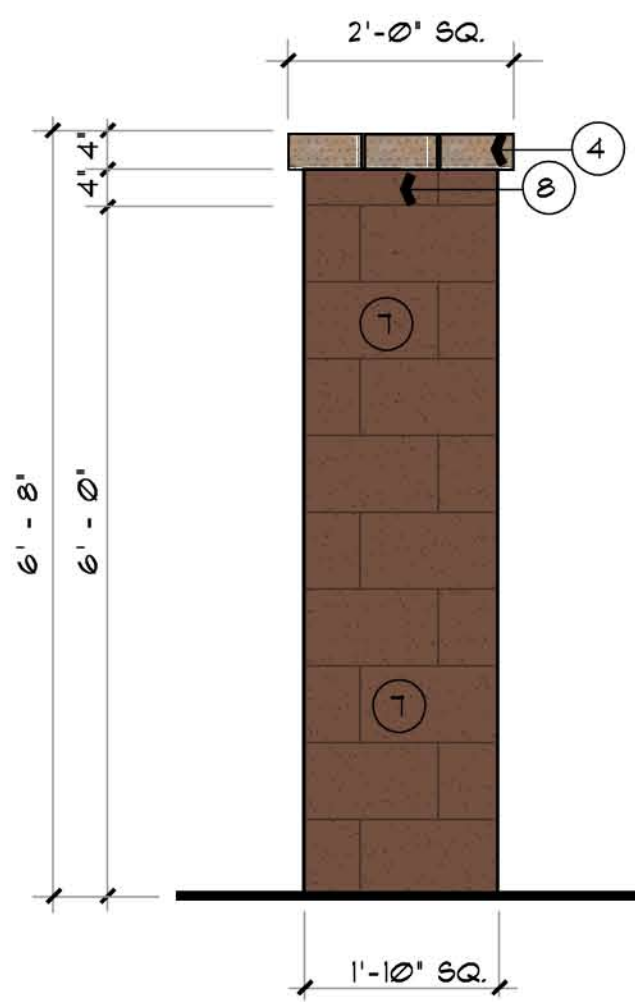
Date : May 26, 2016

community entry
monumentation /
signage

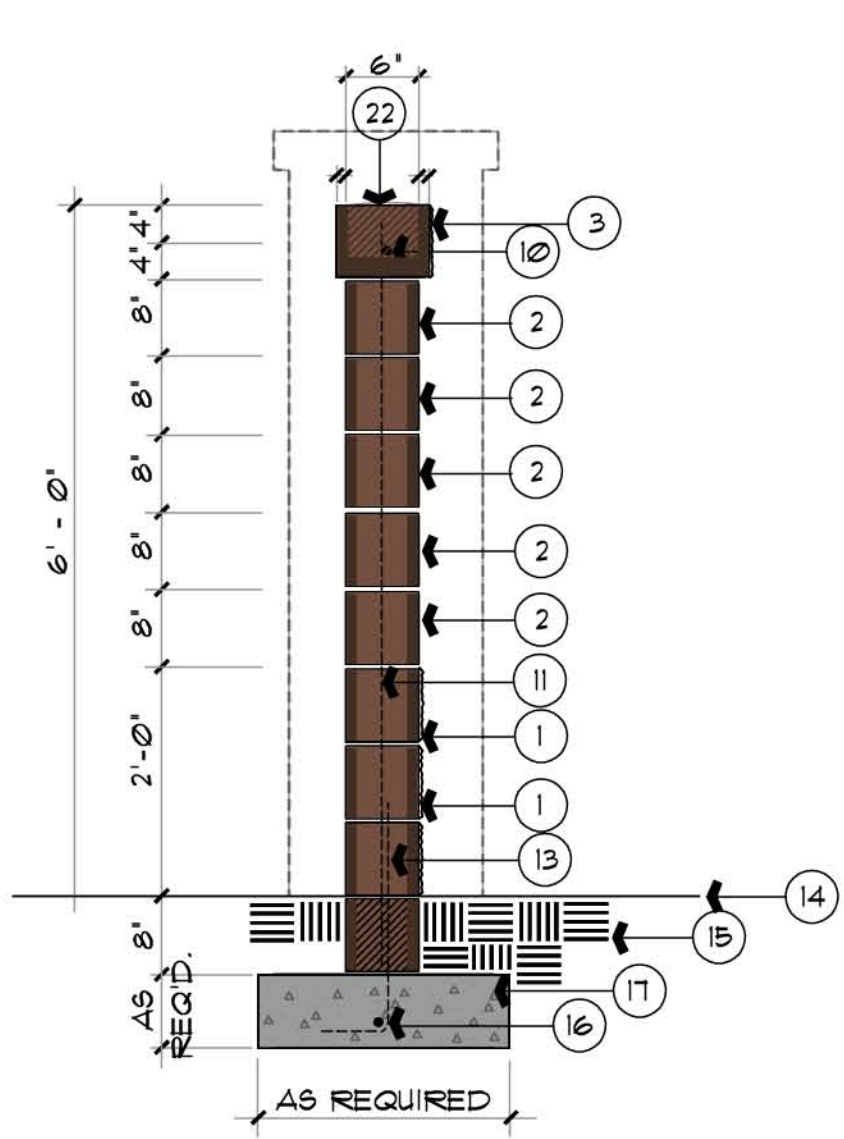


community theme & view wall construction notes:

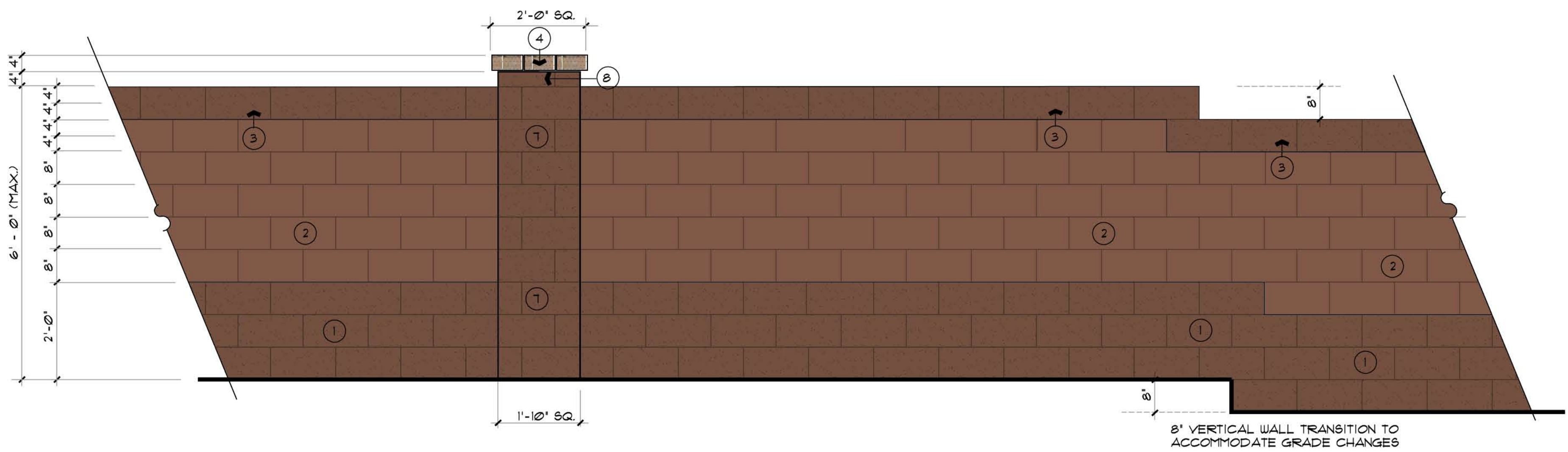
- | | | | |
|--|--|--|--|
| ① 6" X 8" X 16" CMU SPLIT-FACE BLOCK (SP18) PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRV11 | ⑦ 6" X 8" X 16" CMU SPLIT-FACE BLOCK (SP18E) PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRV11 | ⑫ VERTICAL REBAR (SIZE & SPACE AS REQUIRED) | ⑲ PHOENIX PRECAST PRODUCTS LEDGESTONE SERIES CAPS - LCC 24 COLOR: SAGE |
| ② 6" X 8" X 16" CMU SMOOTH FACE BLOCK PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRV11 | ⑧ 6" X 4" X 16" CMU SPLIT-FACE BLOCK (SP18E) PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRV11 | ⑬ DOUELS TO MATCH 4 LAP VERTICAL REINFORCEMENT. SOLID GROUT WALL GRADE. | ⑳ LASER-CUT COMMUNITY SIGNAGE. TT SIGNATURE FONT. LIGHTWEIGHT SOLID RUSTED STEEL METAL PANEL OFFSET 2" FROM GALVANIZED PANEL W/ SPACERS. |
| ③ 8" X 8" X 16" CMU SPLIT-FACED BLOCK (SP18) PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRV11 | ⑨ 6" X 4" X 16" CMU SMOOTH FACE BLOCK PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRV11 | ⑭ FINISH GRADE | ㉑ 1/16" GALVANIZED STEEL SOLID METAL PANEL, PAINT REAR PANEL FRAZEE COLOR: DE6123 'TRAIL DUST' |
| ④ BELGARD WESTON STONE UNIVERSAL BLOCK 4" X 8" X 12" COLOR: BELLA BLEND | ⑩ HORIZONTAL REBAR IN A 6" GROUTED BOND BEAM. SIZE REBAR AS REQUIRED. | ⑮ 90% COMPACTED SUBGRADE | ㉒ ROUNDED MORTAR CAP (TYP.) |
| ⑤ BELGARD WESTON STONE UNIVERSAL BLOCK 4" X 8" X 12" COLOR: BELLA BLEND (TRIM BLOCK TO 10' LENGTH) | ㉑ MONICOLS STEEL 1-1/2" X 1-1/2" RUSTED STEEL WELDED WIRE MESH FABRIC. STOCK #368891005 5 FT. X 10 FT. WIRE MESH PANEL (10 GAUGE) TACK WELD WIRE MESH TO STEEL POST. | ⑯ 2500 PSI CONC. FOOTING. SIZE PER STRUCTURAL RECOMMENDATION | ㉓ SELF-CLIMBING VINE / GREEN WALL |
| ⑥ 2" X 8" X 16" CMU SMOOTH FACE CAP BLOCK PAINT FRAZEE COLOR: RAVENWOOD (8315D) | | ⑰ 2" SQ. RUSTED STEEL POST. INSERT (1) #4 REBAR IN CENTER OF SQUARE TUBE AND GROUT SOLID FOR LONG-TERM STABILITY. INSERT FLAT BLACK PLASTIC CAP WHEN COMPLETE. | |



6 ft. community theme wall column - elevation



6 ft. community theme wall - section

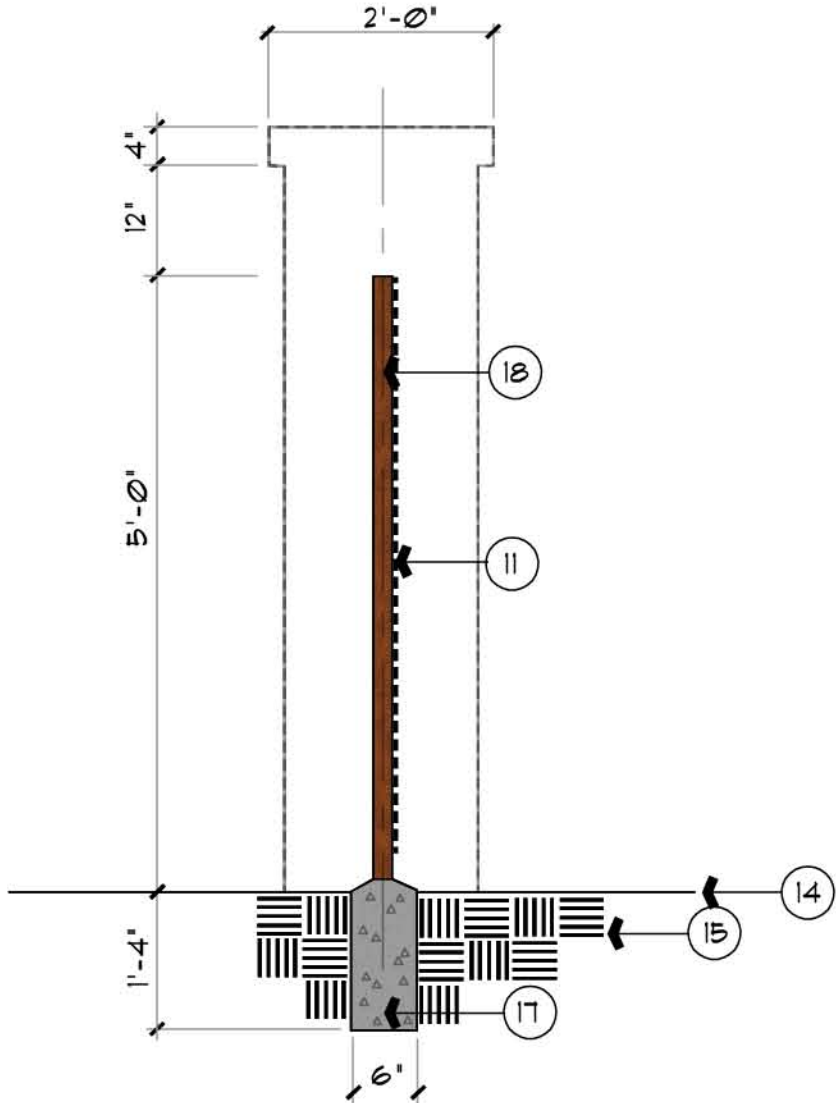


6 ft. community theme wall - elevation

theme wall vertical grade transition



5 ft. community view fence / vine trellis - elevation



5 ft. community view fence section

community theme & view wall construction notes:

- ① 6" X 8" X 16" CMU SPLIT-FACE BLOCK (SP18) PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRVIT
- ② 6" X 8" X 16" CMU SMOOTH FACE BLOCK (SP18) DCBB SOLID BOTTOM PAINT FRAZEE COLOR: RAVENWOOD (8315D) LRVIT
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- ⑤ BELGARD WESTON STONE UNIVERSAL BLOCK 4" X 8" X 12" COLOR: BELLA BLEND (TRIM BLOCK TO 10' LENGTH)
- ⑥ 2" X 8" X 16" CMU SMOOTH FACE CAP BLOCK PAINT FRAZEE COLOR: RAVENWOOD (8315D)
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- ⑩ HORIZONTAL REBAR IN A 6" GROUTED BOND BEAM. SIZE REBAR AS REQUIRED.
- ⑪ MONICOLS STEEL 1-1/2" X 1-1/2" RUSTED STEEL WELDED WIRE MESH FABRIC. STOCK #368831025 5 FT. X 10 FT. WIRE MESH PANEL (10 GAUGE) TACK WELD WIRE MESH TO STEEL POST.
- ⑫ VERTICAL REBAR (SIZE & SPACE AS REQUIRED)
- ⑬ DOUELS TO MATCH 4 LAP VERTICAL REINFORCEMENT. SOLID GROUT WALL GRADE.
- ⑭ FINISH GRADE
- ⑮ 90% COMPACTED SUBGRADE
- ⑯ HORIZONTAL REBAR - CONTINUOUS (SIZE AS REQUIRED)
- ⑰ 2500 PSI CONC. FOOTING. SIZE PER STRUCTURAL RECOMMENDATION
- ⑱ 2" SQ. RUSTED STEEL POST. INSERT (1) #4 REBAR IN CENER OF SQUARE TUBE AND GROUT SOLID FOR LONG-TERM STABILITY. INSERT FLAT BLACK PLASTIC CAP WHEN COMPLETE.
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- ㉒ MORTAR CAP (TYP.)
- ㉓ SELF-CLIMBING VINE / GREEN WALL



5 FT. RUSTED STEEL WIRE MESH VIEW FENCE
1-1/2" X 1-1/2" RUSTED STEEL WIRE MESH FENCE (10 GAUGE)



WESTON STONE ACCENT BLOCK (COLOR: BELLA BLEND) W/ A FRAZEE COLOR 8315D RAVENWOOD PAINT CHIP (PROPOSED THEME WALL COLOR)



Diamond Court

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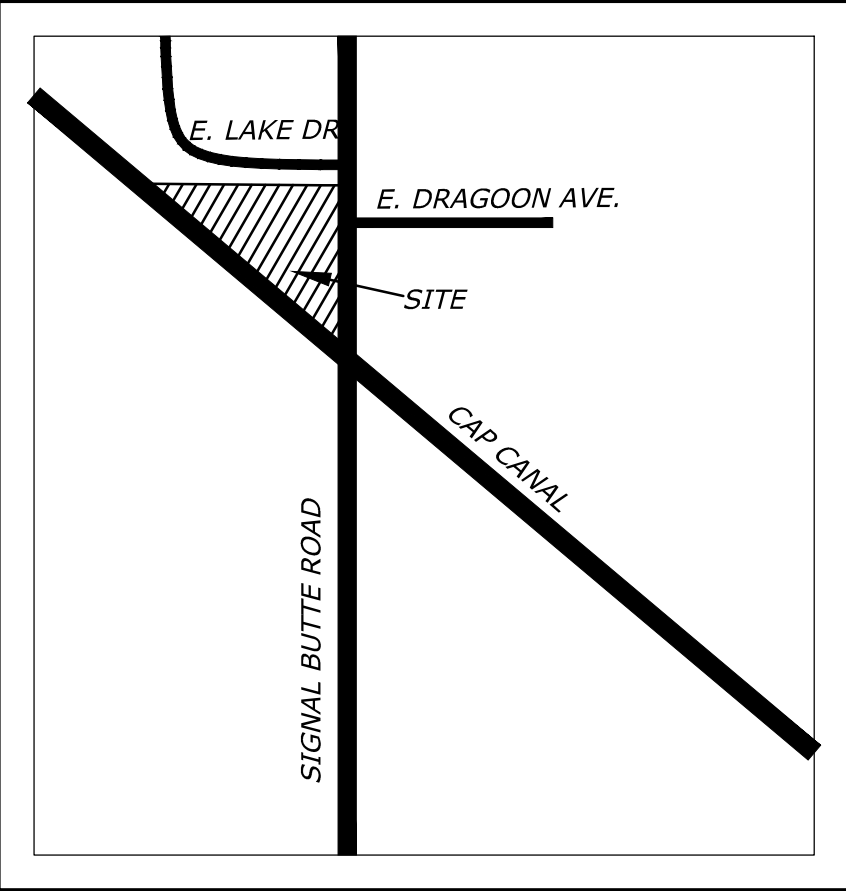
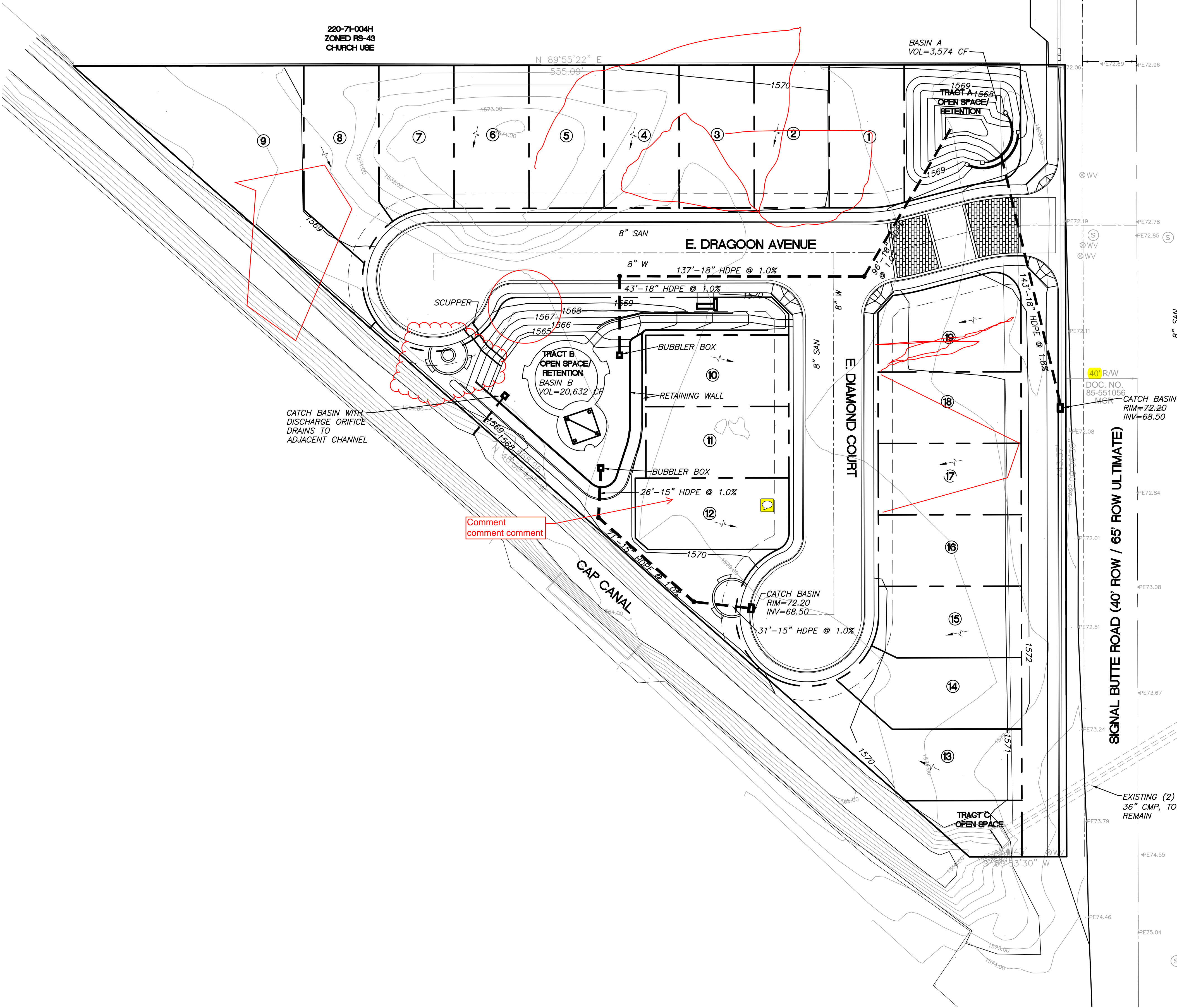
Landscape Architect: Graythorn Design Studio, LLC
1881 E. Harrison Street
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P: 480. 782. 1110
Contact: Christopher Baker, RLA

Date : May 26, 2016

theme wall &
view fence plan

PRELIMINARY GRADING AND DRAINAGE PLAN
FOR
DIAMOND COURT
MESA, ARIZONA

A PORTION OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 1 NORTH,
RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
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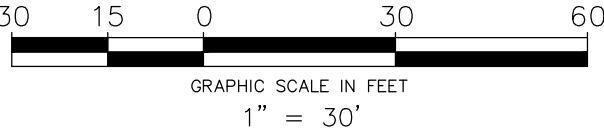
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SMALL LOT SINGLE FAMILY RESIDENTIAL
SUBDIVISION WITH NOMINAL LOT SIZE OF
40' X 80' FOR 19 TOTAL LOTS. PROJECT
INCLUDES SUBSTANTIAL OPEN SPACE SPREAD
THROUGHOUT THE DEVELOPMENT.

SITE AREA:
GROSS SITE AREA = 135,130 SF
OR 3.102 ACRES
NET SITE AREA=124,064 SF
OR 2.848 ACRES

APN: 220-71-004F

BENCHMARK: CITY OF MESA BRASS TAG ON
TOP OF CONCRETE LOCATED AT THE
SOUTHEAST CORNER OF BROADWAY ROAD
AND SIGNAL BUTTE ROAD.
ELEVATION=1582.69, NAVD88 (CITY OF MESA
DATUM)

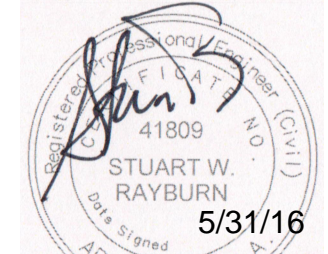
RETENTION CALCULATIONS:
A=152,880 SF OR 3.5096 AC (INCLUDING $\frac{1}{2}$ STREET)
C=0.82
P=2.3 IN/HR (100-YR, 2-HR STORM)
V-REQUIRED=(2.3/12)X(3.5096)X(0.82)=0.5516 AC-FT OR 24,028 CF
V-PROVIDED= 3,574 CF (BASIN A) + 20,632 CF (BASIN B) = 24,206 CF
STORMWATER DISCHARGE BY ORIFICE CONTROLLED GRAVITY OUTLET
INTO ADJACENT DRAINAGE CHANNEL



RCC
DESIGN
GROUP, LLC
"...WHATEVER IT TAKES."

4505 E. CHANDLER BLVD.
SUITE 265
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CIVIL & SITE ENGINEERING SERVICES



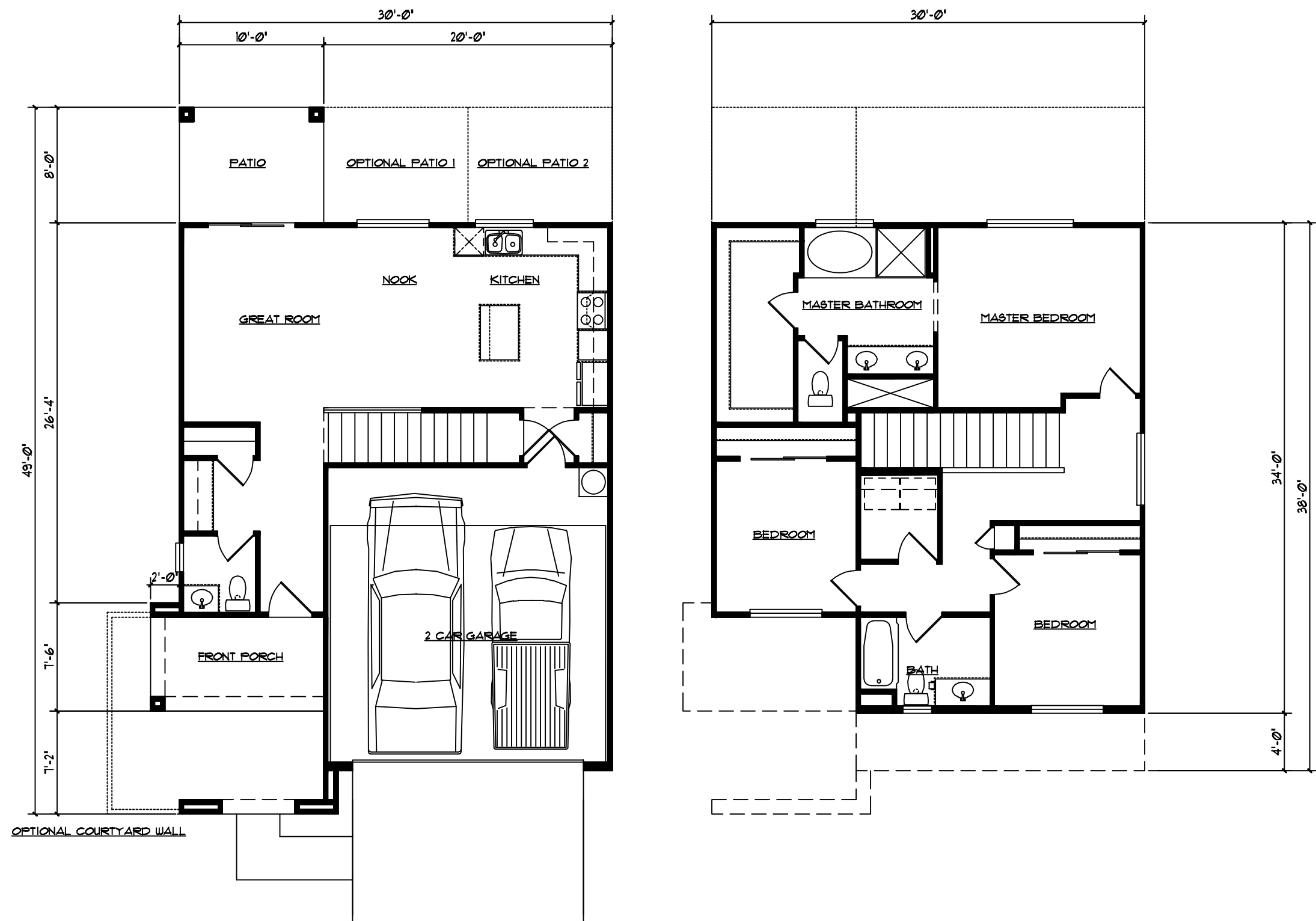
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PRELIMINARY GRADING AND DRAINAGE PLAN
FOR
DIAMOND COURT
S. OF SWC OF SIGNAL BUTTE AND BROADWAY ROADS
MESA
ARIZONA

PROJECT NO. 16-014-50
DRAWING NO. 00427
DATE: 05/30/16
DRAWN BY: JSR/SWR
CHECKED BY: JSR/SWR
REVISIONS:

SHEET NO.
C 1 G
1 OF 1
PRELIMINARY
GRADING AND
DRAINAGE PLAN



PLAN ONE
30' Wide / 1,520 sq. ft. Plan

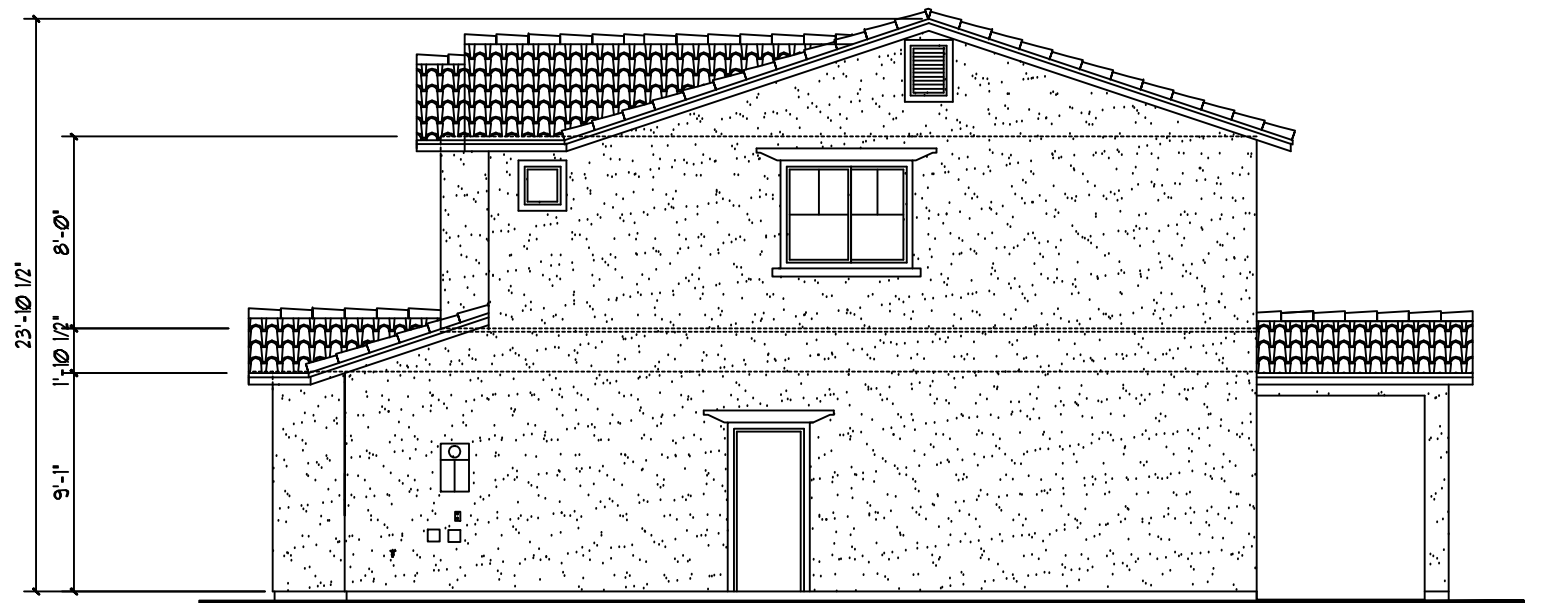
NEWMARK HOMES



FRONT ELEVATION

"A" ELEVATION

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RIGHT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"

PLAN ONE ELEVATION "A"
30' Wide / 1,520 sq. ft. Plan

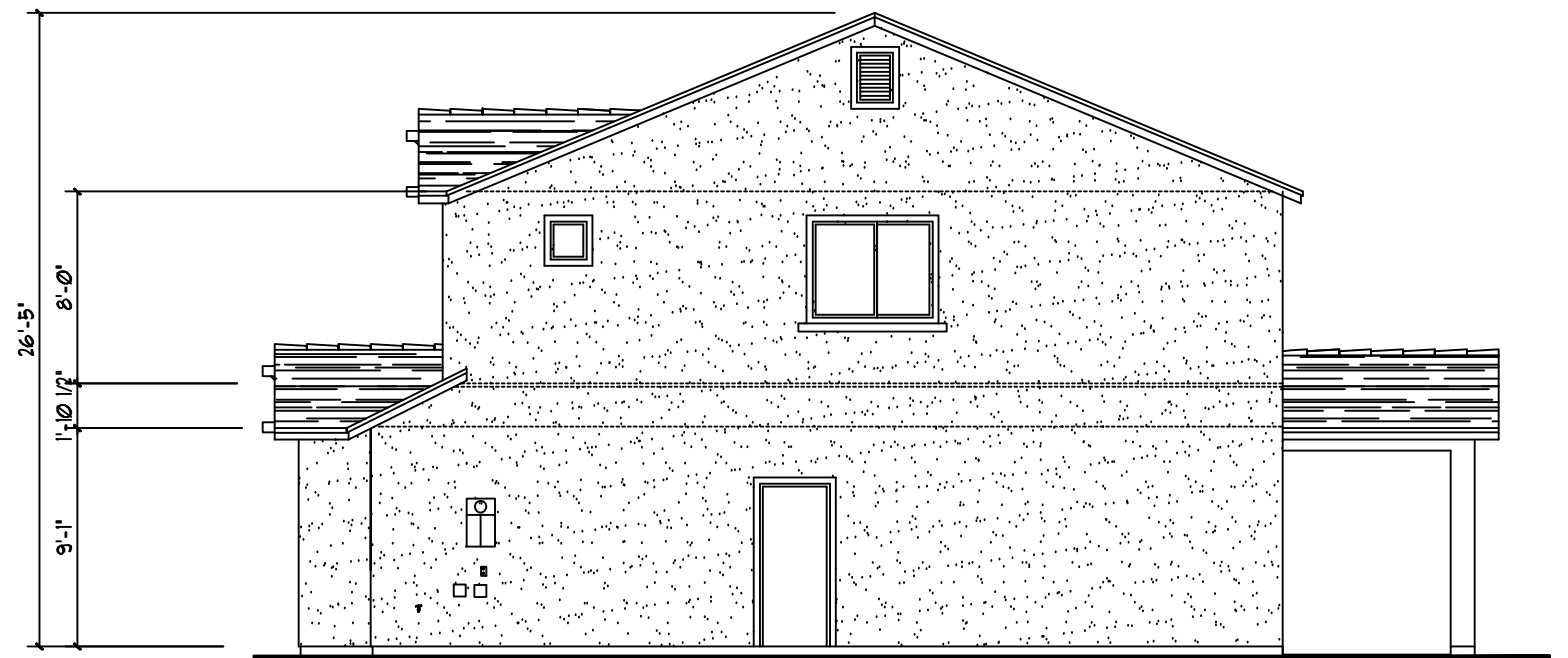
NEWMARK HOMES



FRONT ELEVATION

"B" ELEVATION

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RIGHT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"

PLAN ONE ELEVATION "B"
30' Wide / 1,520 sq. ft. Plan

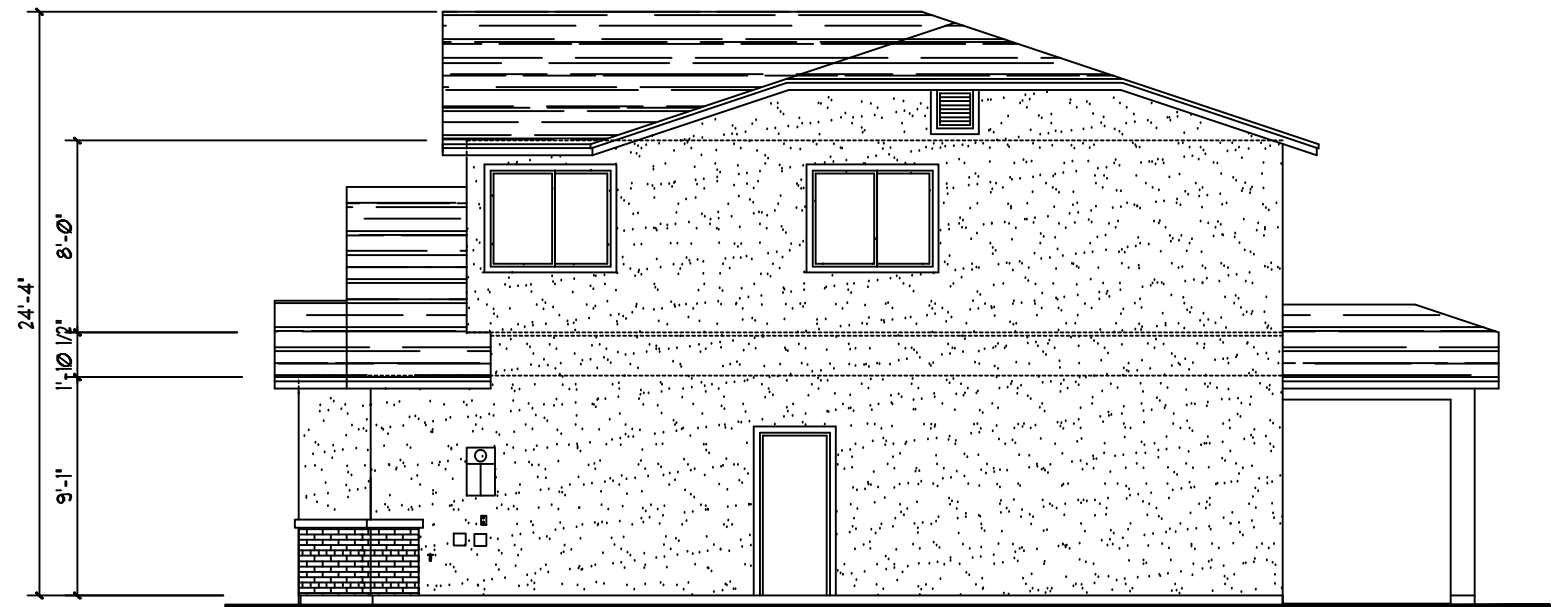
NEWMARK HOMES



FRONT ELEVATION

1/4" ELEVATION

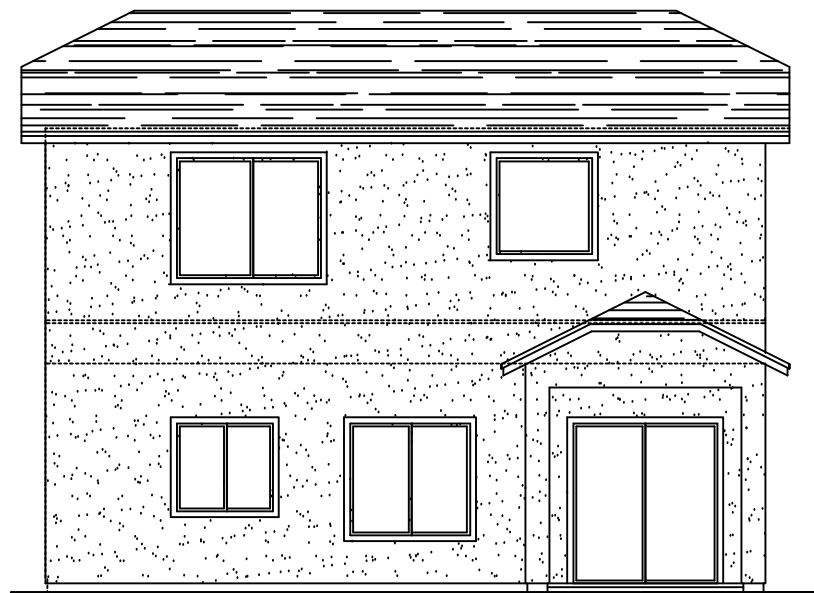
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RIGHT ELEVATION

1/4" ELEVATION

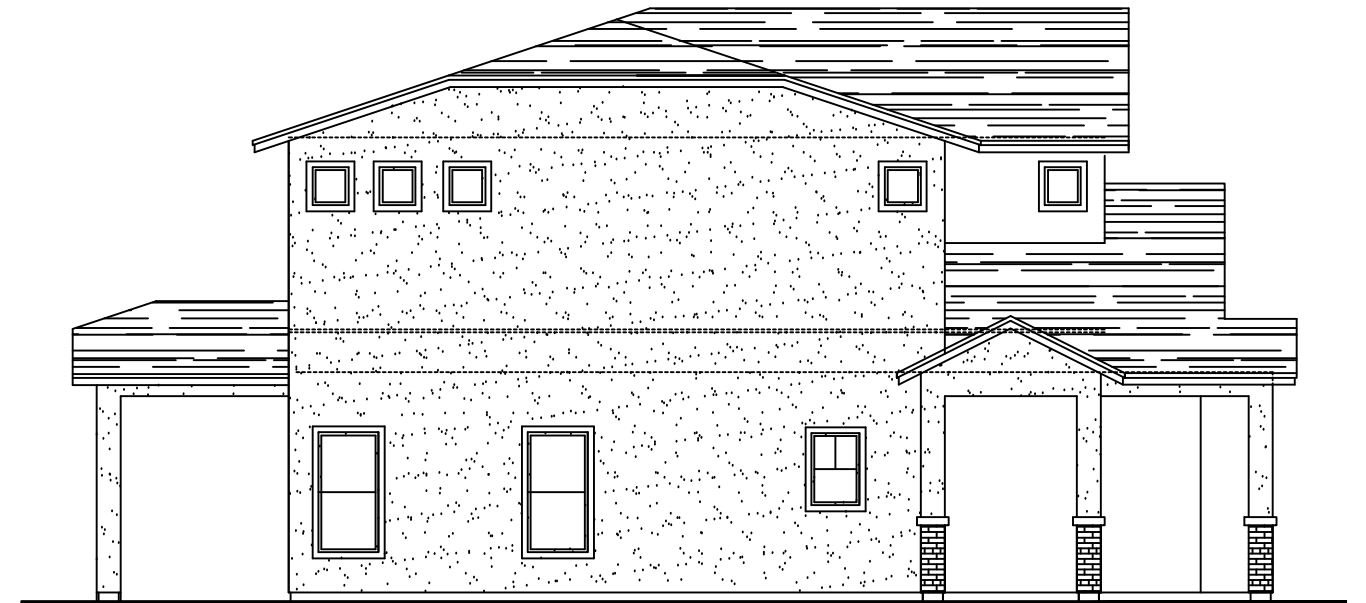
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REAR ELEVATION

1/4" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/4" ELEVATION

SCALE: 1/8"=1'-0"

PLAN ONE ELEVATION "C"
30' Wide / 1,520 sq. ft. Plan

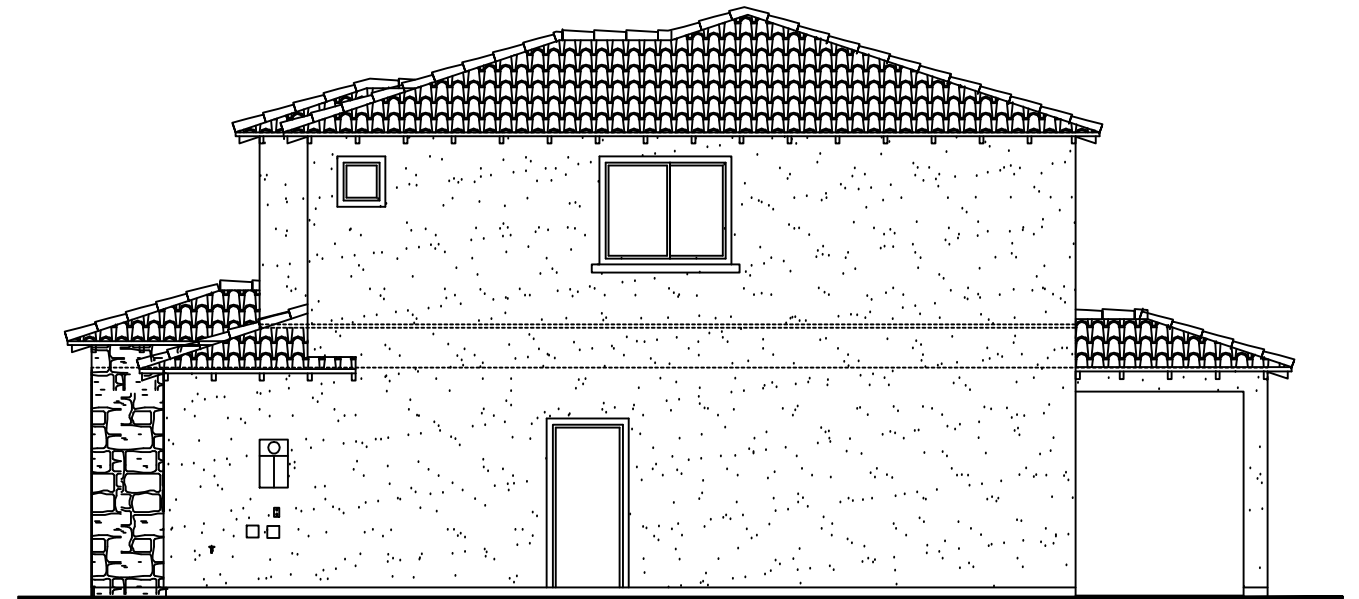
NEWMARK HOMES



FRONT ELEVATION

1/2" ELEVATION

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RIGHT ELEVATION

1/2" ELEVATION

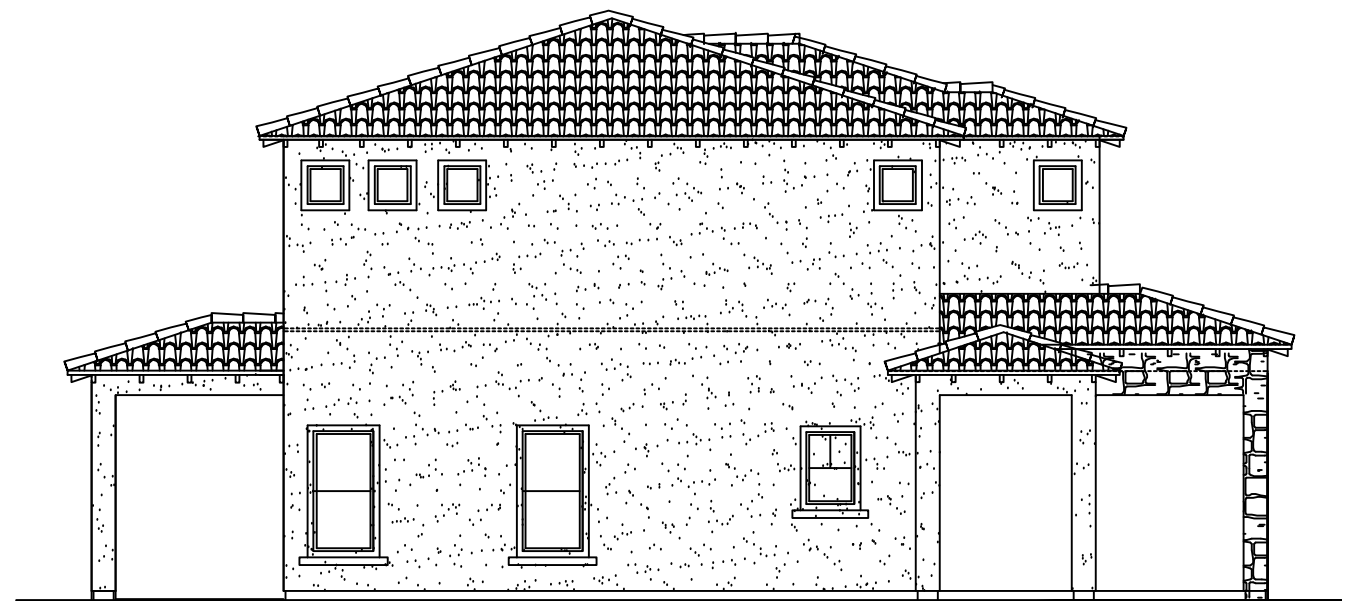
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1/2" ELEVATION

SCALE: 1/8"=1'-0"



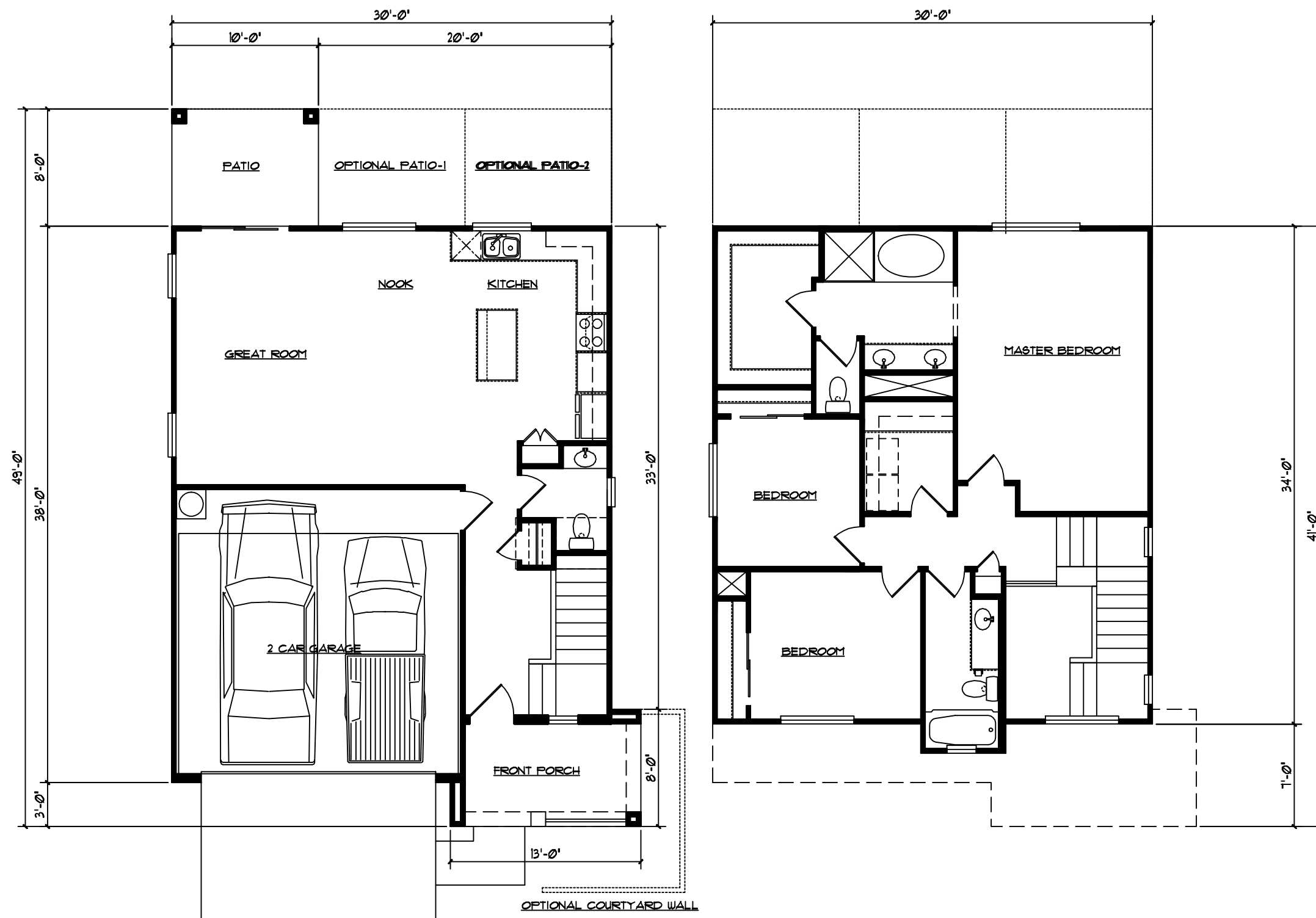
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1/2" ELEVATION

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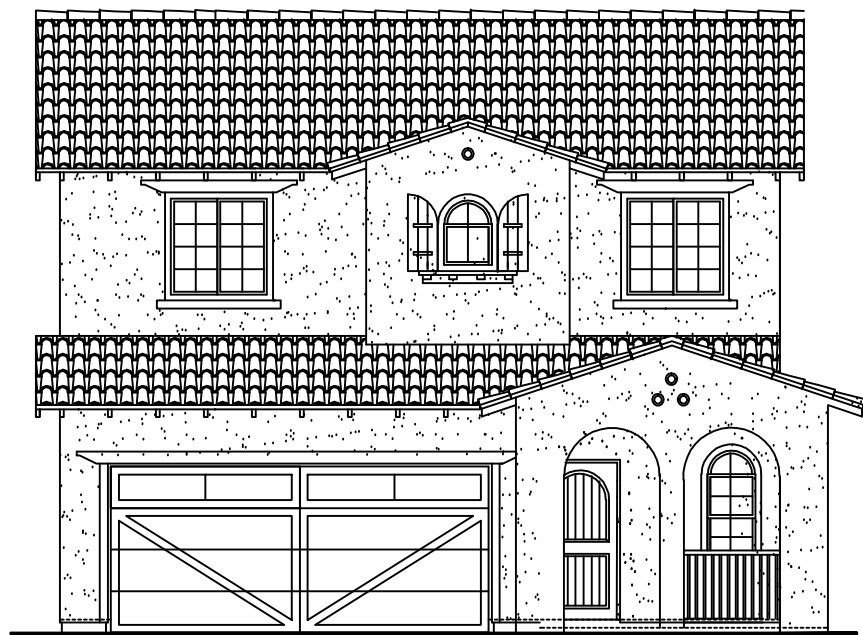
PLAN ONE ELEVATION "D"
30' Wide / 1,520 sq. ft. Plan

NEWMARK HOMES



PLAN TWO
30' Wide / 1,610sq. ft. Plan

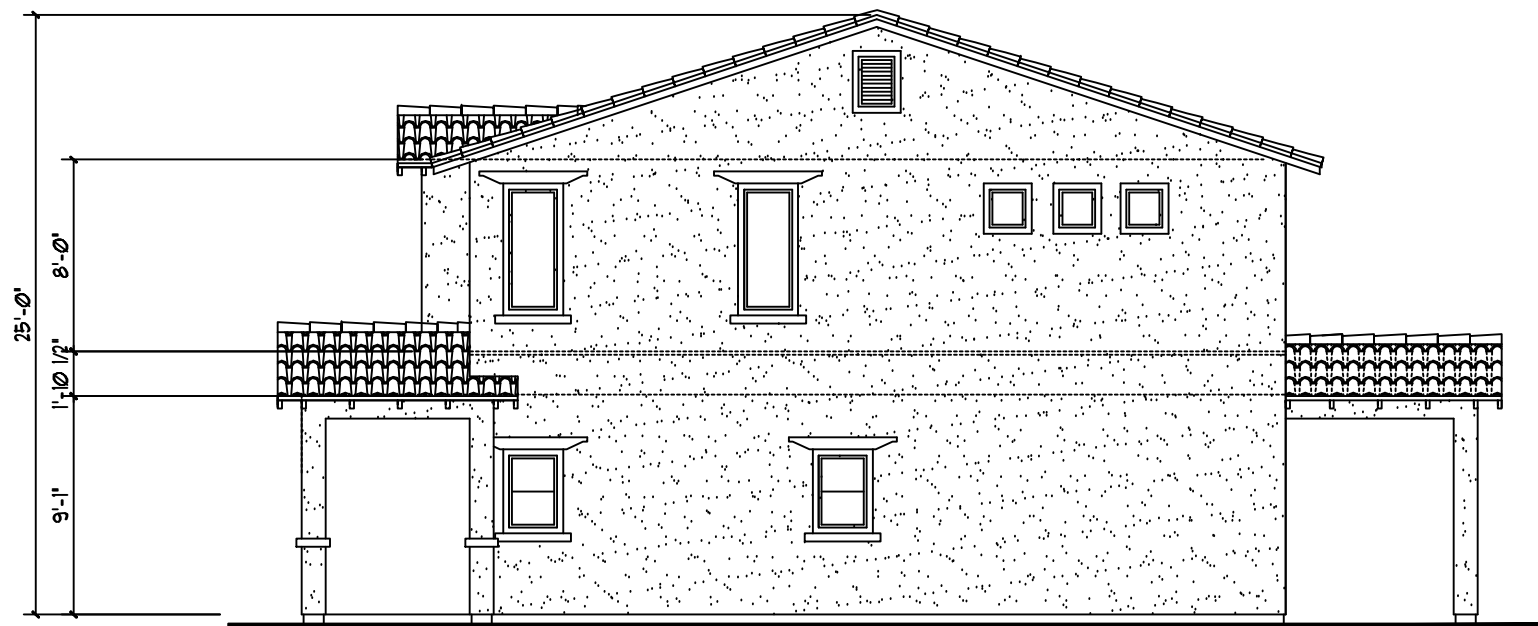
NEWMARK HOMES



FRONT ELEVATION

"A" ELEVATION

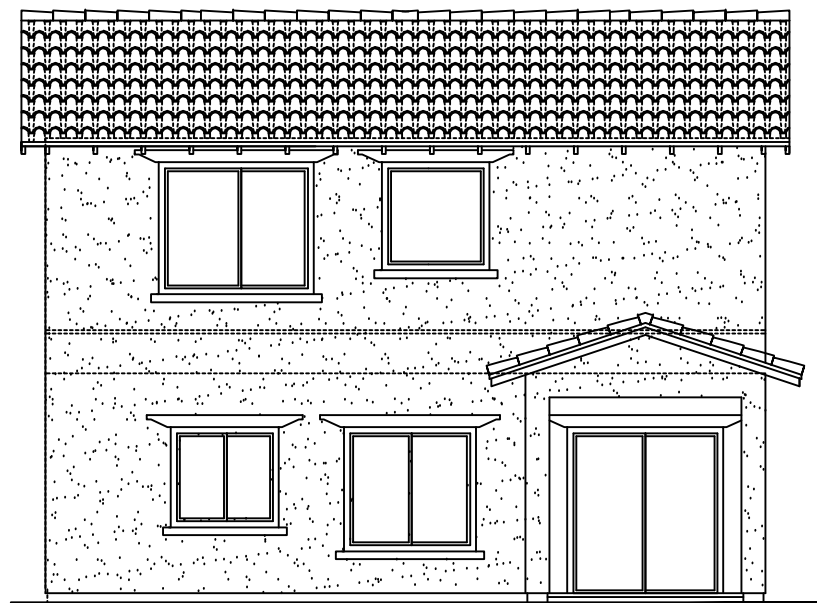
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RIGHT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"

PLAN TWO ELEVATION "A"
30' Wide / 1,610sq. ft. Plan

NEWMARK HOMES



FRONT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"

PLAN TWO ELEVATION "B"
30' Wide / 1,610sq. ft. Plan

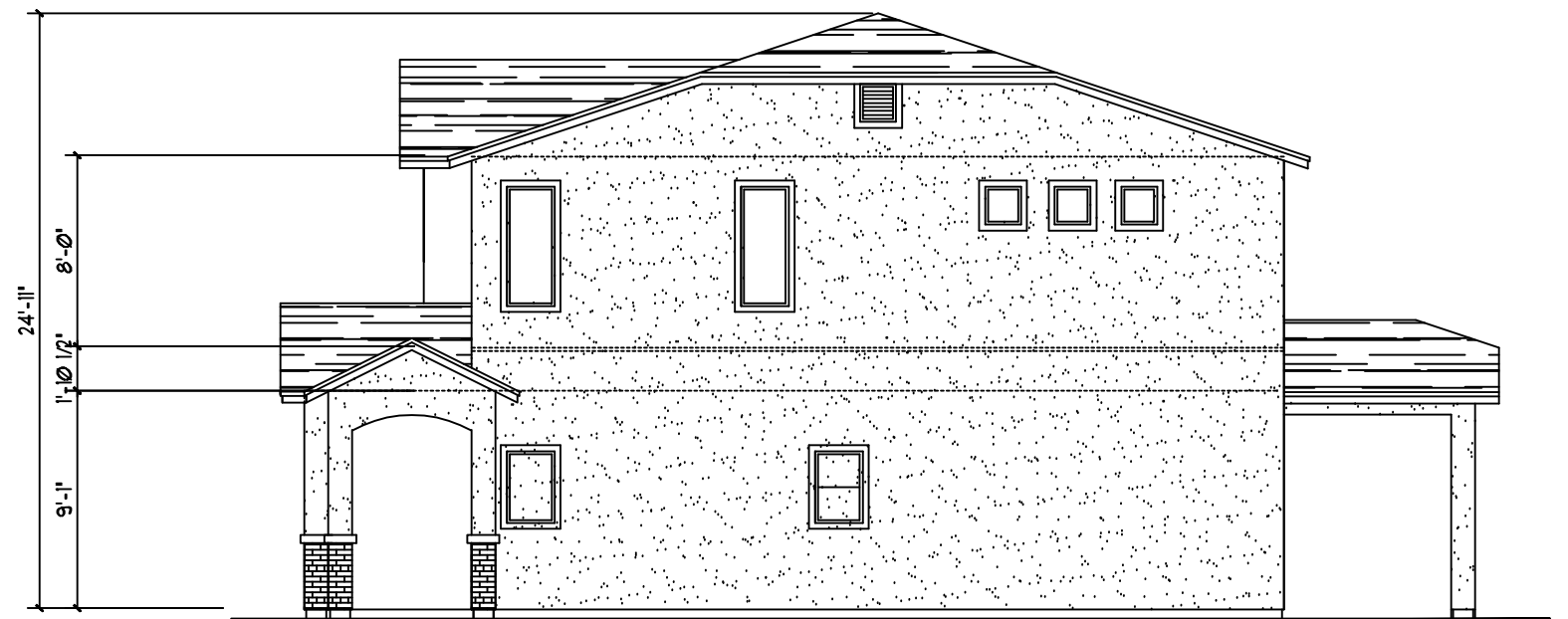
NEWMARK HOMES



FRONT ELEVATION

1/2" ELEVATION

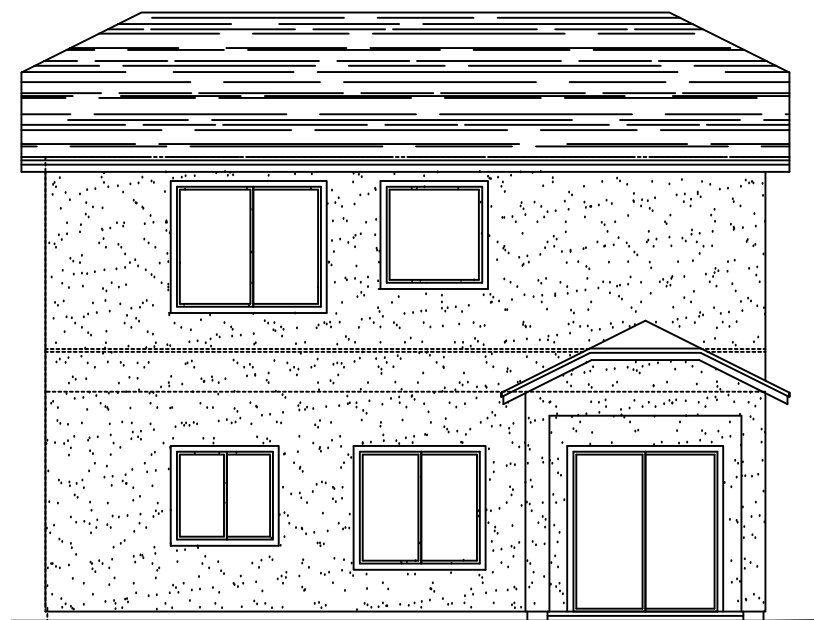
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RIGHT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"

PLAN TWO ELEVATION "C"
30' Wide / 1,610sq. ft. Plan

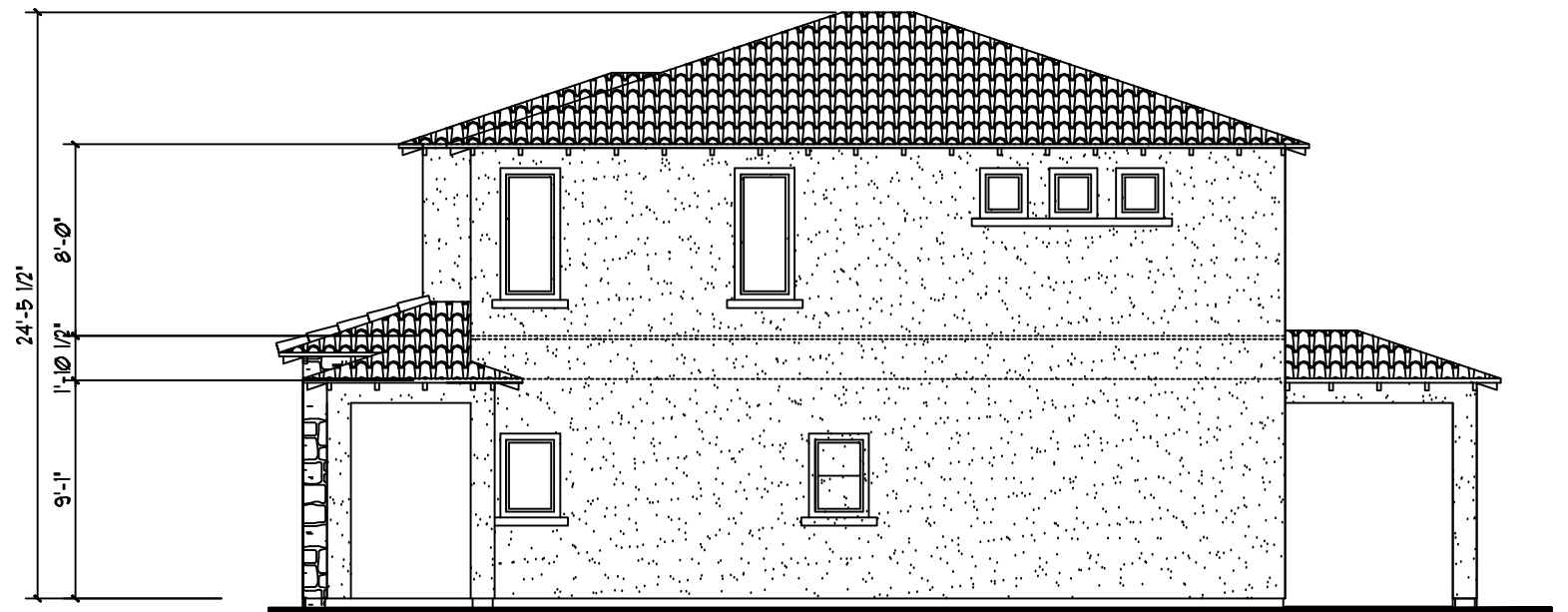
NEWMARK HOMES



FRONT ELEVATION

1/8" ELEVATION

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RIGHT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



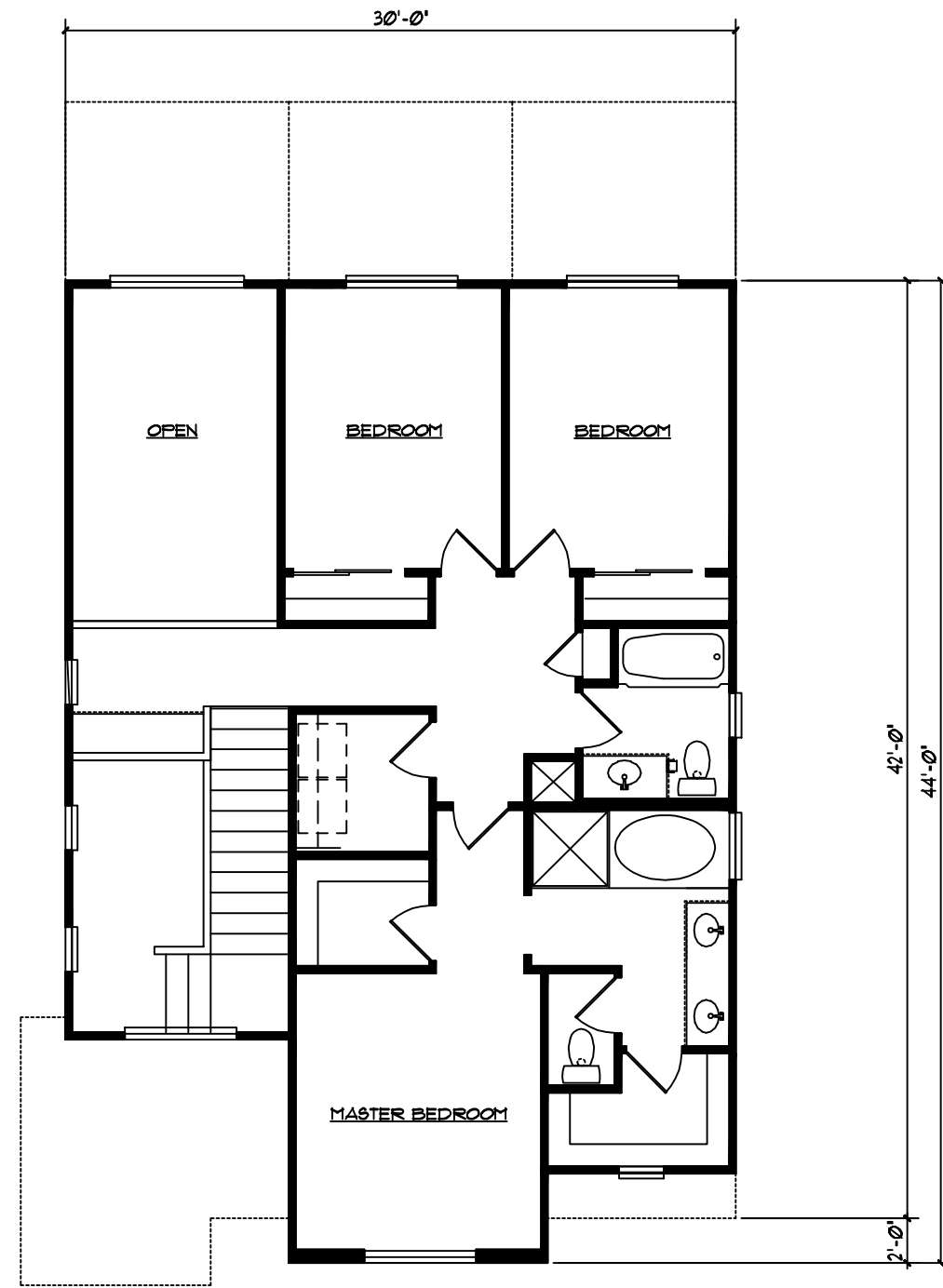
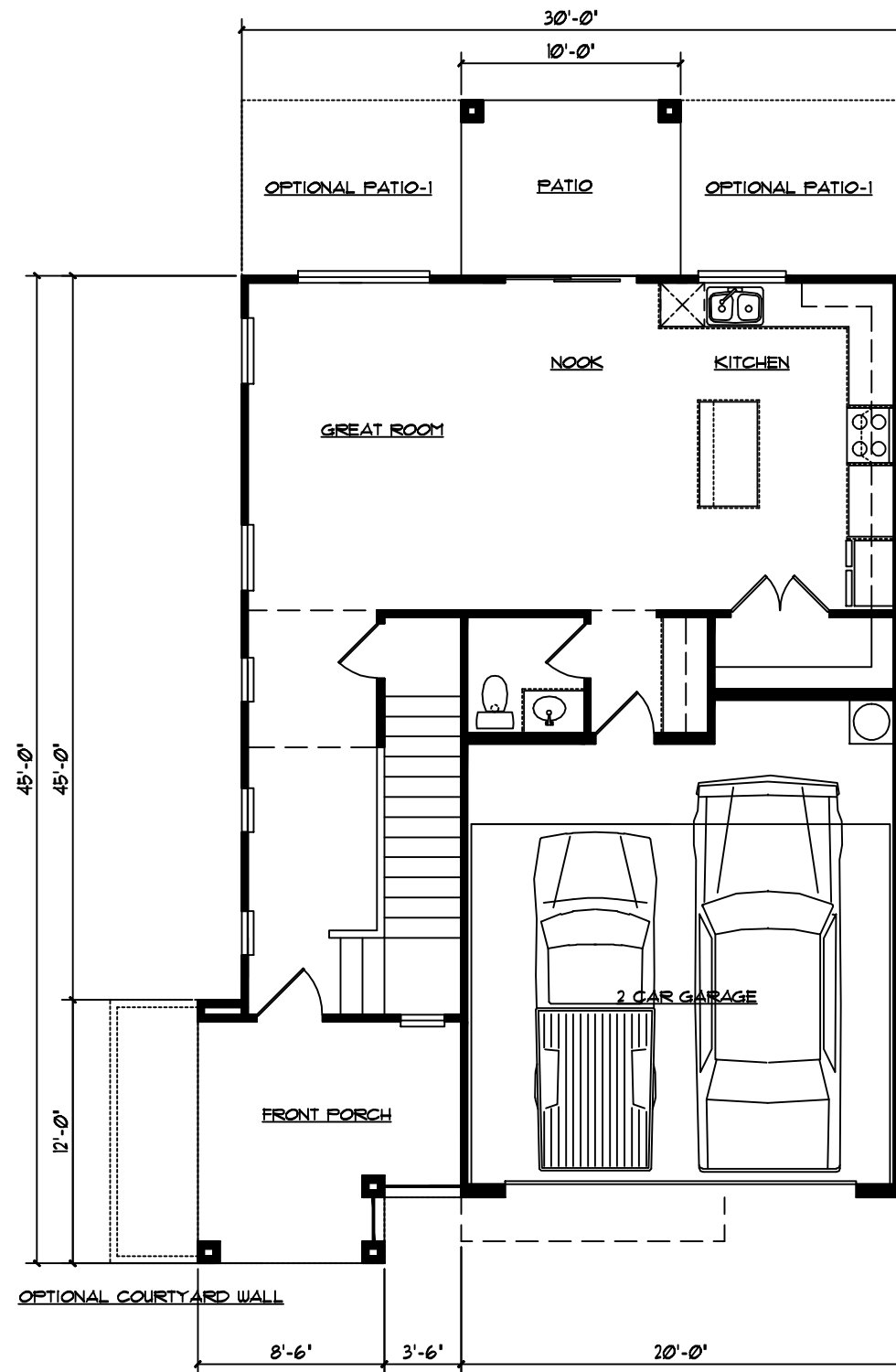
LEFT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"

PLAN TWO ELEVATION "D"
30' Wide / 1,610sq. ft. Plan

NEWMARK HOMES



PLAN THREE
30' Wide / 1,675 sq. ft. Plan

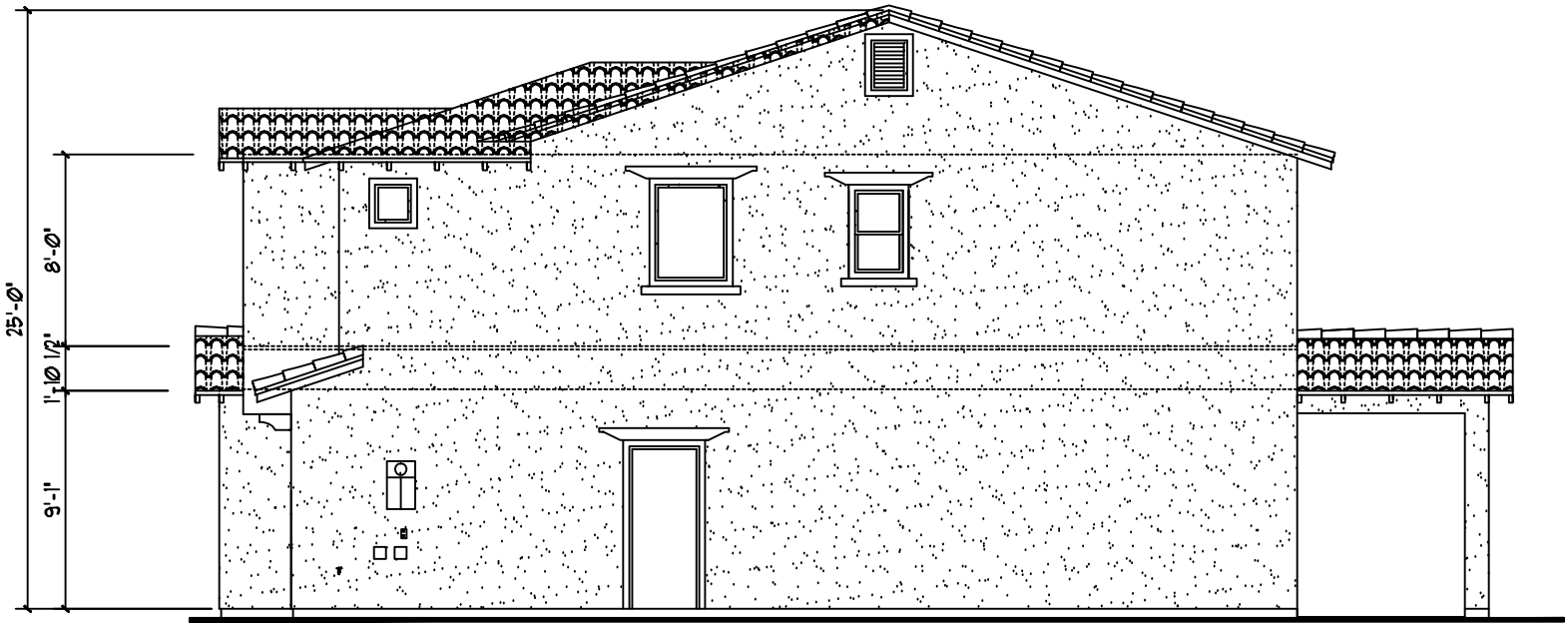
NEWMARK HOMES



FRONT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"

PLAN THREE ELEVATION "A"
30' Wide / 1,675 sq. ft. Plan

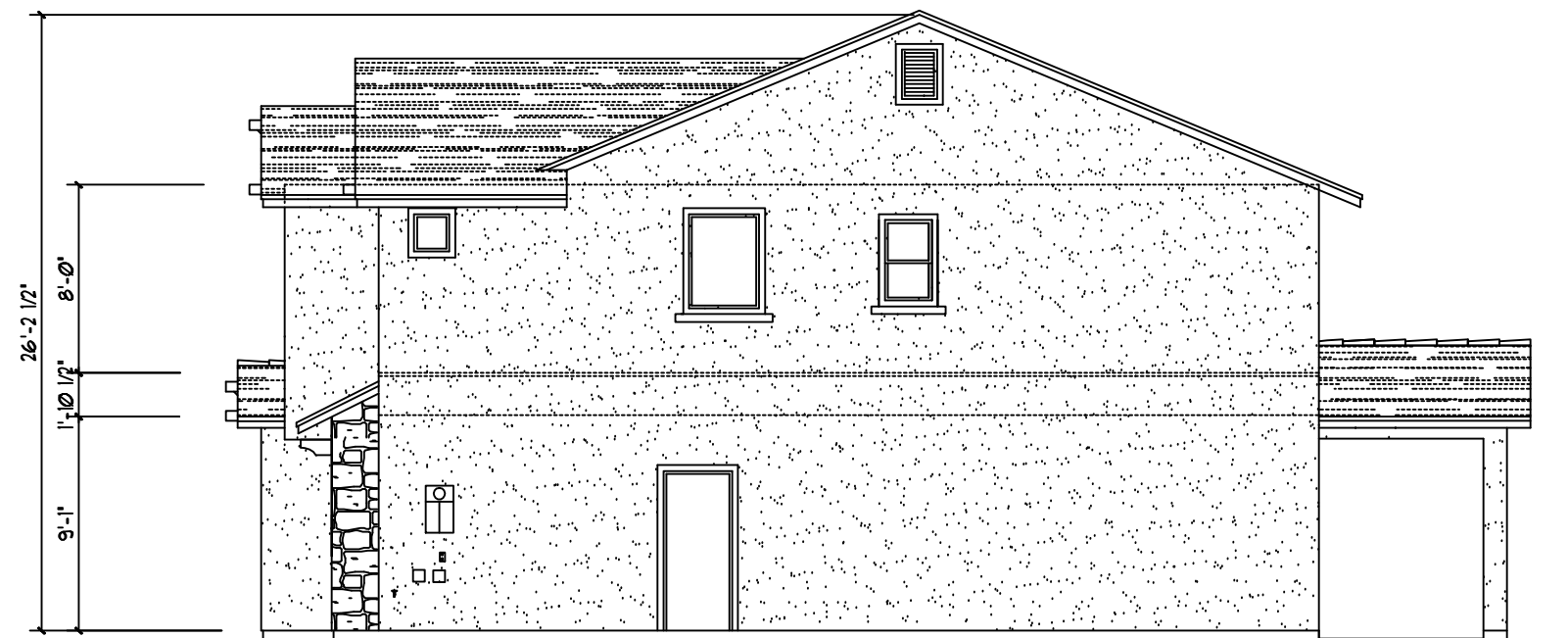
NEWMARK HOMES



FRONT ELEVATION

"B" ELEVATION

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RIGHT ELEVATION

"B" ELEVATION

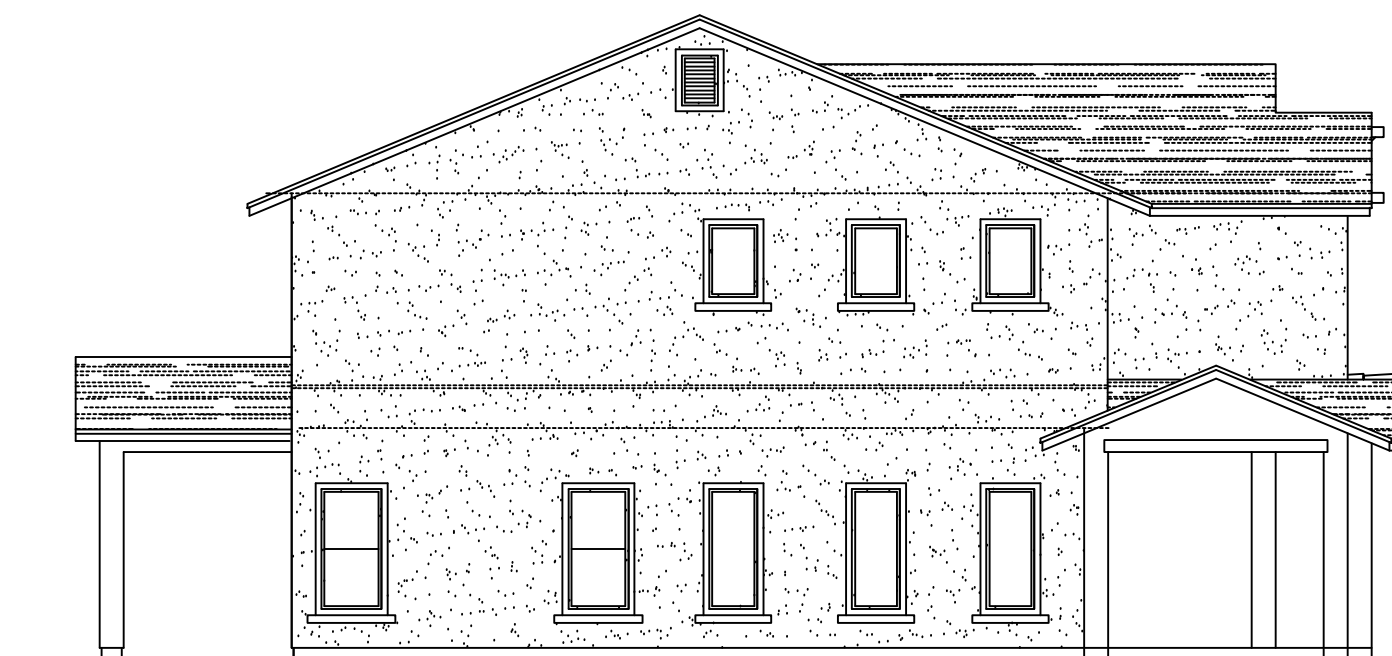
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REAR ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"

PLAN THREE ELEVATION "B"
30' Wide / 1,675 sq. ft. Plan

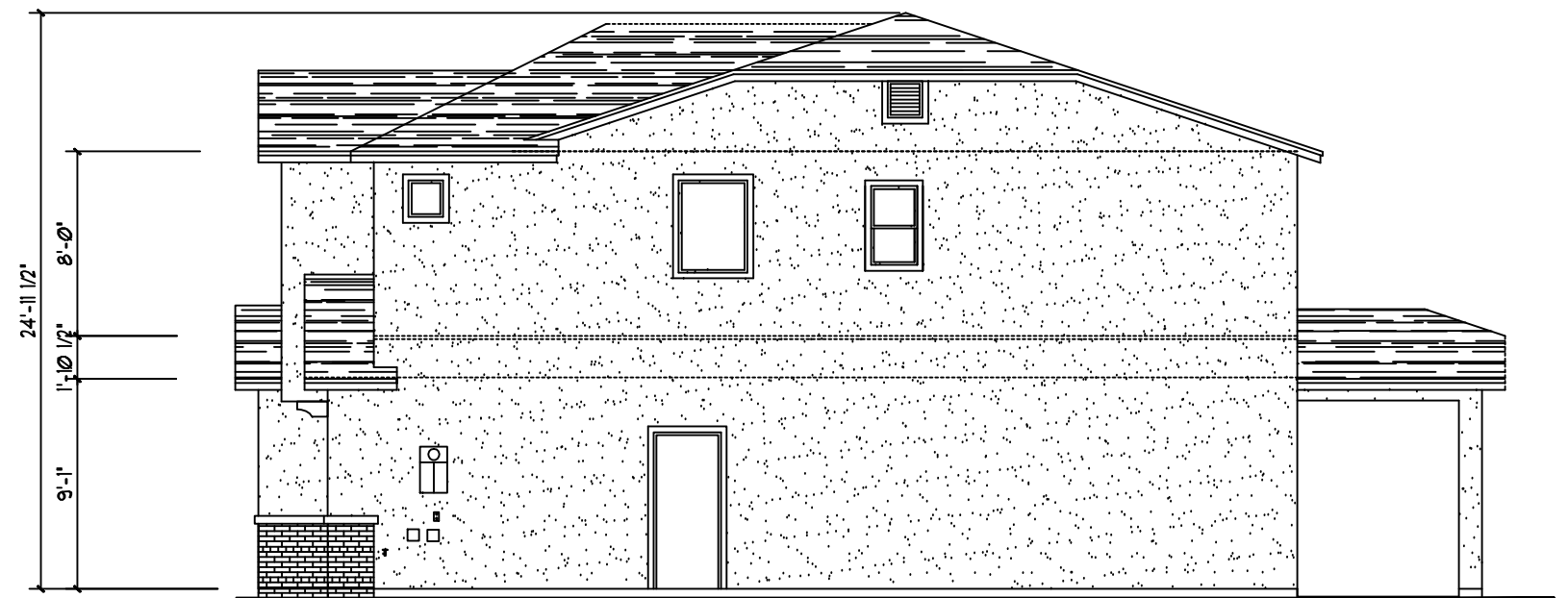
NEWMARK HOMES



FRONT ELEVATION

1/2" ELEVATION

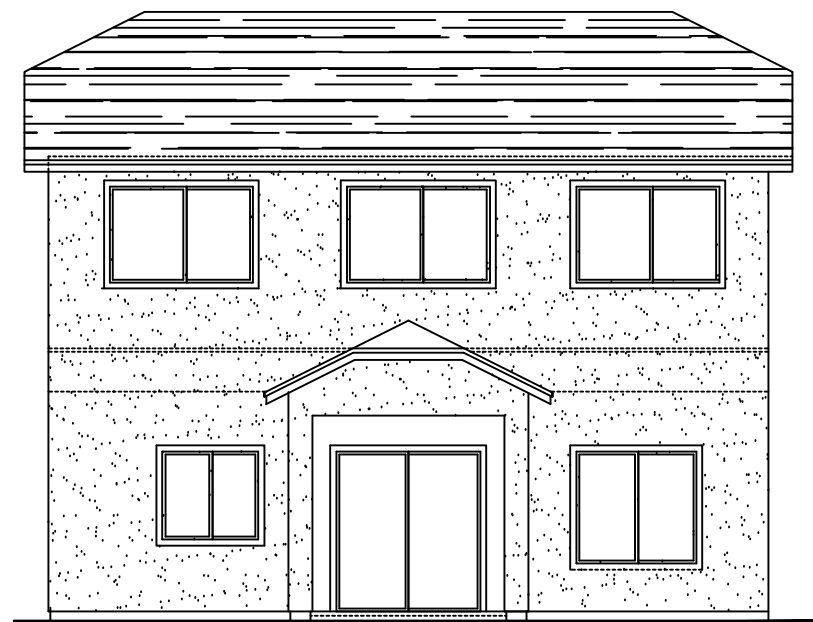
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RIGHT ELEVATION

1/2" ELEVATION

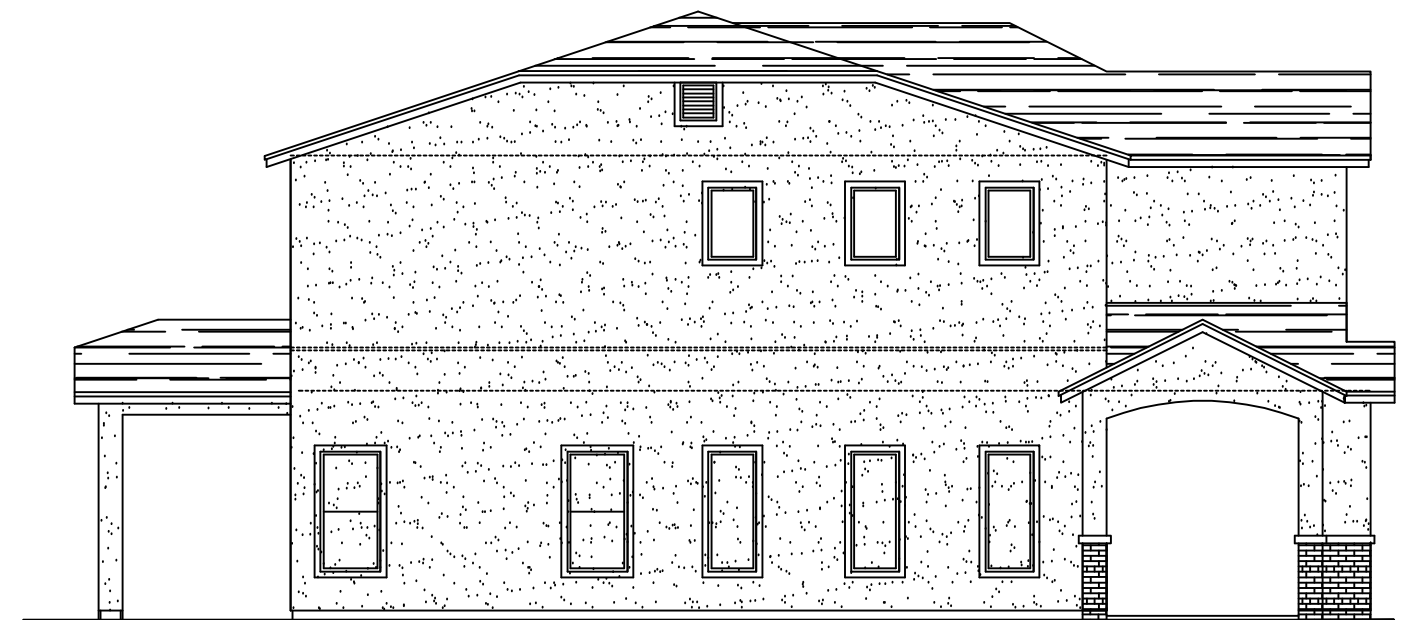
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REAR ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"

PLAN THREE ELEVATION "C"
30' Wide / 1,675 sq. ft. Plan

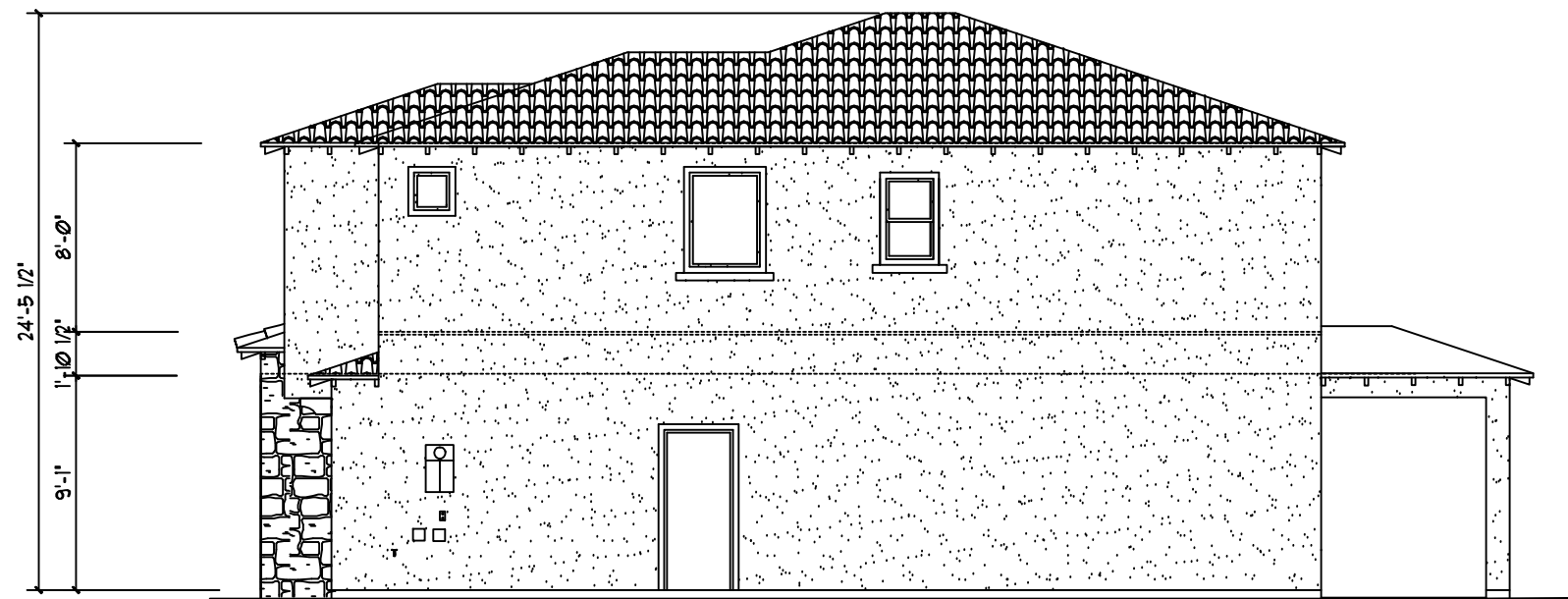
NEWMARK HOMES



FRONT ELEVATION

1/2" ELEVATION

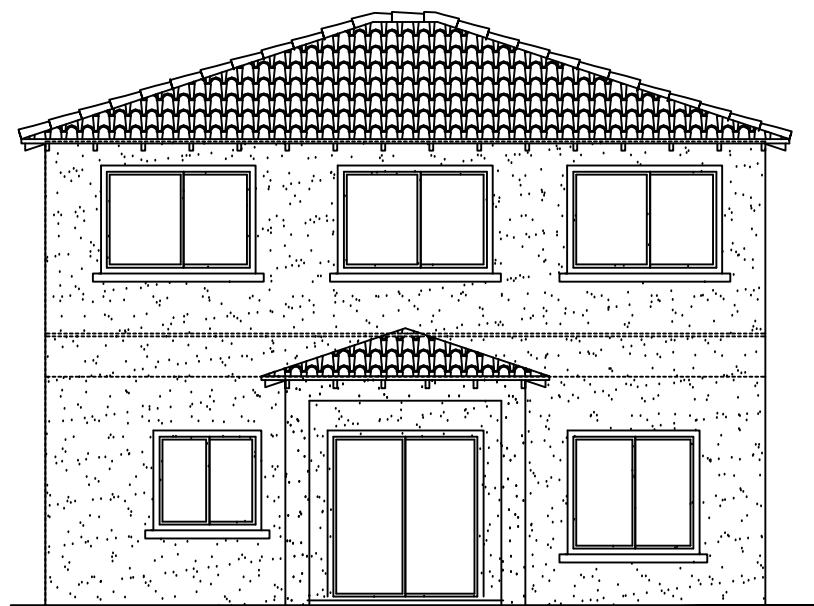
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RIGHT ELEVATION

1/2" ELEVATION

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REAR ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"



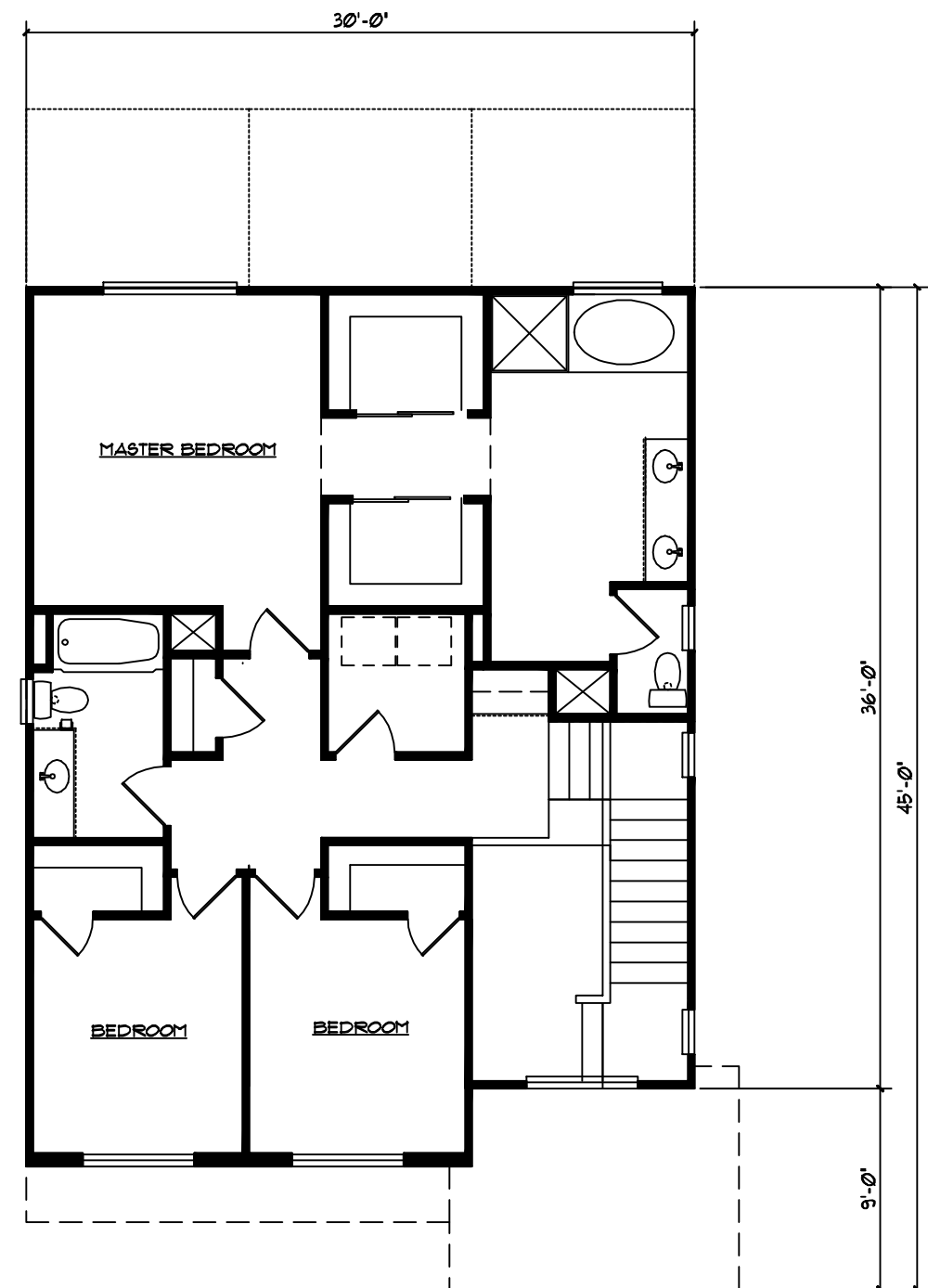
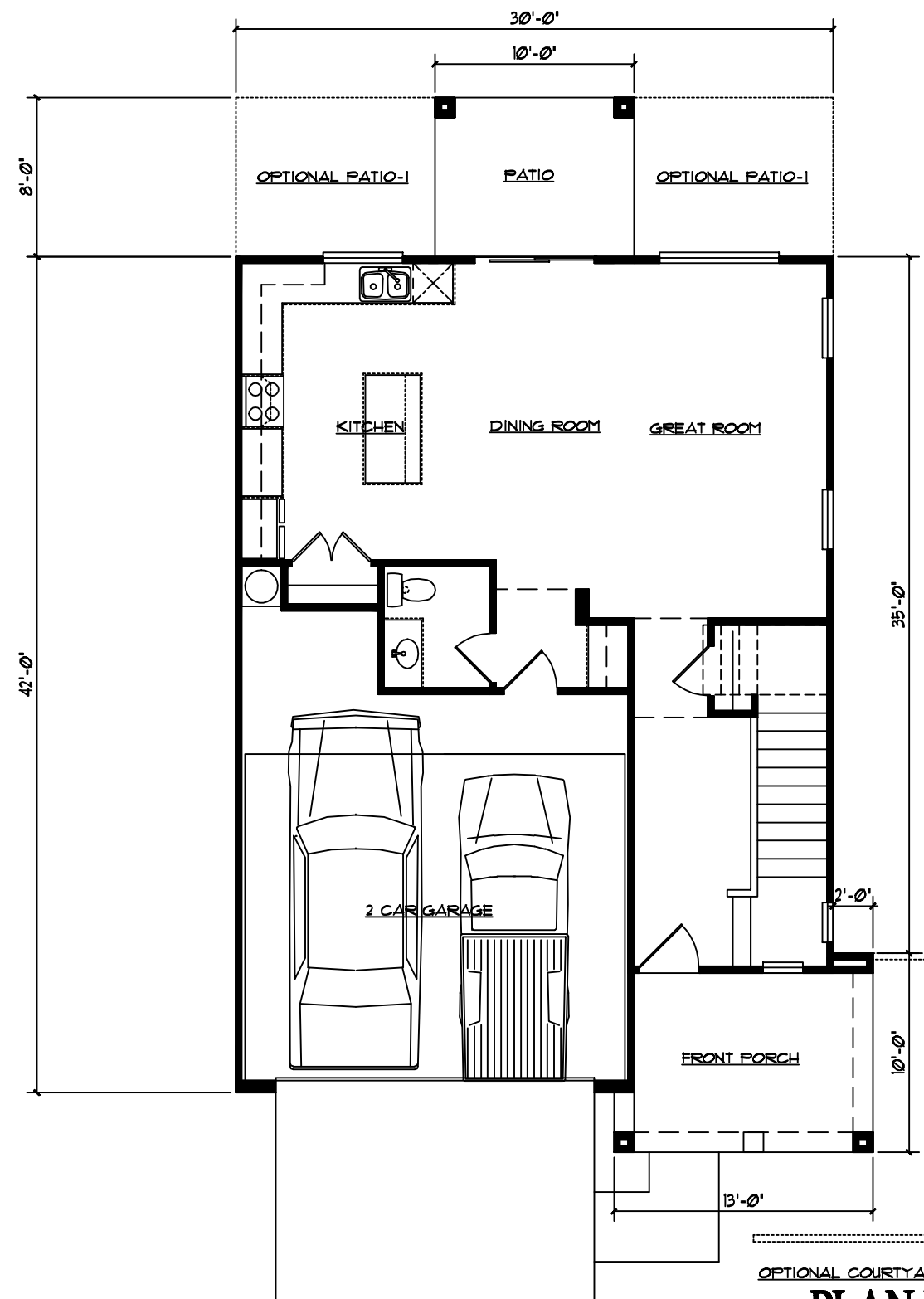
LEFT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"

PLAN THREE ELEVATION "D"
30' Wide / 1,675 sq. ft. Plan

NEWMARK HOMES



PLAN FOUR
30' Wide / 1,798 sq. ft. Plan

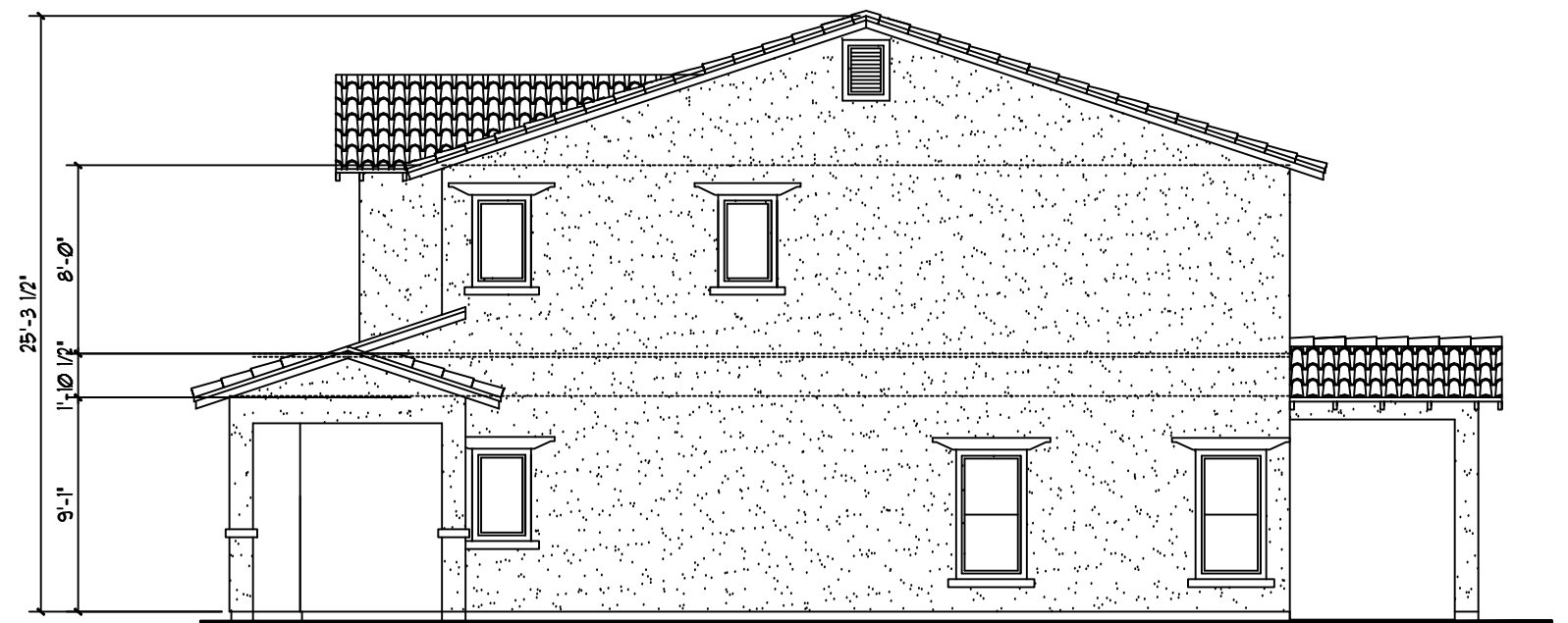
NEWMARK HOMES



FRONT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FOUR ELEVATION "A"
30' Wide / 1,798 sq. ft. Plan

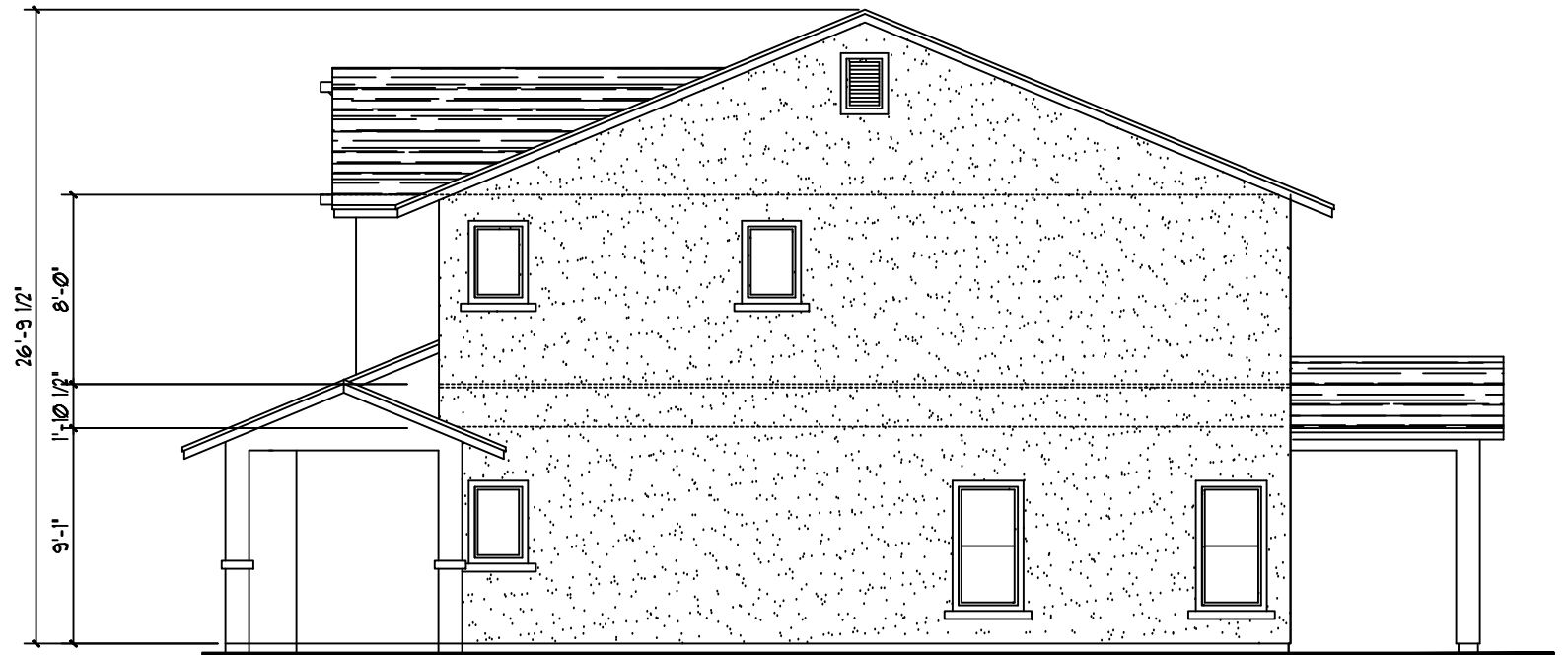
NEWMARK HOMES



FRONT ELEVATION

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SCALE: 1/8"=1'-0"



RIGHT ELEVATION

1/8" ELEVATION

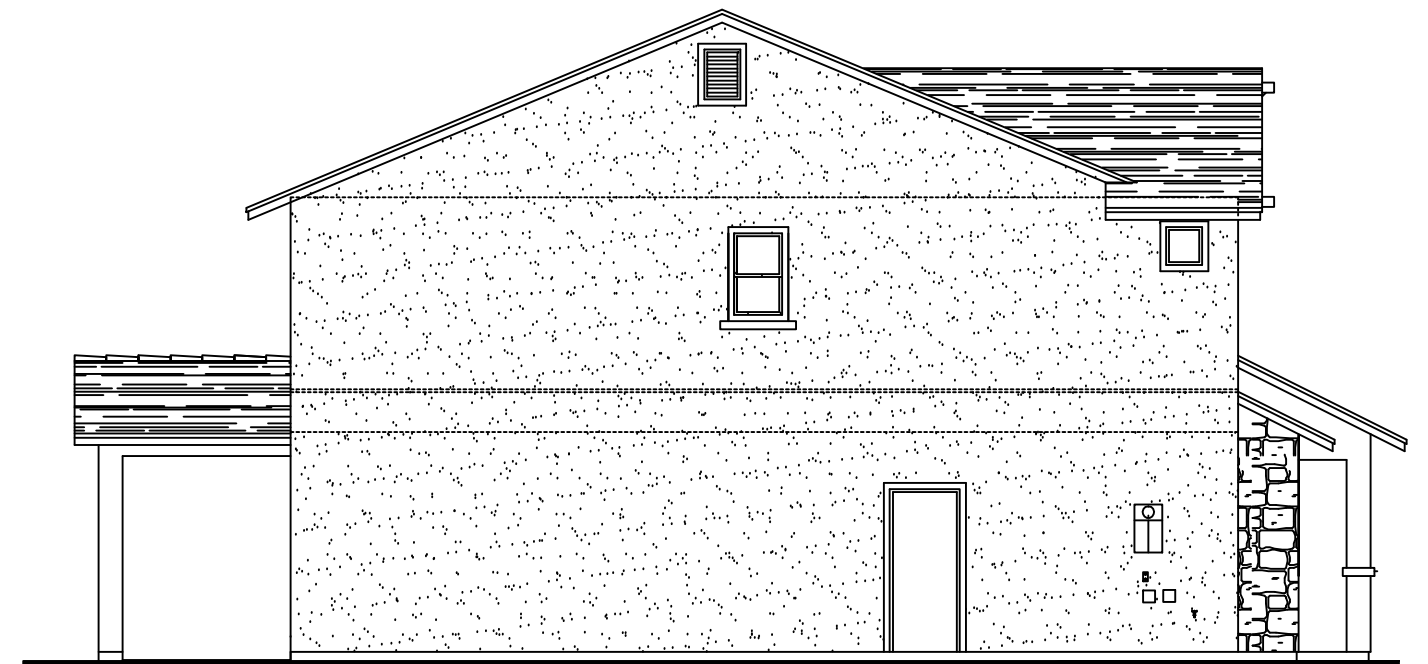
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REAR ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FOUR ELEVATION "B"
30' Wide / 1,798 sq. ft. Plan

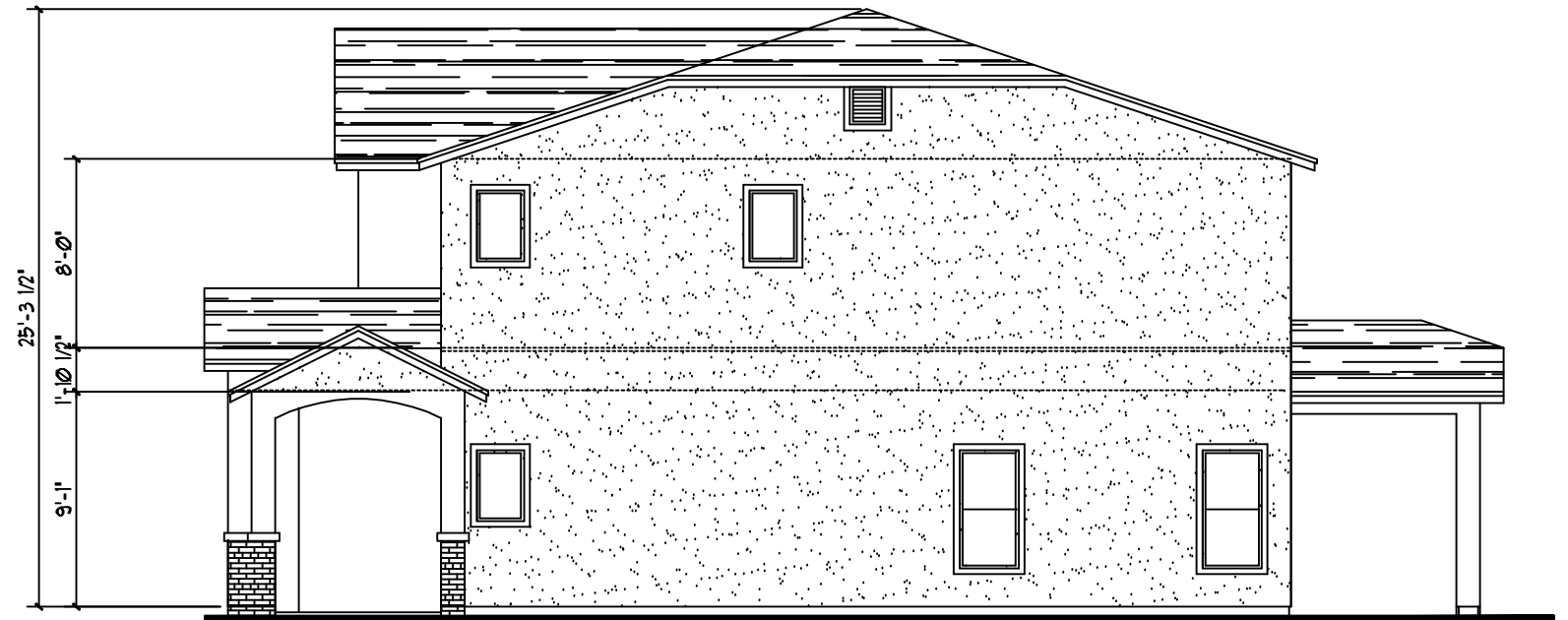
NEWMARK HOMES



FRONT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

1/8" ELEVATION

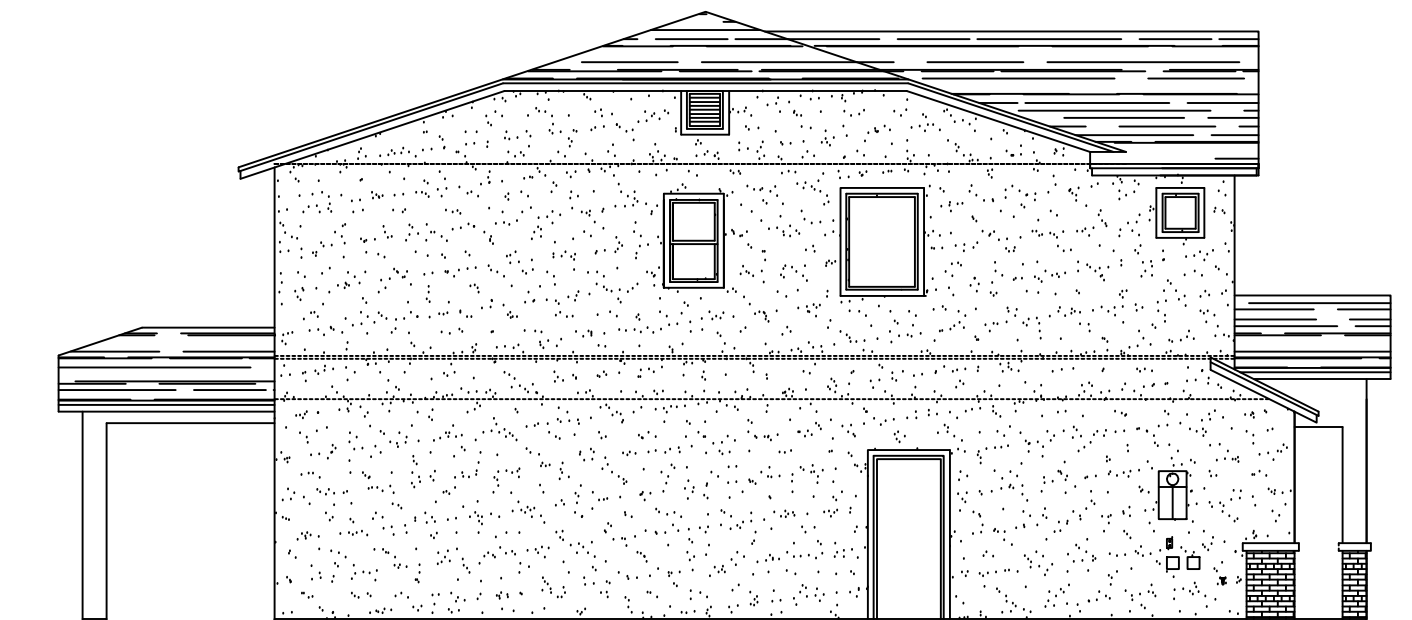
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REAR ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/8" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FOUR ELEVATION "C"
30' Wide / 1,798 sq. ft. Plan

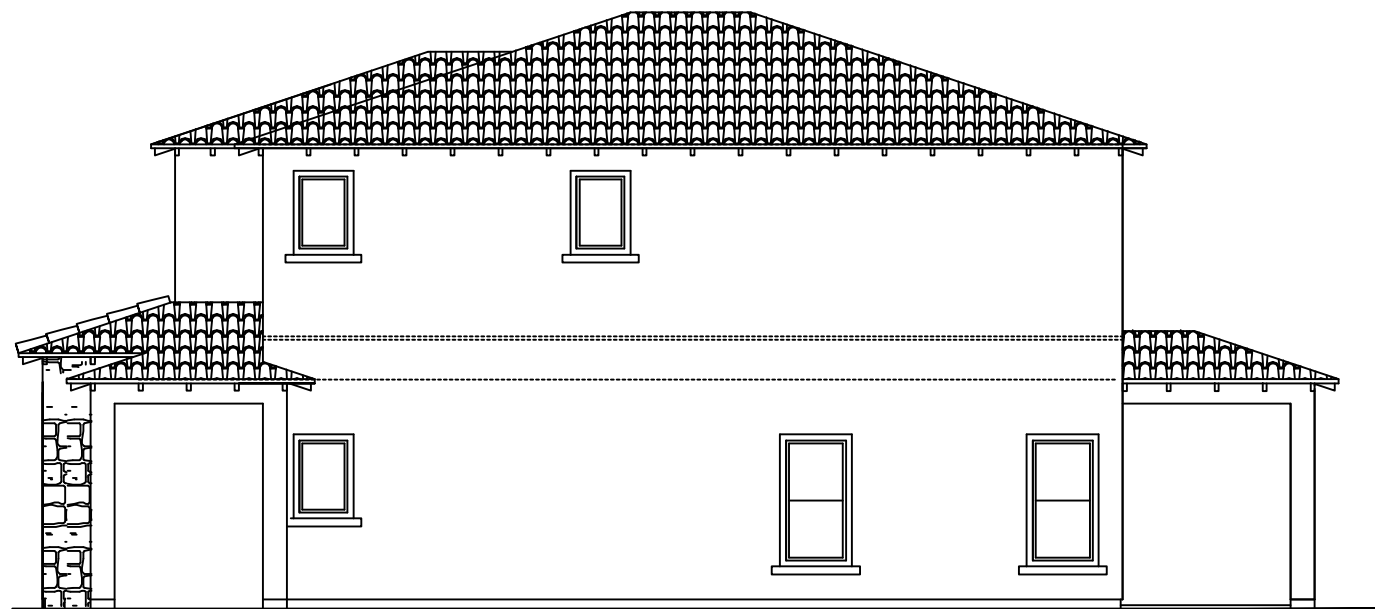
NEWMARK HOMES



FRONT ELEVATION

1/2" ELEVATION

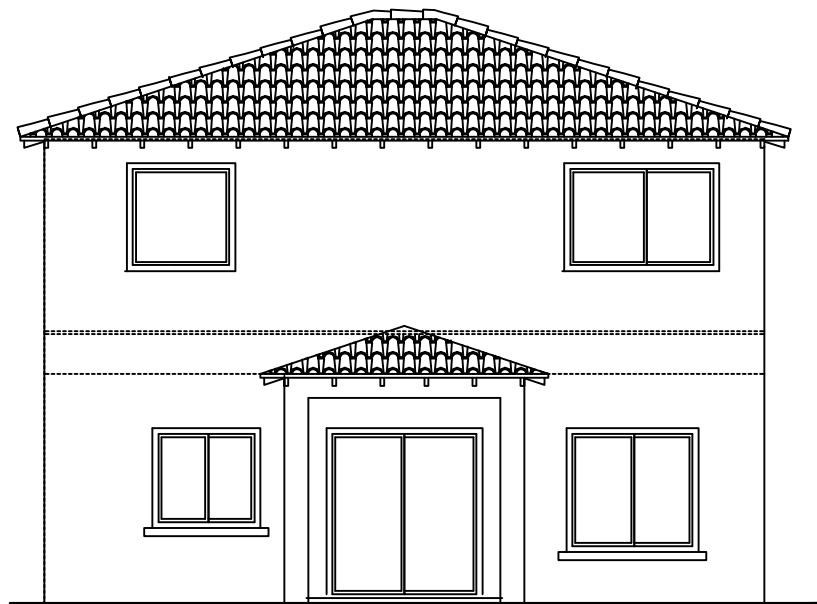
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1/2" ELEVATION

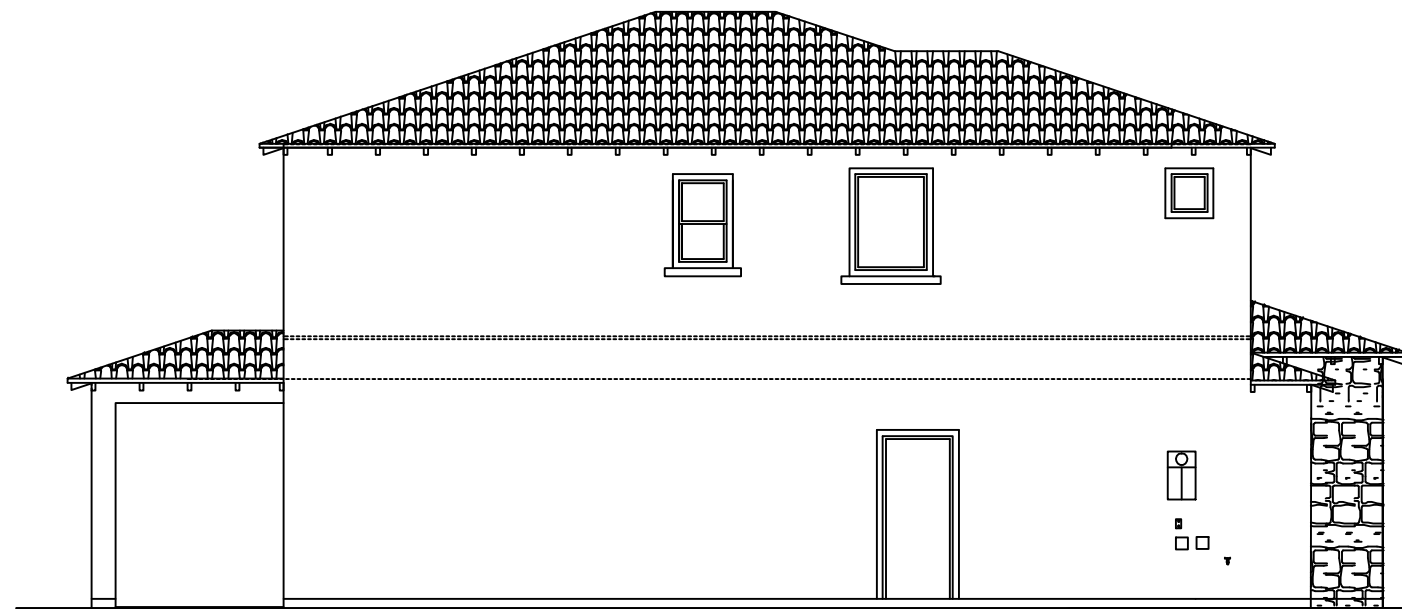
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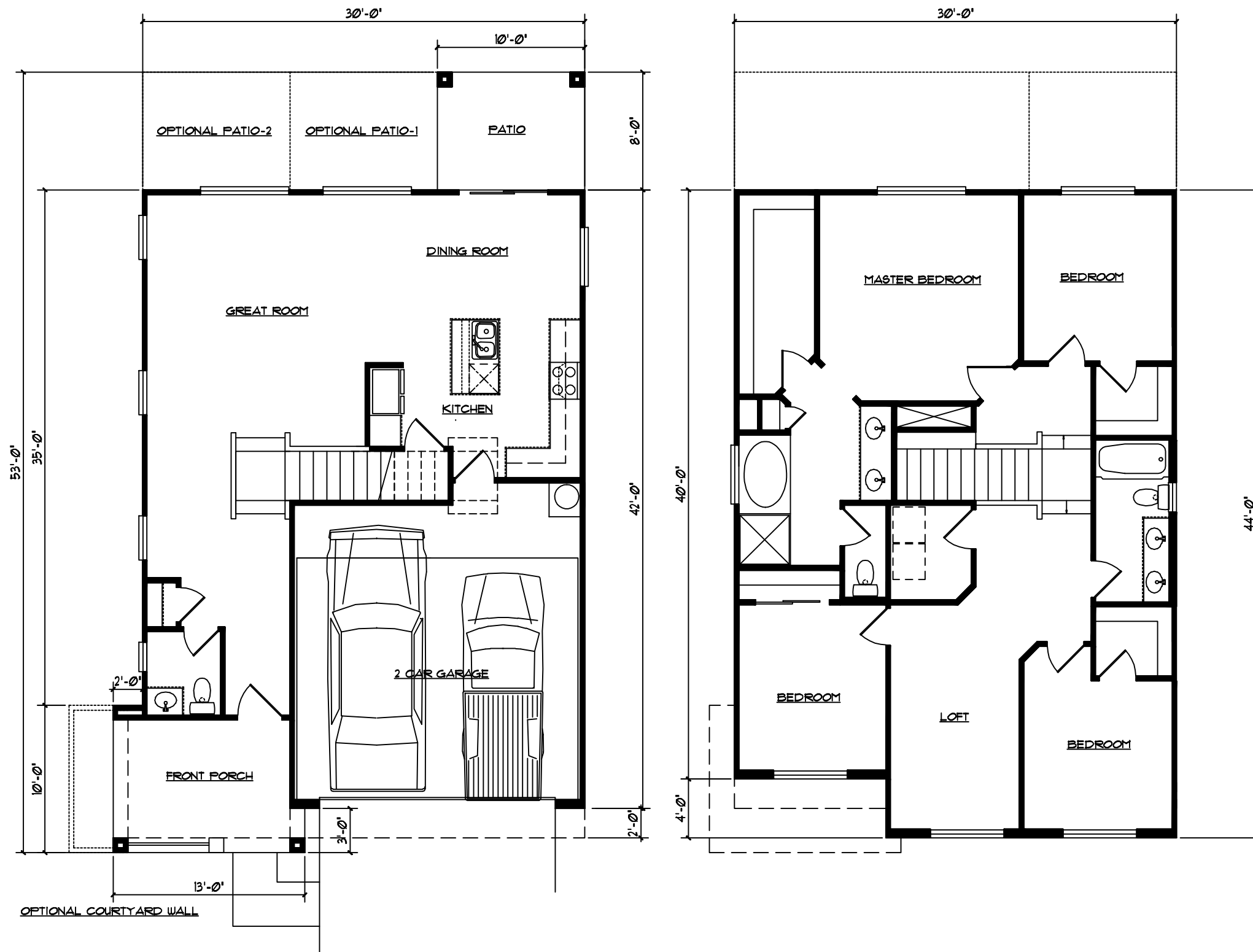
LEFT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FOUR ELEVATION "D"
30' Wide / 1,798 sq. ft. Plan

NEWMARK HOMES



PLAN FIVE
30' Wide / 2,050 sq. ft. Plan

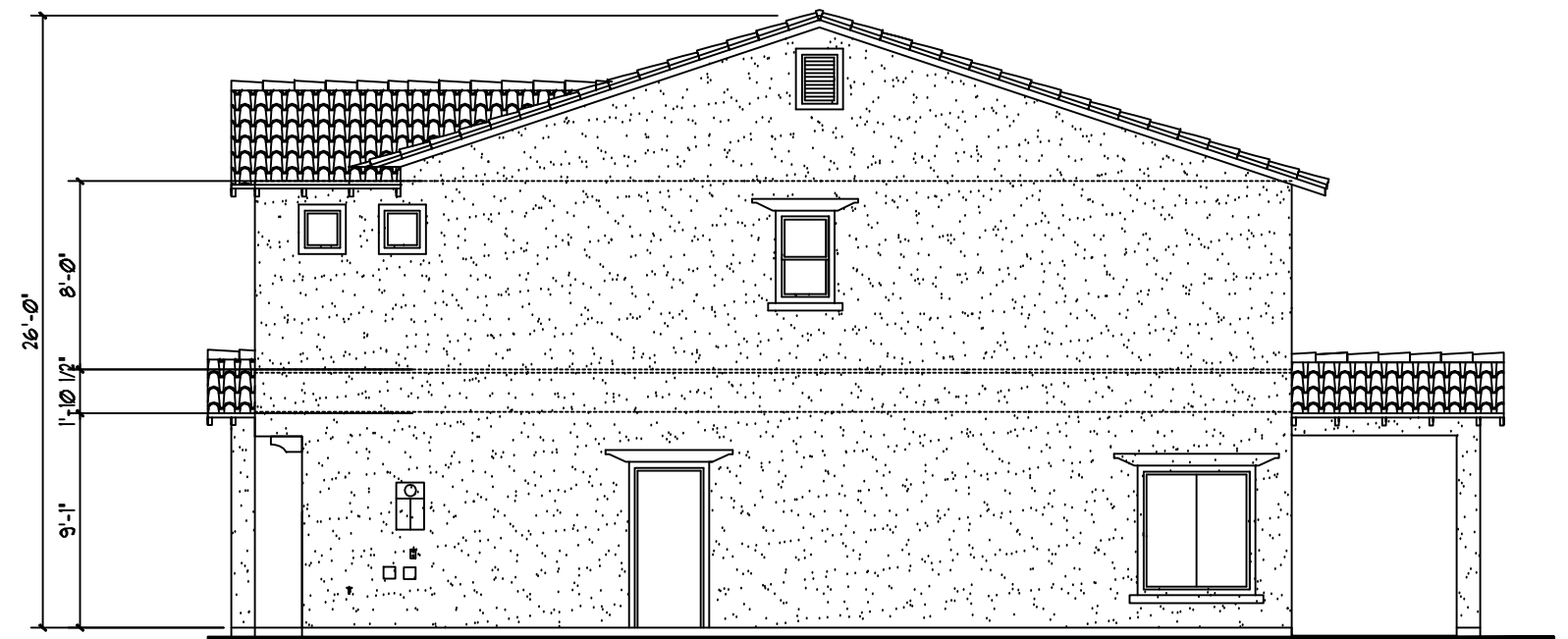
NEWMARK HOMES



FRONT ELEVATION

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RIGHT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"A" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FIVE ELEVATION "A"
30' Wide / 2,050 sq. ft. Plan

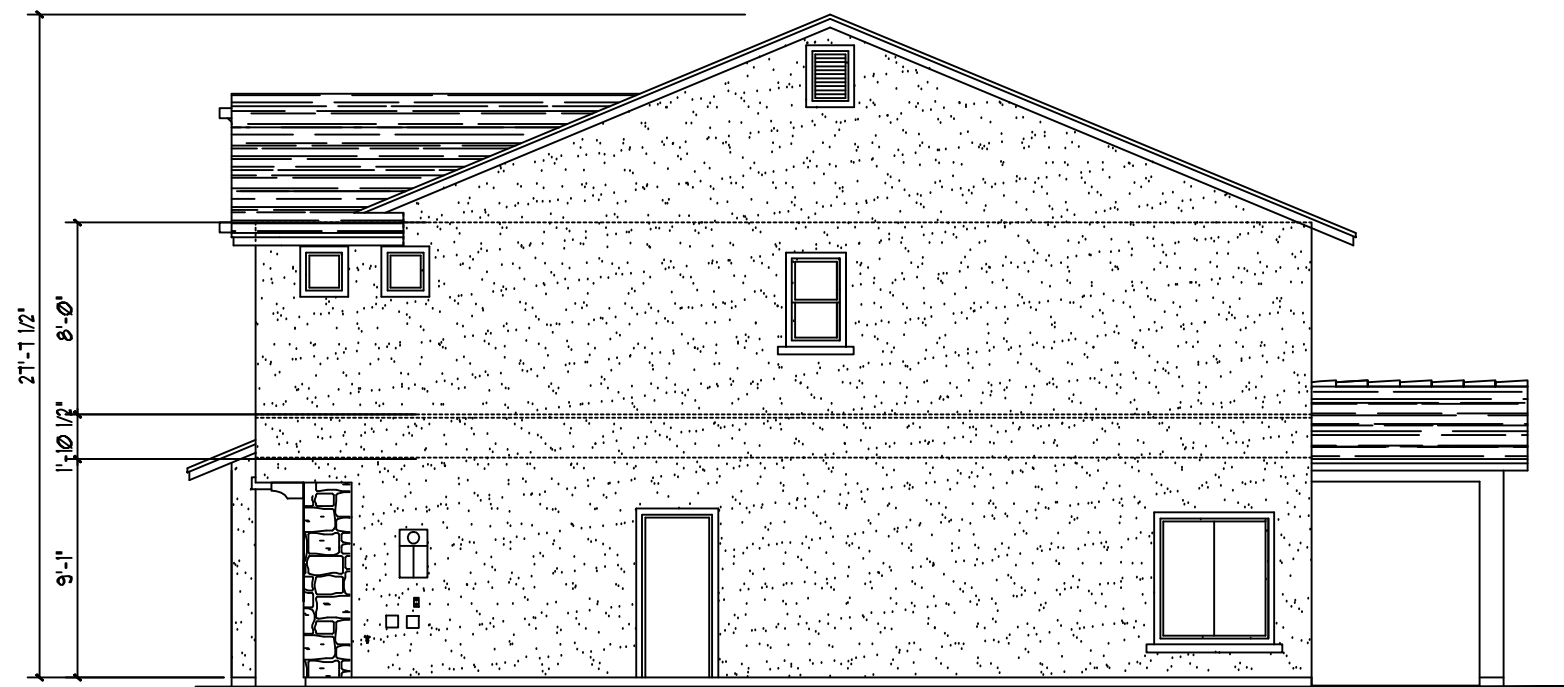
NEWMARK HOMES



FRONT ELEVATION

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RIGHT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

"B" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FIVE ELEVATION "B"
30' Wide / 2,050 sq. ft. Plan

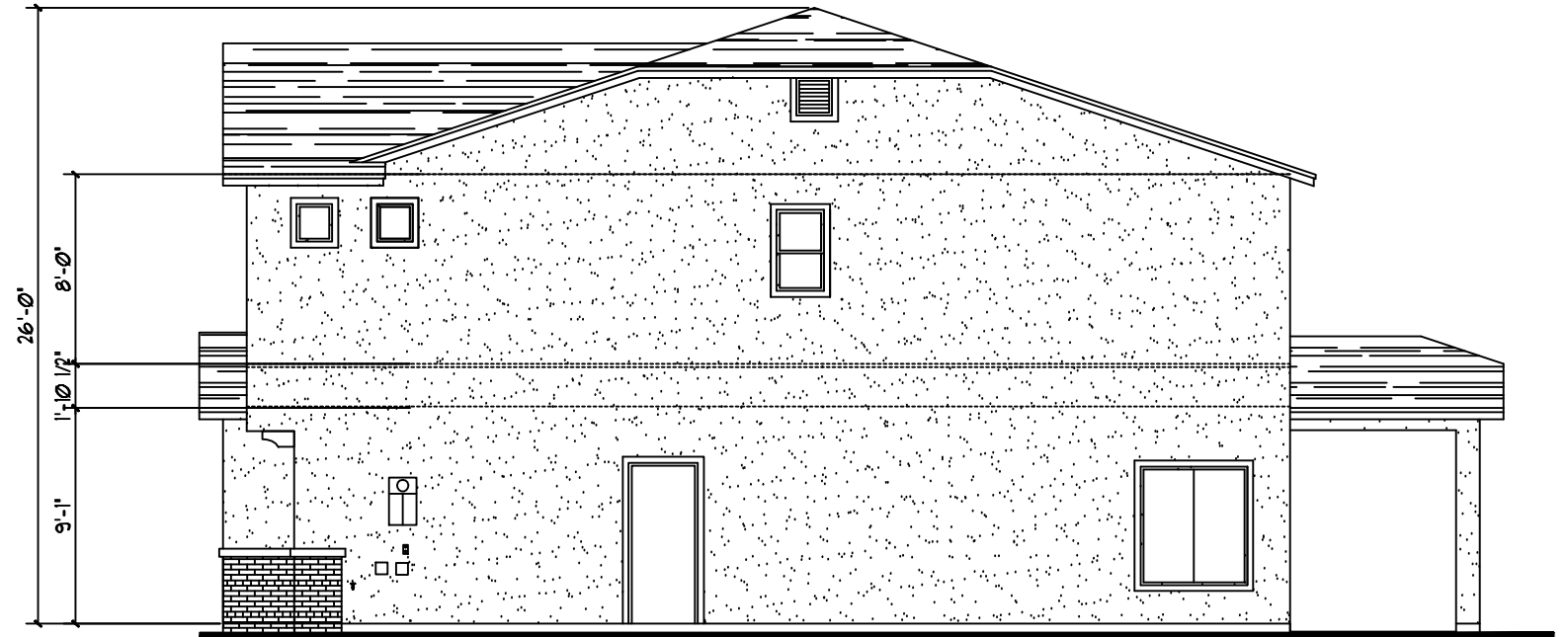
NEWMARK HOMES



FRONT ELEVATION

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RIGHT ELEVATION

1/2" ELEVATION

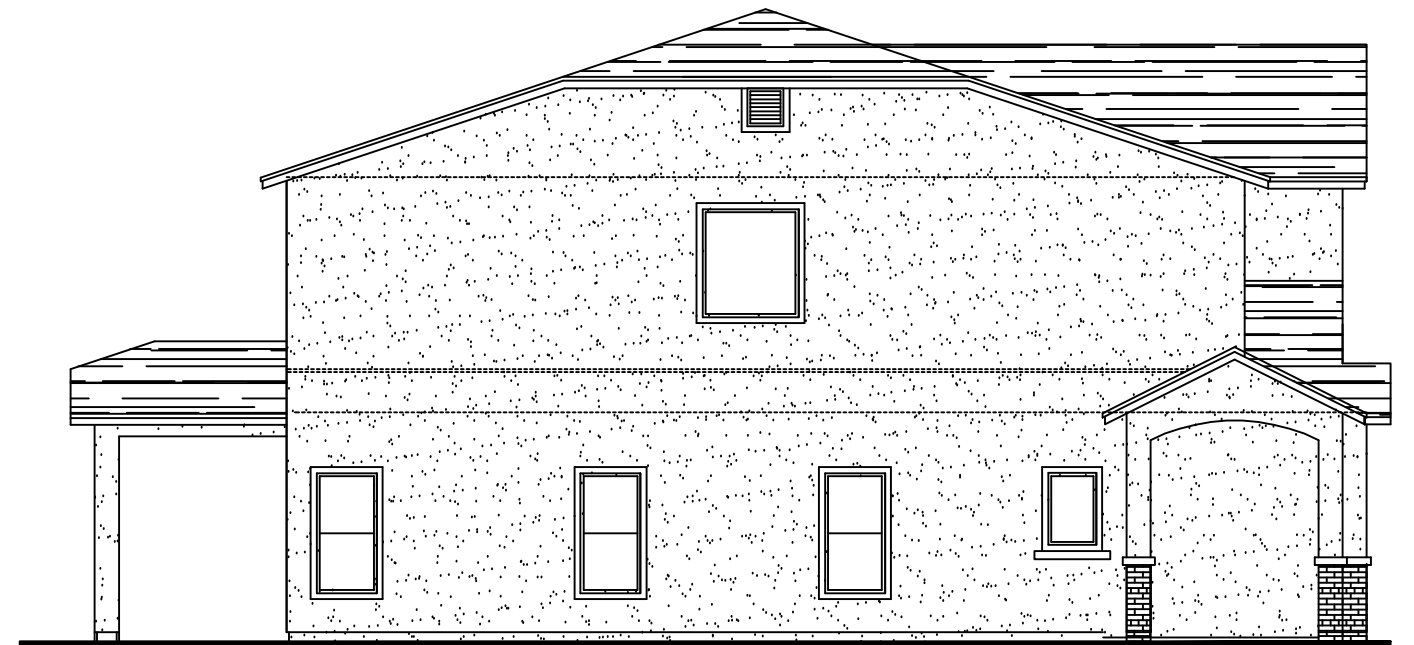
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REAR ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FIVE ELEVATION "C"
30' Wide / 2,050 sq. ft. Plan

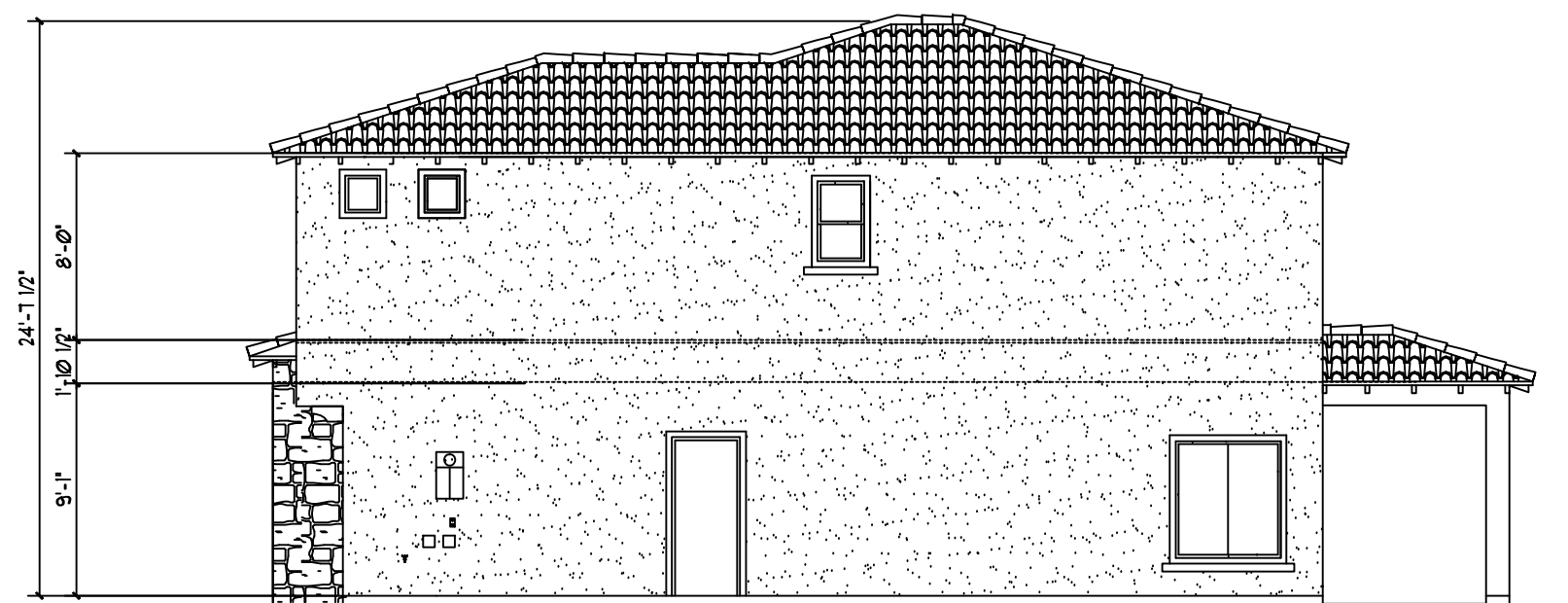
NEWMARK HOMES



FRONT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

1/2" ELEVATION

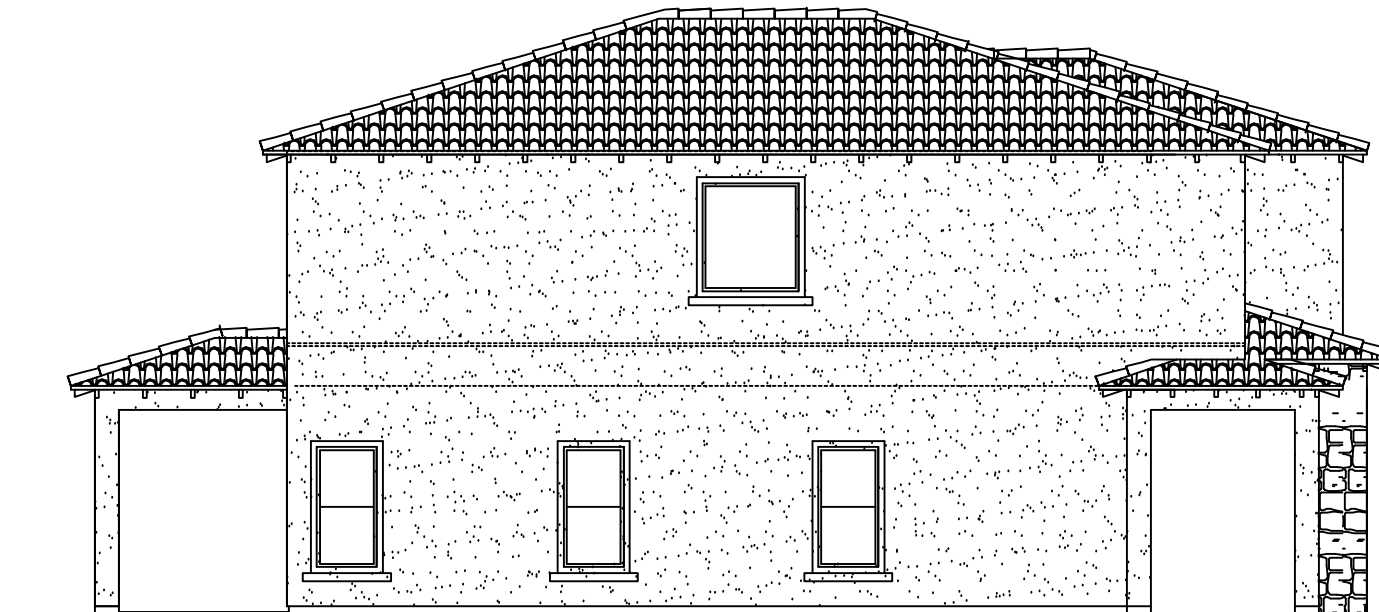
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REAR ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

1/2" ELEVATION

SCALE: 1/8"=1'-0"

PLAN FIVE ELEVATION "D"
30' Wide / 2,050 sq. ft. Plan

NEWMARK HOMES



PLAN TWO ELEVATION A
SCHEME A.2

PLAN FIVE ELEVATION C
SCHEME B.5

PLAN ONE ELEVATION C
SCHEME B.7

PLAN THREE ELEVATION D
SCHEME C.12

PLAN FOUR ELEVATION B
SCHEME B.8

Diamond Court
South of the Southwest Corner of Signal Butte and Broadway Roads
Citizen Participation Report
July 6, 2016

Purpose:

The purpose of the Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa for the following:

1. To rezone the site from RS-43 to RSL- 3.0 PAD.
2. Approval of the preliminary plat as submitted.

By providing opportunities for citizen participation, the applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plan.

Contact Information:

Those coordinating the Citizen Participation activities are as follows:

Sean B. Lake
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
sean.lake@pewandlake.com

Valerie Claussen
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
Valerie.Claussen@pewandlake.com

Actions:

In order to provide effective citizen participation in conjunction with this application, the following actions were completed to provide opportunities for feedback from surrounding property owners:

1. A neighborhood meeting was held on June 15, 2016. Notice was sent to to all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts within 1-mile of the property were notified (the registered neighborhood contacts list will be obtained from the City of Mesa Neighborhood Outreach Division). A total of 386 notification letters were sent. Nobody attended the meeting.

Attached Exhibits:

- A) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property.

B) Notification Map of surrounding property owners.

C) Draft Notification letter for the neighborhood meeting.

Schedule:

Pre-Application Submittal-

Pre-Submittal Conference- April 18, 2016

Neighborhood Meeting- June 15, 2016

Formal Application- May 31, 2016

Follow-Up Submittal- July 5, 2016

Planning and Zoning Board Hearing- August 17, 2016

City Council Introduction- tba

City Council Final Action- tba

Diamond Court
South of the SWC of Signal Butte and Broadway Roads
Mesa, Arizona
Neighborhood Meeting Summary
June 16, 2016

The following is a summary of the neighborhood meeting for Diamond Court located south of the southwest corner of Signal Butte and Broadway Roads in Mesa, AZ.

The meeting was held on Wednesday, June 15, 2016 at 6:00 PM at the Episcopal Church of Transfiguration located at 514 S. Mountain Road in Mesa. On May 31, 2016, a letter describing the applicant's request and providing notification of the neighborhood meeting was sent to all property owners within 1000 feet and all neighborhood associations within 1 mile of the subject site.

Sean Lake and Vanessa MacDonald with Pew & Lake along with Jim Carlson from Newmark Homes were present at the meeting. No neighbors attended the neighborhood meeting,