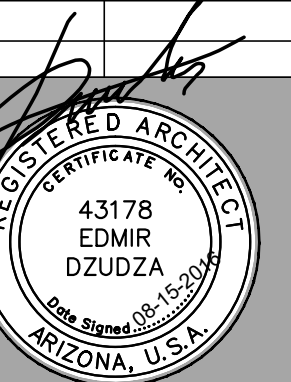


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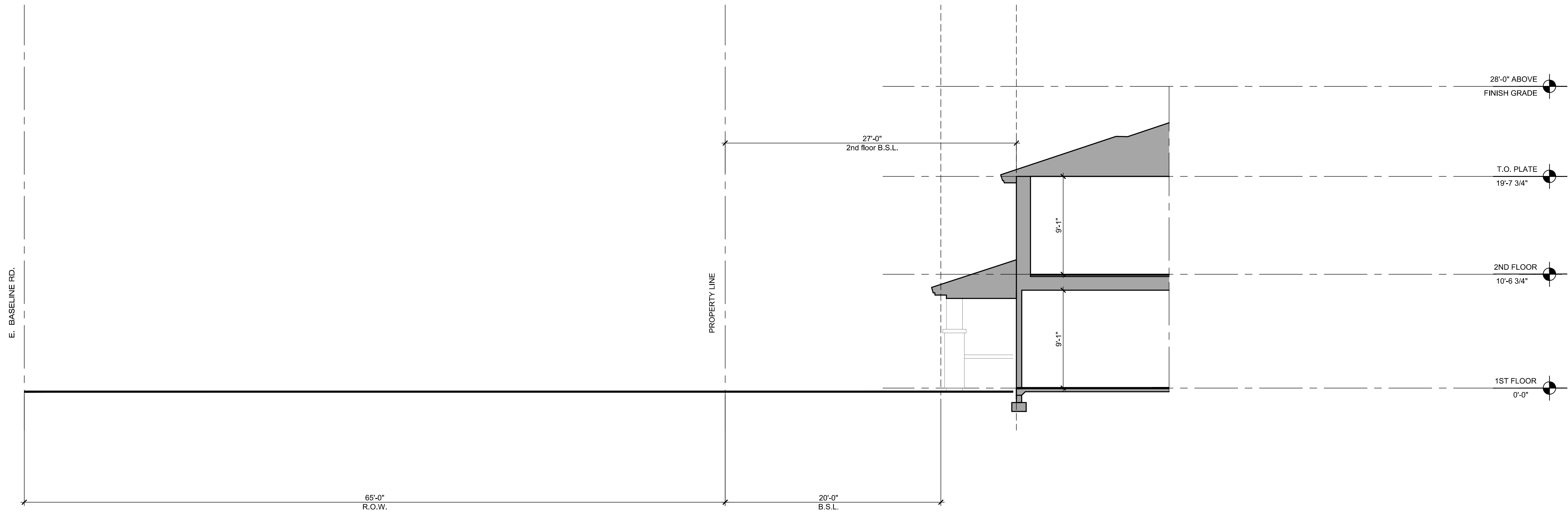
**Villa Rialto
Phase II**
By KDL Investments, LLC
7820 East Baseline Road, Mesa, AZ 85208

Conceptual Section

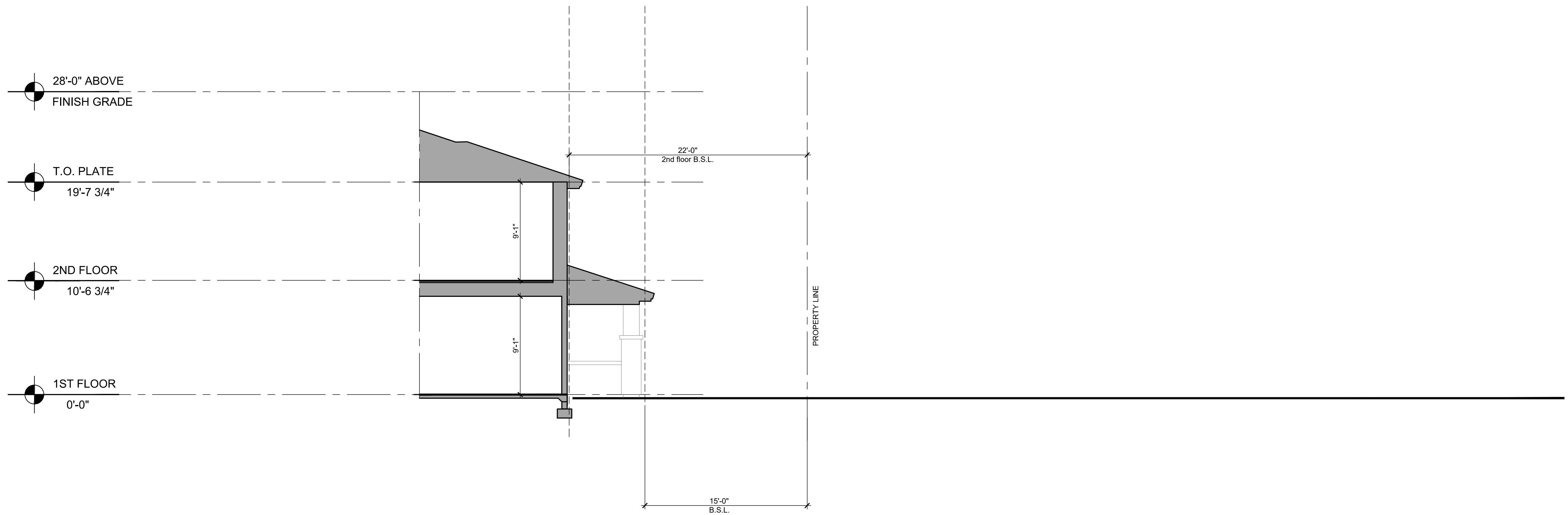
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Project No.	0813-2
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 3/16" = 1'-0"

A104
4 OF 23



2 SECTION
SCALE : 3/16" = 1'-0"



1 SECTION
SCALE : 3/16" = 1'-0"

LEGEND

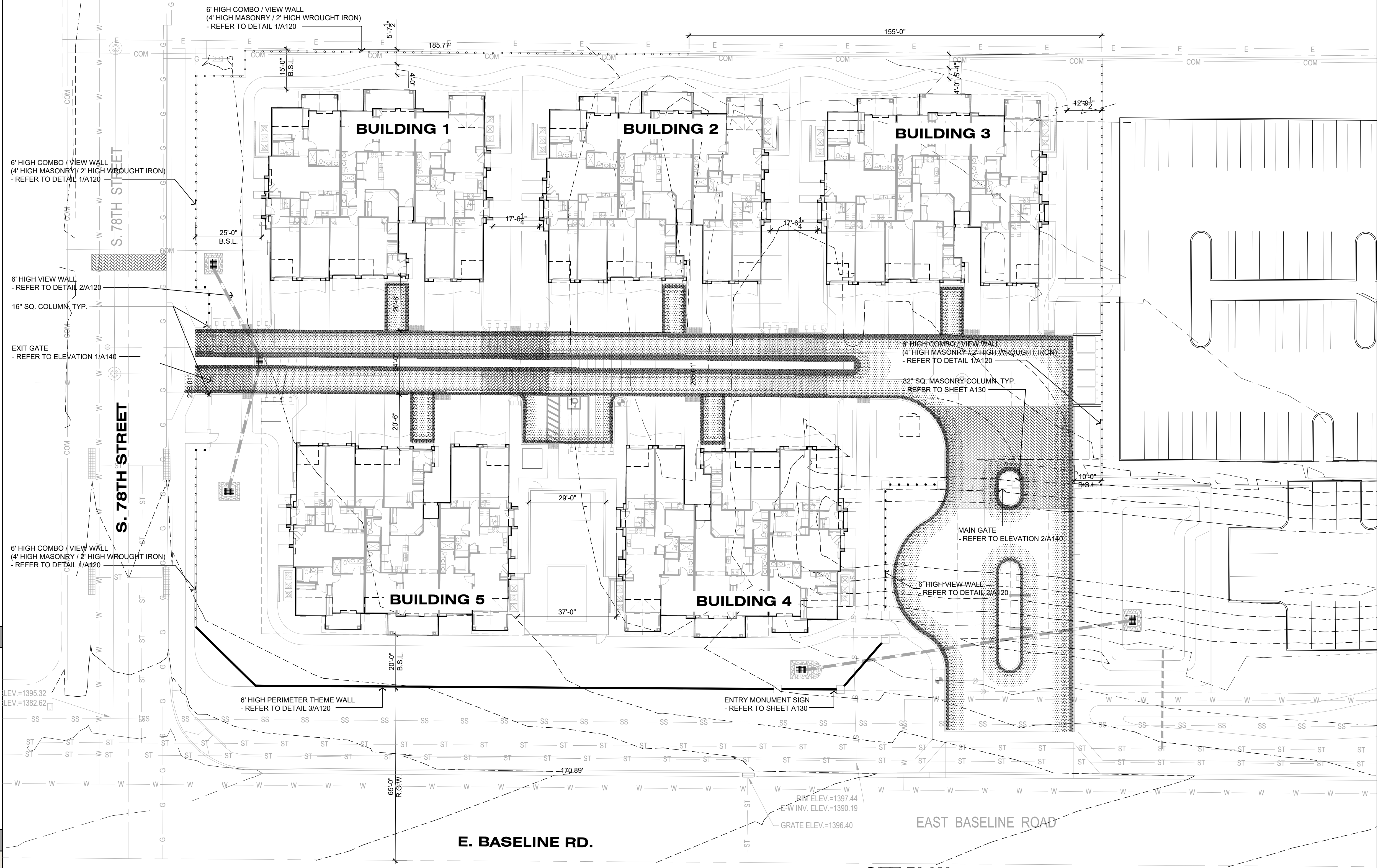
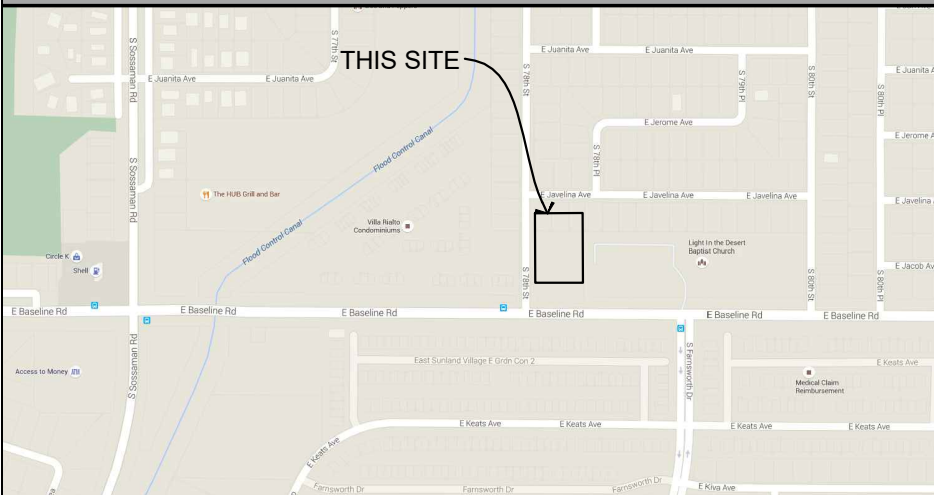
- BOUNDARY LINE
--- CENTER LINE OR MONUMENT LINE
--- CONCRETE SURFACE
- DECORATIVE BRICK SURFACE
- DIMPLED PEDESTRIAN RAMP SURFACE
- 24 INCH VERTICAL CURB □ GUTTER
- 24 INCH ROLLED CURB
- 6 INCH CONCRETE CURB
- DRIVE
- WALL
- FENCE
- O.H.E. --- OVERHEAD ELECTRIC LINE
- SET 1/2" REBAR CAPPED 42137 (UNLESS OTHERWISE NOTED)
- 4 SCHEDULE B ITEM
- BACK FLOW PREVENTER
- BIKE RACK
- DOWN GUY
- ELECTRIC BOX
- ELECTRIC CABINET
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- FLAG POLE
- GUARD POST OR GATE POST
- HANDICAPPED SPACE
- METAL GRATE (RECTANGULAR)
- GATE KEY PAD
- LIGHT POLE
- MAIL BOX
- POWER POLE
- POWER POLE W/ UNDERGROUND ELECTRIC
- SEWER CLEAN OUT
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- STREET SIGN
- STUB OUT
- TELEPHONE RISER
- TRAFFIC SIGNAL BOX
- CABLE TELEVISION RISER
- WATER METER
- WATER VALVE
- ASSESSORS PARCEL NUMBER
- MARICOPA COUNTY RECORDS
- RIGHT OF WAY
- BOOK
- PAGE
- (TYP.)
- W.C.
- N.A.P.
- N.B.D.A.
- WITNESS CORNER
- NOT A PART
- NO BUILDINGS - DIRT AREA

WALL LEGEND

- 6" HIGH PERIMETER THEME WALL
- 6" HIGH VIEW WALL (2" HIGH MASONRY / 4" HIGH WROUGHT IRON)
- 6" HIGH COMBO / VIEW WALL (4" HIGH MASONRY / 2" HIGH WROUGHT IRON)
- 32" SQ. MASONRY COLUMN
- ⊗ 16" PILASTER / COLUMN

FOR ALL WALL DETAILS SEE WALL DETAIL SHEET A120

VICINITY MAP



SITE WALLS PLAN

SCALE: 1"=20'-0"



Rev.	Date	Submittal
	04-20-2016	Pre-Application
	08-15-2016	Follow Up



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**Villa Rialto
Phase II**
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Site Walls Plan

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Approved By:	ED

Scale: 1"=20'-0"

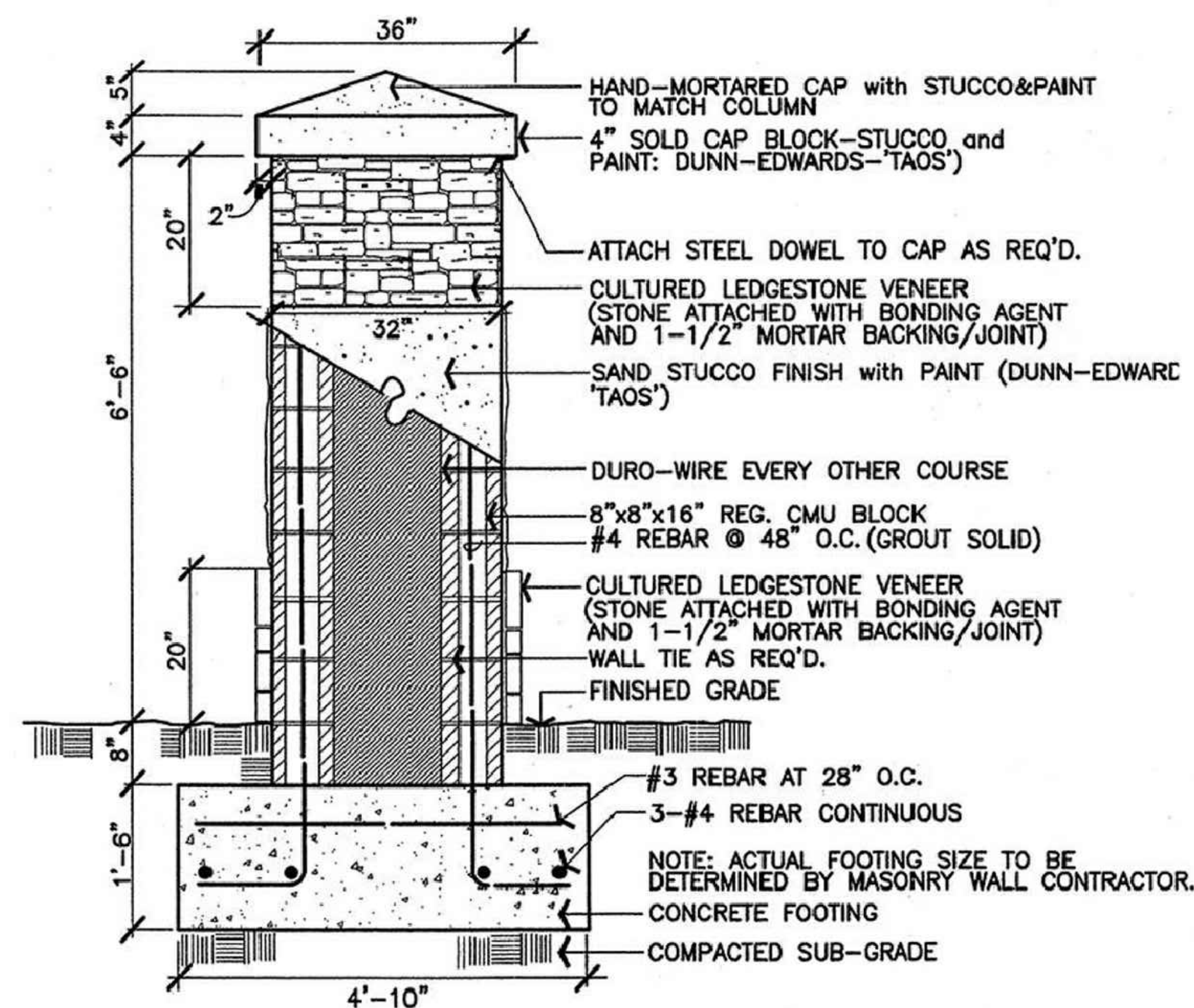


SCALE: 1"=20'-0"

NOTE: PROVIDE A KNOX BOX and STROBE ACCESS SYSTEM

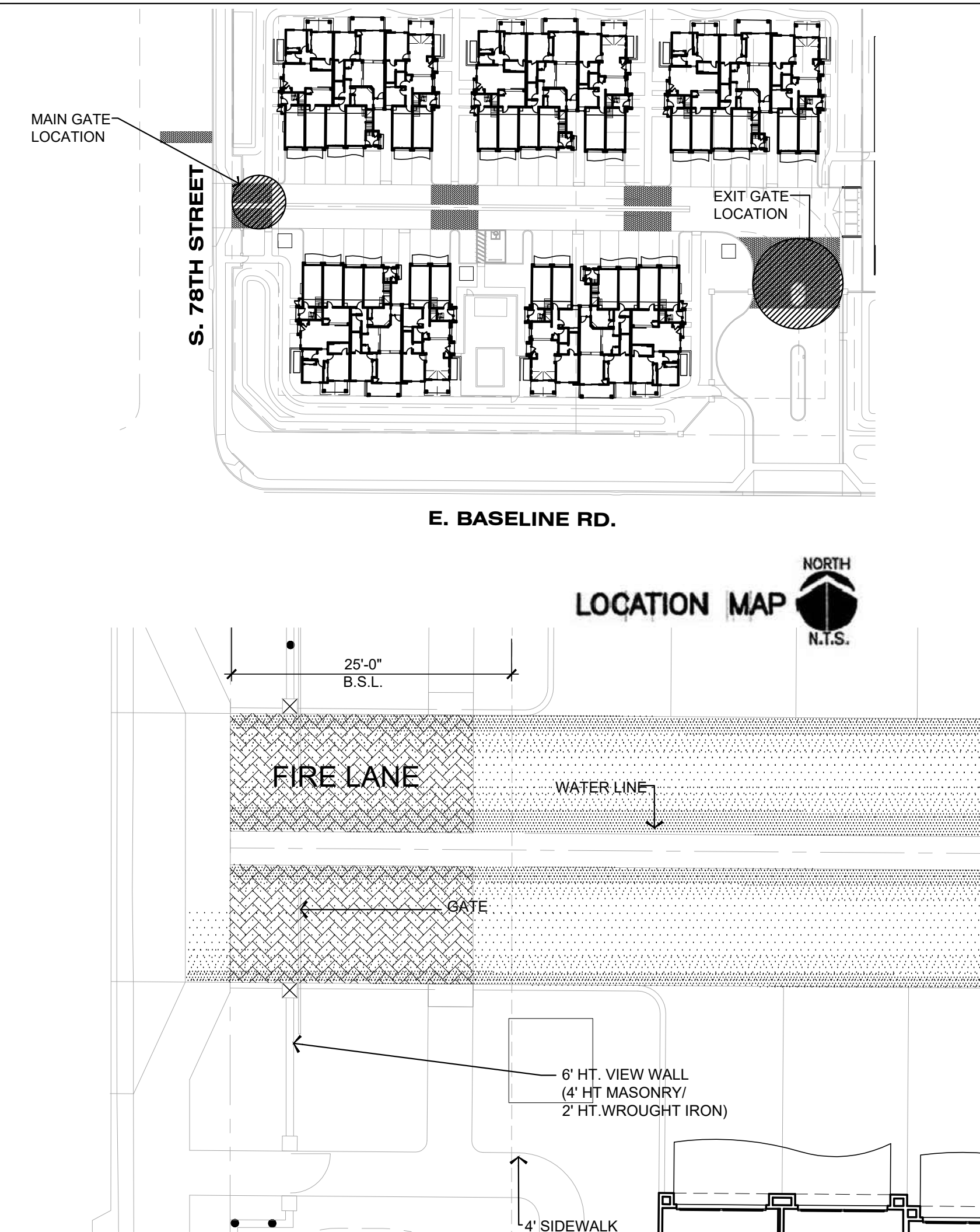
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MATERIALS FINISH SCHEDULE				
	MATERIAL	FINISH	MANUFACTURER	COLOR MATERIAL PRODUCT CODE
	1-KOTE STUCCO SYSTEM	PAINT Accent Color - Cap	Dunn Edwards	Daydreaming DET 678
	1-KOTE STUCCO SYSTEM	PAINT Body Color	Dunn Edwards	Baked Potato DEC 717
	1-KOTE METAL	PAINT Railing	Shervin-Williams	Best Bronze SW6160
	STONE VENEER	STONE VENEER	Boral Cultured Stone	Chardonnay



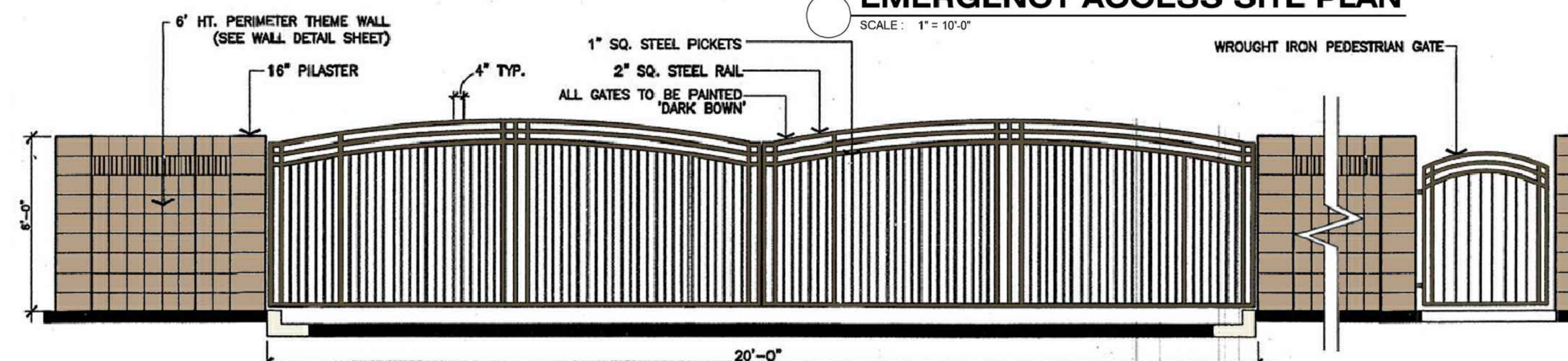
NOT TO SCALE

BEFORE ANY DIGGING
CALL 'BLUE-STAKE'



EMERGENCY ACCESS SITE PLAN

SCALE: 1" = 10'-0"



1 EXIT GATE ELEVATION

SCALE: N.T.S.

NOTE:

NOTE:
THE GATE CONTROLLER RELEASES THE GATE(S) AUTOMATICALLY UPON LOSS OF POWER. IF BATTERY BACK-UP IS INSTALLED, UPON LOSS OF POWER OR LOW BATTERY, THE GATES WILL OPEN AND REMAIN OPEN. EXCEPTION: IF THE GATE IS LINKED TO AN EMERGENCY GENERATOR ON SITE AS A SECOND SOURCE OF POWER.

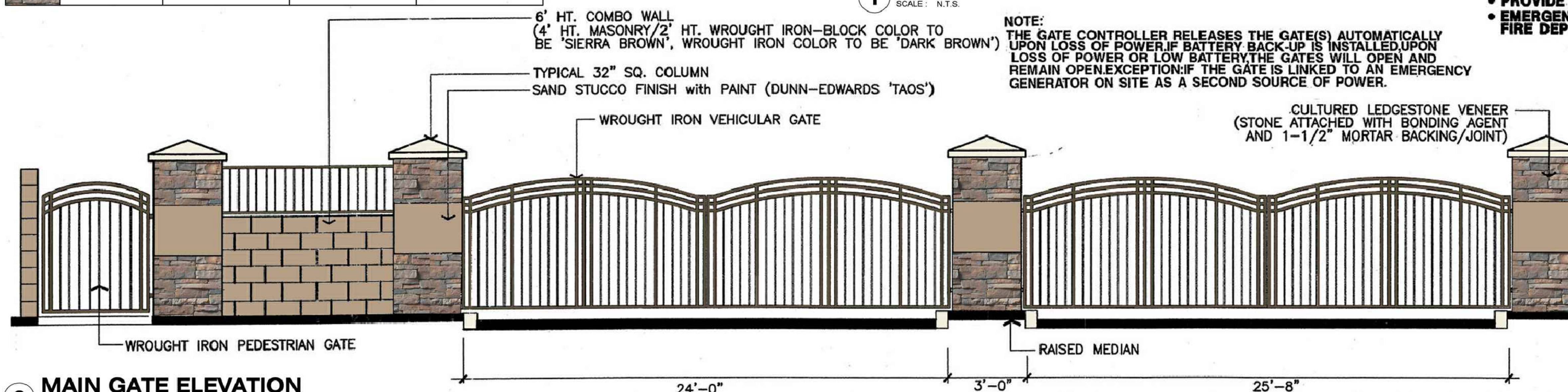
NOTES.

- PROVIDE A KNOX BOX ACCESS SYSTEM.
- EMERGENCY GATE SHALL BE FULLY AUTOMATIC FOR FIRE DEPT. USE ONLY

33'x33' SIGHT VISIBILITY TRIANGLE NOTE:
NO STRUCTURES, LANDSCAPING, IRRIGATION
COMPONENTS, FENCE, WALL, BERM TERRACE
OR OTHER OBSTRUCTION TO VIEW IN EXCESS OF
TWO FEET IN HEIGHT AS MEASURED FROM THE
CENTERLINE OF THE STREET SHALL BE PLACED
WITHIN THE REQUIRED 33x33 FOOT SIGHT
VISIBILITY TRIANGLES.

SIGHTLINE NOTE:
ALL TREES WITHIN THE SIGHT VISIBILITY LINES TO BE TRIMMED UP AND MAINTAINED AT A 7' MIN. CANOPY HEIGHT, AND ALL GROUND COVER TO BE MAINTAINED AT A MAX. HEIGHT OF 24". NO SHRUBS ARE ALLOWED IN THE SIGHT VISIBILITY LINES.

A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL UNDERGROUND OBSTRUCTIONS AND UTILITY LINES IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF UTILITIES IN ADVANCE OF TRENCHING.



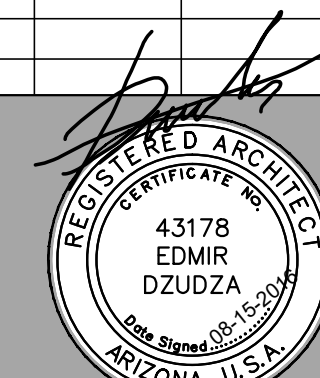
MAIN GATE ELEVATION

SCALE: N.T.S.

VIEW LOOKING WEST

NOTE: PROVIDE A KNOX BOX and STROBE ACCESS SYSTEM

917 W. Kathleen Rd. Phoenix AZ 85023
phone: 602/481-9282 fax: 480/359-4407
e-mail: e-project@cox.net

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Villa Rialto

Phase II

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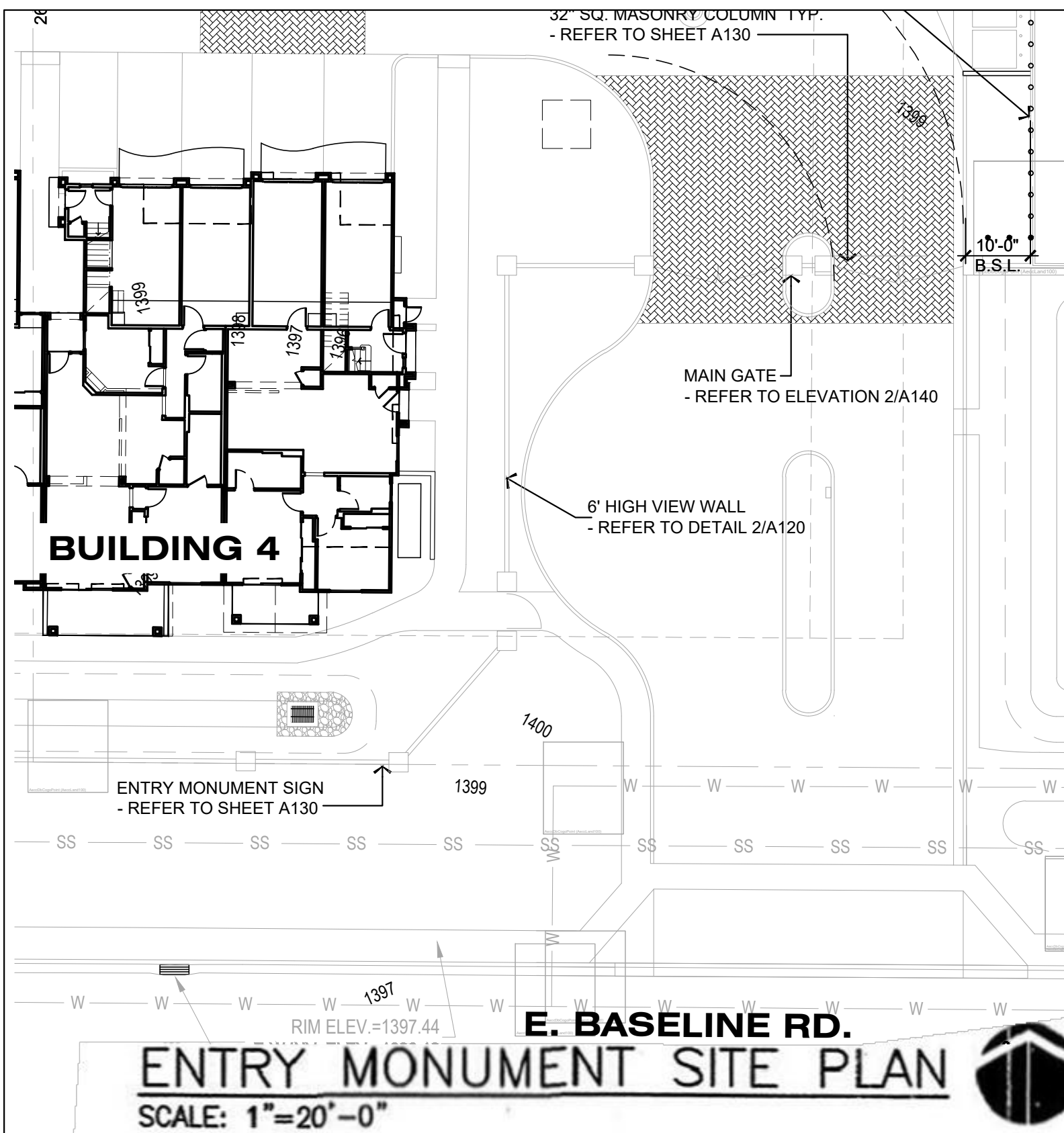
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Approved By:	ED

Scale: AS NOTED

A140

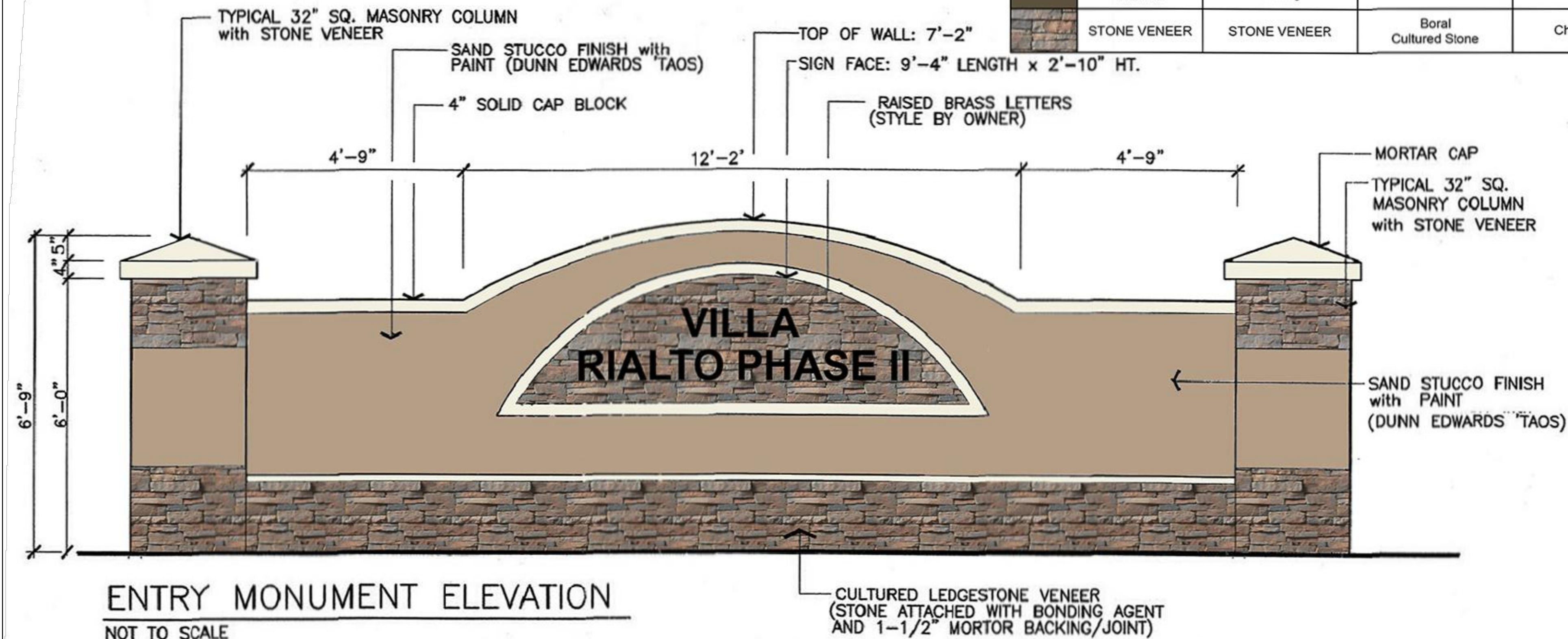
6 OF 23



WALL CONTRACTOR IS RESPONSIBLE IN OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MESA BUILDING DEPARTMENT.

A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL UNDERGROUND OBSTRUCTIONS AND UTILITY LINES IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF UTILITIES IN ADVANCE OF TRENCHING.

BEFORE ANY DIGGING, CALL 'BLUE-STAKE'

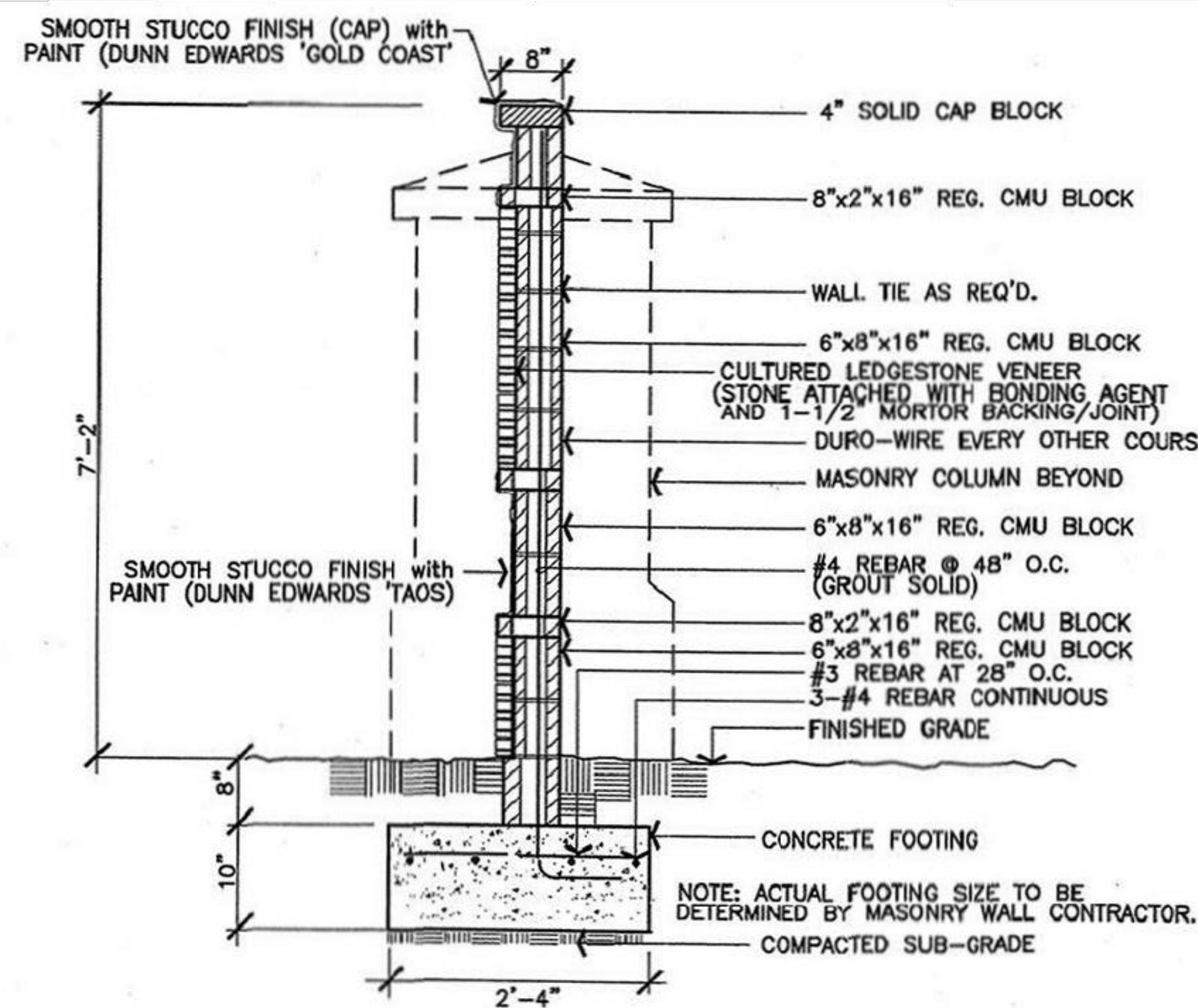


ENTRY MONUMENT ELEVATION

NOT TO SCALE

NOTE: ALL EXTERIOR SIGNS REQUIRE A SEPARATE SIGN PERMIT AND COMPATIBILITY WITH BUILDING ARCHITECTURE.

NOTE: SIGNAGE MONUMENT/SIGNS WILL BE COVERED UNDER A SEPERATE CITY OF MESA PERMIT.

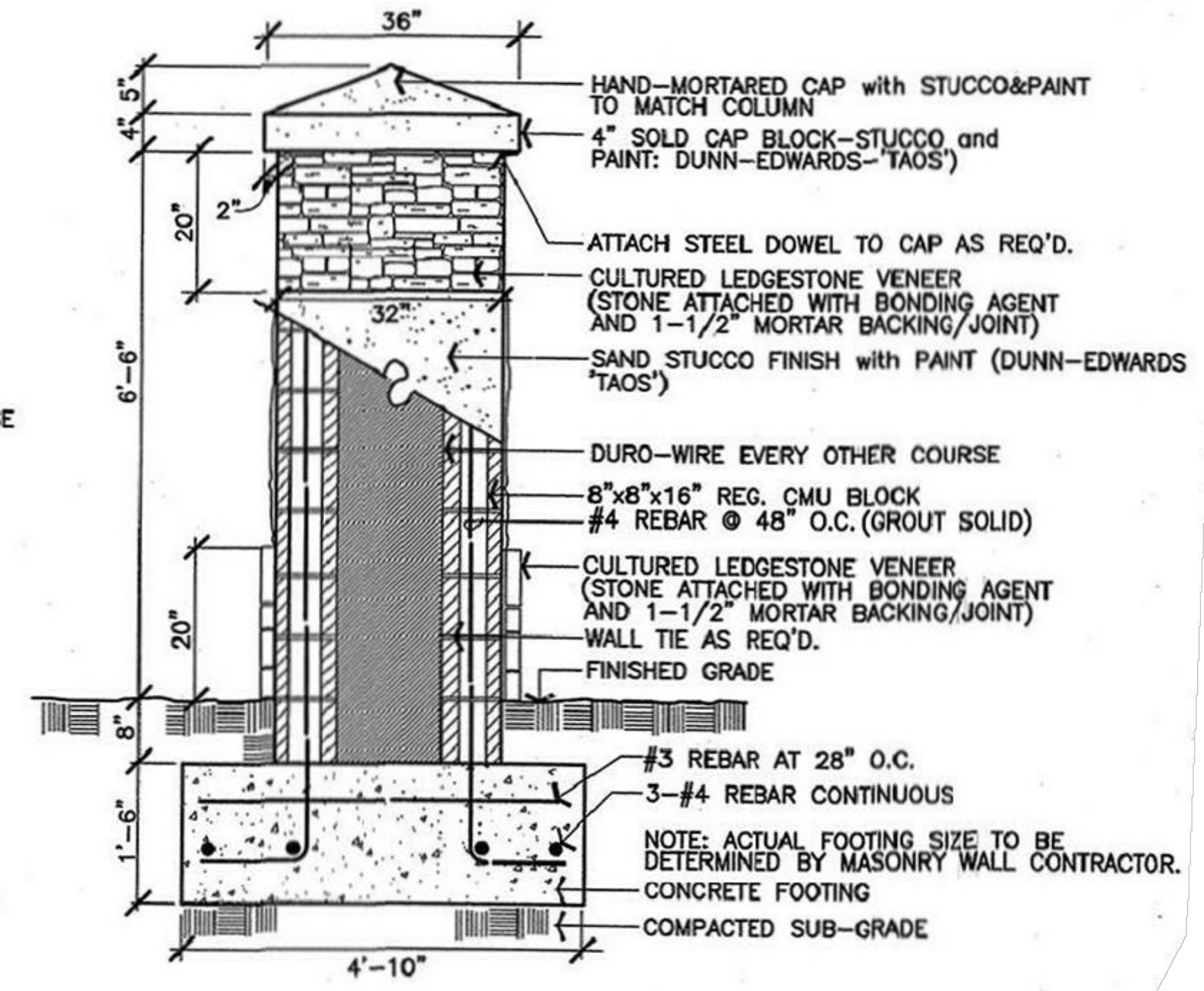


ENTRY MONUMENT SECTION DETAIL

NOT TO SCALE

MATERIALS FINISH SCHEDULE

	MATERIAL	FINISH	MANUFACTURER	COLOR MATERIAL PRODUCT CODE
	1-KOTE STUCCO SYSTEM	PAINT Accent Color - Cap	Dunn Edwards	Daydreaming DET 678
	1-KOTE STUCCO SYSTEM	PAINT Body Color	Dunn Edwards	Baked Potato DEC 717
	1-KOTE METAL	PAINT Railing	Shervin-Williams	Best Bronze SW6160
	STONE VENEER	STONE VENEER	Boral Cultured Stone	Chardonnay

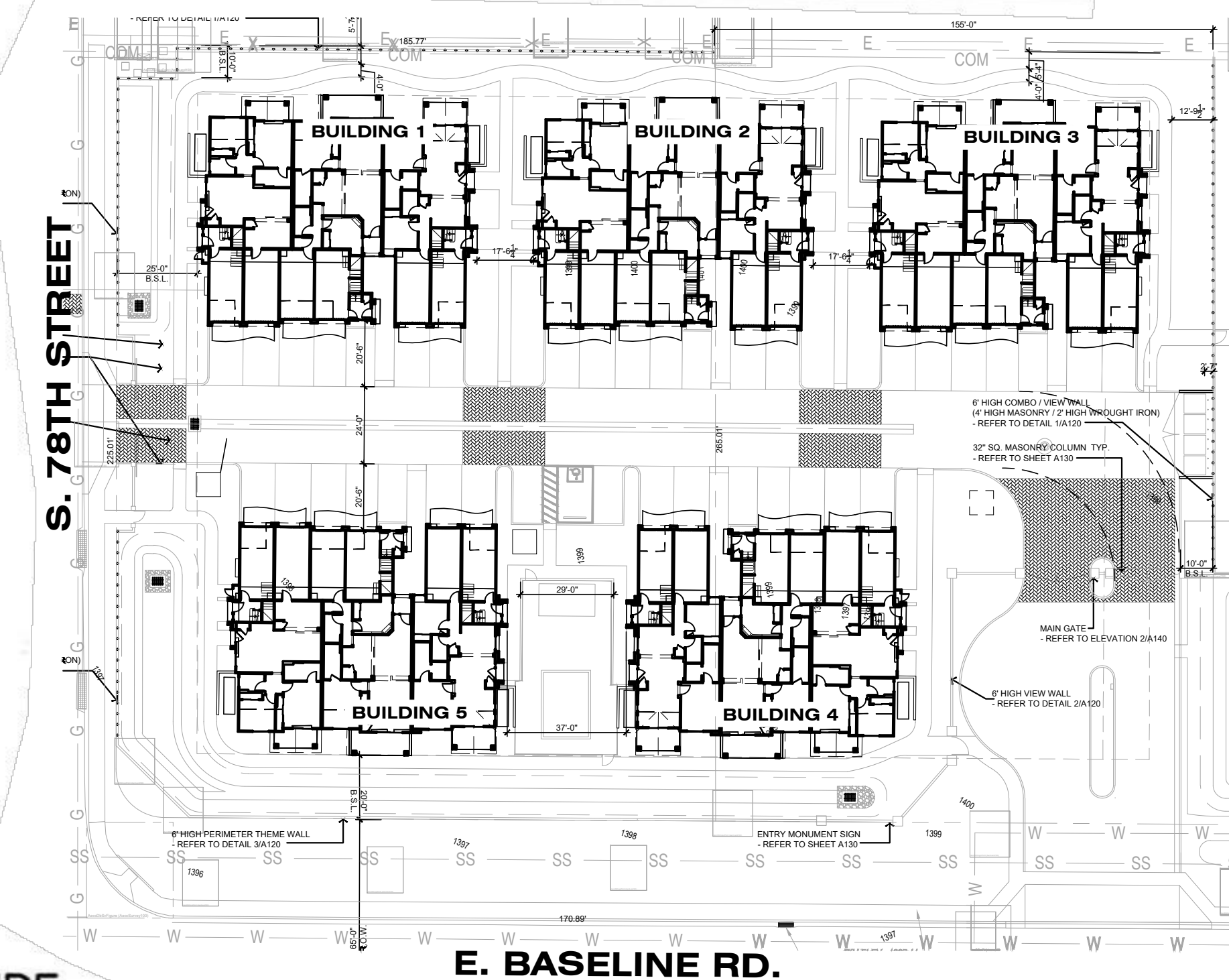


ENTRY MONUMENT COLUMN DETAIL

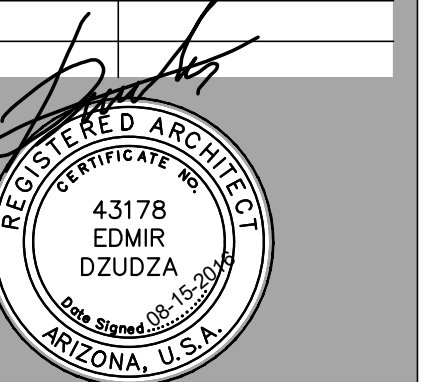
NOT TO SCALE

NOTES:

1. ALL MASONRY WALLS TO BE STRUCTURALLY ENGINEERED FOR PROPER STABILITY BY A CERTIFIED STRUCTURAL ENGINEER.
2. ALL SIGNAGE PER REQUIRED SEPARATE PERMIT FROM CITY OF MESA.
3. SIGNAGE FACE AND LETTERING TO CONFORM TO CITY OF SCOTTSDALE SIGNAGE CODES AND SPECIFICATIONS.



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