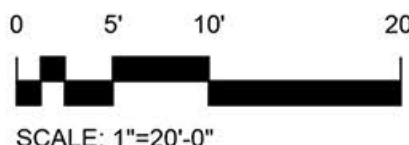


Villa Rialto - Phase II



SITE PLAN

SCALE: 1"= 20'-0"



SCALE: 1"=20'-0"

Rev.	Date	Submittal
	04-20-2016	Pre-Application
	08-15-2016	Follow Up



EXPIRATION DATE: 09/30/2017
SIGNED AND SEALED
ELECTRONICALLY 08-15-2016

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**Villa Rialto
Phase II**
By KDL Investments, LLC
7820 East Baseline Road, Mesa, AZ 85208

Colored Site Plan

Date:	08-15-2016
Project No.	0813-2
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 1"=20'-0"

LEGEND

	BOUNDARY LINE
	CENTER LINE OR MONUMENT LINE
	CONCRETE SURFACE
	DECORATIVE BRICK SURFACE
	DIMPLED PEDESTRIAN RAMP SURFACE
	24 INCH VERTICAL CURB & GUTTER
	24 INCH ROLLED CURB
	6 INCH CONCRETE CURB
	INDICATES DRIVEWAY (MEANS OF ACCESS)
	WALL
	FENCE
	OVERHEAD ELECTRIC LINE
	SET 1/2" REBAR CAPPED 42137 (UNLESS OTHERWISE NOTED)
	SCHEDULE B ITEM
	BACK FLOW PREVENTER
	BIKE RACK
	DOWN GUY
	ELECTRIC BOX
	ELECTRIC CABINET
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	FIRE HYDRANT
	FLAG POLE
	GUARD POST OR GATE POST
	HANDICAPPED SPACE
	METAL GRATE (RECTANGULAR)
	GATE KEY PAD
	LIGHT POLE
	MAIL BOX
	POWER POLE
	POWER POLE W/ UNDERGROUND ELECTRIC
	SEWER CLEAN OUT
	STORM DRAIN MANHOLE
	SEWER MANHOLE
	STREET SIGN
	STUB OUT
	TELEPHONE RISER
	TRAFFIC SIGNAL BOX
	CABLE TELEVISION RISER
	WATER METER
	WATER VALVE
	ASSESSORS PARCEL NUMBER
	MARICOPA COUNTY RECORDS
	RIGHT OF WAY
	BOOK
	PAGE
	TYPICAL
	WITNESS CORNER
	NOT A PART
	NO BUILDINGS - DIRT AREA

A.P.N.
M.C.R.
R/W
BK.
PG.
(TYP.)
W.C.
N.A.P.
N.B.D.A.

Villa Rialto - Phase II

S. 78TH STREET

E. BASELINE RD.

LEV.=1395.32
LEV.=1382.62

65'-2"
R.O.W.

SITE PLAN

SCALE: 1"=20'-0"

0 5' 10' 20'

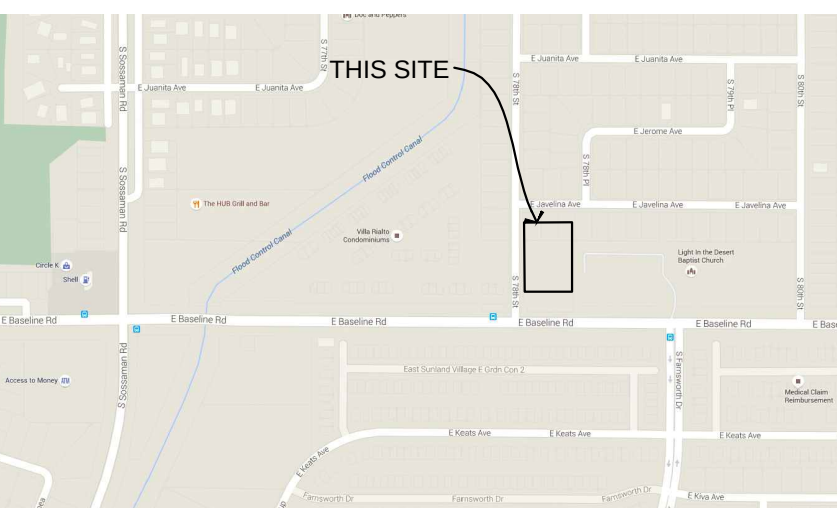
SCALE: 1"=20'-0"

NOTE: FOR PARKING CALCULATIONS
FOR ADJACENT CHURCH PROPERTY
REFER TO SHEET A103

PARKING CALCULATION

REQUIRED PARKING SPACES:	(2) PER DWELLING UNIT 2 X 30 = 60
ADDITIONAL REQUIRED GUEST PARKING SPACES:	1 PER EVERY 10 DWELLING UNITS = 3
TOTAL REQUIRED PARKING SPACES:	63
PROVIDED PARKING SPACES:	30 PRIVATE GARAGES 30 DEDICATED ASSIGNED TANDEM PARKINGS 7 GUEST PARKINGS
PROVIDED ACCESSIBLE SPACES:	1
TOTAL PROVIDED PARKING SPACES:	68

VICINITY MAP



	Standard	RM-3 Required	RM-3 Proposed
Maximum Density	20 du/ac	15.38 du/ac	
Maximum Height	40'	28' to peak 4'-19'6" to eaves	
Baseline Road (6-lane arterial planned)	Building Setback 30'	20' to ground level covered patio 27' to building and 2" story	
(4-lane arterial existing)	Landscape Width 30'	20' to ground level covered patio 27' to building	
78th Street (local street)	Building Setback 20'	22' to HVAC screen wall 25' to building	
	Landscape Width 20'	22' to HVAC screen wall 25' to building	
Interior Side & Rear Setback (North, adj. to RS-6 residential)	Building Setback 30' (1-story) 30' (2-story)	15' to ground level covered patio 22' to building and 2" story	
	Landscape Width 25'	15' to ground level covered patio 22' to building	
Interior Side & Rear Setback (East, adj. to RS-6 church use)	Building Setback 25' (1-story) 30' (2-story)	16'-6" to HVAC screen wall 20' to door projections 23'-6" to building	
	Landscape Width 25'	0' to solid waste enclosure 10' plus elsewhere	
Building Separation on Same Lot	30' (2-story)	12' between HVAC screen walls 17'-6" between door projections 20'-6" door-to-door at entries 24'-6" between buildings	
Maximum Building Coverage	50%	41.90%	
Open Space (Common)	175 s.f. per unit 5,250 s.f. (total)	853.77 s.f. per unit 25,613 s.f. (total provided)	110sf 140sf 120sf 60sf 100sf 60sf
Open Space (Private):	100 s.f. (2 bedroom) 60 s.f. (3 bedroom) above ground	110, 120 & 140 s.f. (2 bedroom) 60, 60 & 100 s.f. (3 bedroom)	
Landscaping Percentage	40%		
Parking	63 spaces	68 spaces (1 of which is ADA accessible)	

OPEN SPACE CALCULATION

Required	30 units x 175 sf = 5,250sf
Provided	6x590sf = 3,540sf (private open space 25,613sf (common open space

Unit Type	level	no of bedrooms	open space required	open space provided
Unit D- Capri	1	2	100sf	110sf
Unit E- Pisa	1	2	100sf	140sf
Unit F- Sorento	1	2	100sf	120sf
Unit G- Milan	2	3	60sf	60sf
Unit H- Rome	2	3	60sf	100sf
Unit I- Florencia	2	3	60sf	60sf
Total				590sf

SITE DATA

PARCEL #:	APN 218-57-978 AND APN 218-57-987
PROPOSED ZONING:	RM-3 MULTIPLE RESIDENCE DISTRICT
SITE NET AREA:	44,587 SF
E. BASELINE RD. R.O.W. AREA:	6,949 SF
SITE GROSS AREA (PROPOSED):	84,926 SF + 6,949 SF + 25,538 SF = 117,413 SF ~ 2.70 AC
NEW DWELLING UNITS:	30
DENSITY (PROPOSED):	30 DU / 2.70 AC = 11.11 DU/AC
PROPOSED LOT COVERAGE:	30.31%

KEYNOTES

1. PROPERTY LINE	22. 600 Amps SES
2. BUILDING SET BACK LINE	23. WATER METER, REFER TO CIVIL
3. NEW 6-PLEX BUILDING	24. A/C UNIT COMPRESSORS
4. EXISTING PARKING	25. NEW MOTORIZED GATES WITH OPTICOM PREEMPTION DEVICE
5. TRASH ENCLOSURE ENCRANCHING INTO LANDSCAPE SETBACK	26. POOL UNDER SEPARATE PERMIT
6. PROPOSED PROPERTY LINE	27. POOL FENCE
7. LANDSCAPE	28. 48" HIGH MASONRY SCREEN WALL
8. RETENTION AREA	29. NEW SIDEWALK CURB AND GUTTER
9. ASPHALT PAVING	30. EXISTING SIDEWALK TO REMAIN
10. 6'-0" HIGH MASONRY WALL	31. 48" WIDE WALKWAY
11. REMOVE EXISTING PARKING	32. NEW 6 FEET HIGH MASONRY WALL, REFER TO DETAIL 1A120
12. ADA PARKING	33. 48" WIDE GATE
13. ADA RAMP	34. PRIVATE TANDEM PARKING SPACE 10'-0" X 18'-0" MIN.
14. NEW 6' HIGH MASONRY WALL	35. DECORATIVE PAVEMENT (STAMPED ASPHALT)
15. 12'x12' RAMADA	36. NEW MOTORIZED SLIDING GATE WITH OPTICOM PREEMPTION DEVICE
16. BBQ	37. 1ST LEVEL OUTLINE
17. NON ASSIGNED PARKING SPACE 9'-0" X 18'-0" MIN.	38. 2ND LEVEL OUTLINE
18. POOL AREA	
19. FIRE RISER ROOM AND FIRE DEPARTMENT CONNECTION	
20. PROPOSED TRANSFORMER LOCATION, BY UTILITY PROVIDER	

SHEET INDEX

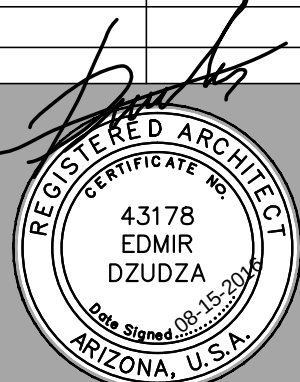
1. A101 SITE PLAN	21. A361 COLORED ELEVATIONS TYPE A-1
2. A102 SITE PLAN (FOR REFERENCE ONLY)	22. A370 COLORED ELEVATIONS TYPE A-2
3. A103 SITE PLAN-PARKING LOT	23. A371 COLORED ELEVATIONS TYPE A-2
4. A104 CONCEPTUAL SECTIONS	
5. A110 SITE WALLS PLAN	
6. A120 SITE DETAILS	
7. A130 SITE DETAILS	
8. A140 SITE DETAILS	
9. A150 COLORED SITE PLAN	
10. A200 6-PLEX FIRST FLOOR PLAN	
11. A201 6-PLEX SECOND FLOOR PLAN	
12. A300 ELEVATIONS TYPE B	
13. A301 ELEVATIONS TYPE B	
14. A310 ELEVATIONS TYPE A-1	
15. A311 ELEVATIONS TYPE A-1	
16. A320 ELEVATIONS TYPE A-2	
17. A321 ELEVATIONS TYPE A-2	
18. A350 COLORED ELEVATIONS TYPE B	
19. A351 COLORED ELEVATIONS TYPE B	
20. A360 COLORED ELEVATIONS TYPE A-1	
21. A361 COLORED ELEVATIONS TYPE A-1	
22. A370 COLORED ELEVATIONS TYPE A-2	
23. A371 COLORED ELEVATIONS TYPE A-2	

CONTACTS

ARCHITECT:	E-PROJECT, LLC 917 W. KATHLEEN RD PHOENIX, AZ 85023 PHONE: 602-481-9282 FAX: 480-359-4407 E-MAIL: e-project@cox.net CONTACT: EDMIR DZUDZA, AIA
DEVELOPER:	BELA FLOR COMMUNITIES, LLC 1635 N. GREENFIELD RD, #115 MESA, AZ 85205 CONTACT: HUDD HASSELL 602-525-0000
PROJECT DESCRIPTION:	VILLA RIALTO PHASE II DEVELOPMENT, NEW (S) 6-PLEX BUILDINGS ON PARCEL APN 218-57-978 AND WESTERN PORTION OF PARCEL APN 218-57-987
GENERAL CONTRACTOR:	TO BE BID

917 W. Kathleen Rd. Phoenix AZ 85023
phone: 602/481-9282 fax: 480/359-4407
e-mail: e-project@cox.net

Rev.	Date	Submittal
	04-20-2016	Pre-Application
	08-15-2016	Follow Up



EXPIRATION DATE: 09/30/2017
SIGNED AND SEALED
ELECTRONICALLY 08-15-2016

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Villa Rialto Phase II

By KDI Investments, LLC
7820 East Baseline Road, Mesa, AZ 85208

Site Plan

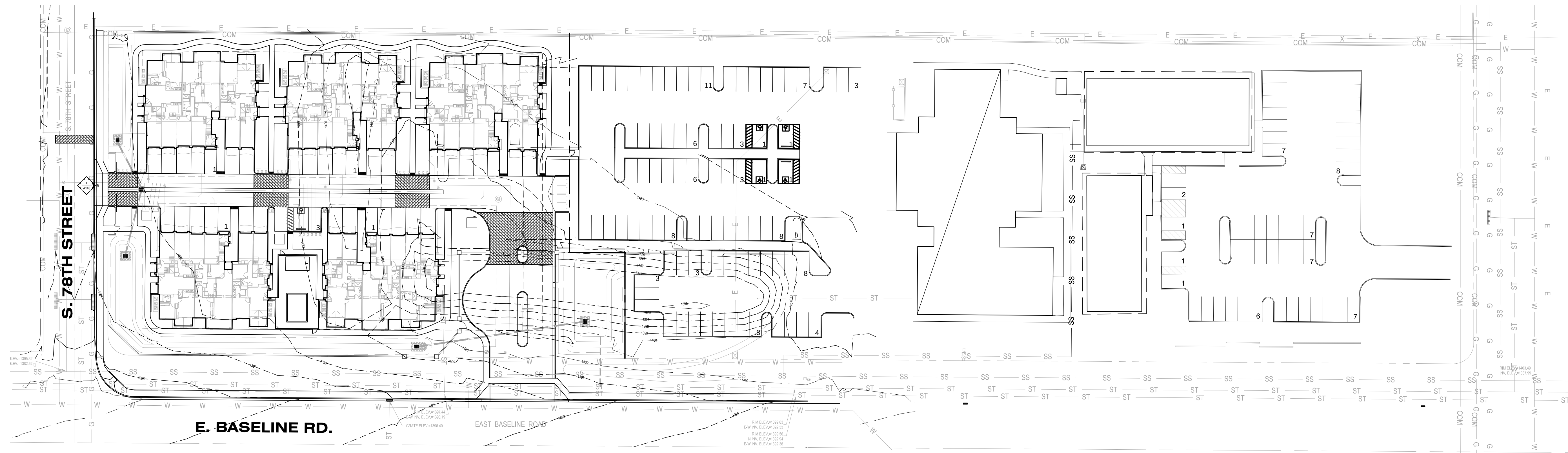
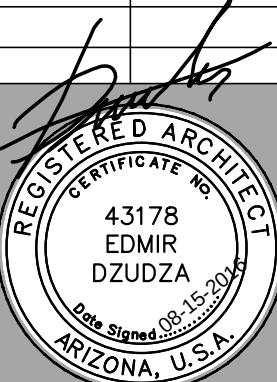
Date:	08-15-2016
Project No.	0813-2
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 1"=20'-0"

REQUIRED PARKING SPACES:	(2) PER DWELLING UNIT 2 X 30 = 60
ADDITIONAL REQUIRED GUEST PARKING SPACES:	1 PER EVERY 10 DWELLING UNITS = 3
TOTAL REQUIRED PARKING SPACES:	63
PROVIDED PARKING SPACES:	30 PRIVATE GARAGES 30 DEDICATED ASSIGNED TANDEM PARKINGS 7 GUEST PARKINGS
PROVIDED ACCESSIBLE SPACES:	1
TOTAL PROVIDED PARKING SPACES:	68

TOTAL SPACES REQUIRED:	= 109 SPACES
PROVIDED PARKING SPACES:	= 123 SPACES
PROVIDED ACCESSIBLE SPACES:	= 9 SPACES
TOTAL PROVIDED PARKING SPACES:	= 132 SPACES

EXISTING 1 STORY ADMIN / OFFICE:	
BUILDING AREA	= 6,042 SF
MIN. PARKING REQUIREMENTS	= 1 SPACE / 375 SF
REQUIRED PARKING	= 17 SPACES
EXISTING 1 STORY STORAGE:	
BUILDING AREA	= 4,050 SF
MIN. PARKING REQUIREMENTS	= 1 SPACE / 375 SF
REQUIRED PARKING	= 11 SPACES
NEW SUNDAY SCHOOL:	
BUILDING AREA	= 9,208 SF
MIN. PARKING REQUIREMENTS	= 1 SPACE / 600 SF
REQUIRED PARKING	= 15 SPACES
NEW ASSEMBLY:	
BUILDING AREA	= 4,840 SF
MIN. PARKING REQUIREMENTS	= 1 SPACE / 75 SF
REQUIRED PARKING	= 65 SPACES
TOTAL SPACES REQUIRED	= 109 SPACES
TOTAL SPACES PROVIDED	= 173 SPACES (12-ADA SPACES)

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**Villa Rialto
Phase II**

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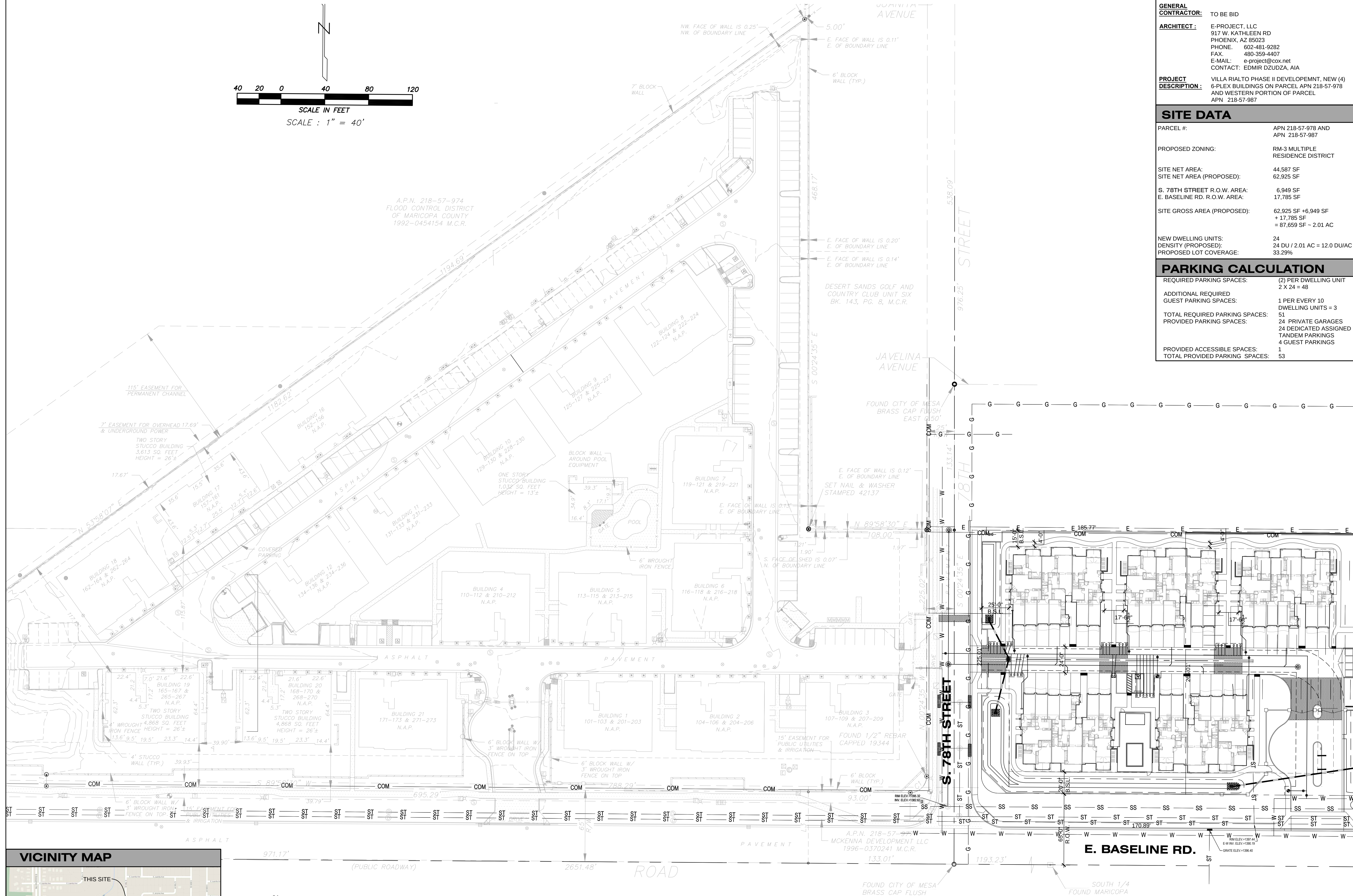
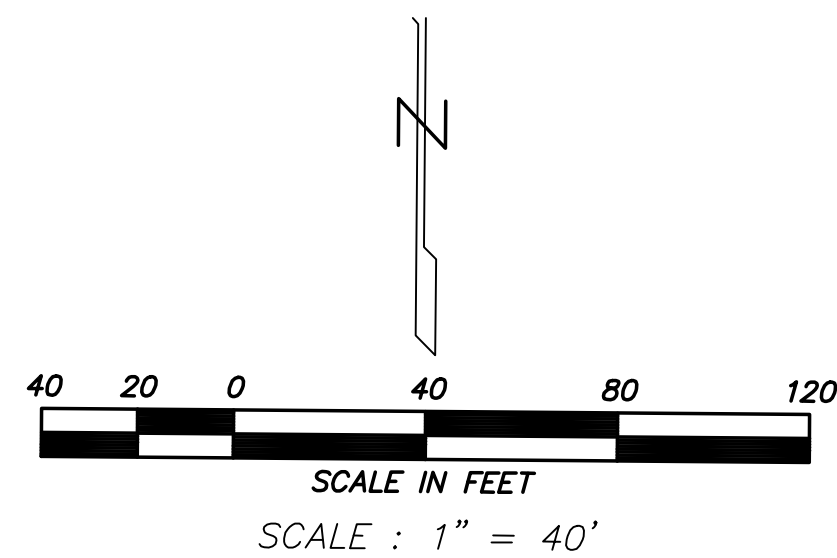
Site Plan-Parking Lot

Date:	08-15-2016
Project No.	0813-2
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 1"=40'-0"

A103
3 OF 23

Villa Rialto - Phase II



CONTACTS

<u>DEVELOPER:</u>	KDL INVESTMENTS, LLC 1635 N. GREENFIELD RD, #115 MESA, AZ 85205 CONTACT: HUDD HASSELL 602-525-0000
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GENERAL
CONTRACTOR:

E-PROJECT, LLC
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PHONE. 602-481-9282
FAX. 480-359-4407
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6-PLEX BUILDINGS ON PARCEL APN 218-57-978
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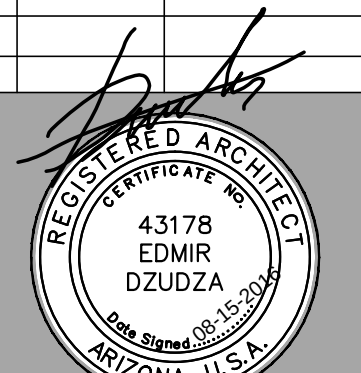
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SITE NET AREA (PROPOSED):	62,925 SF
S. 76TH STREET R.O.W. AREA:	6,949 SF
E. BASELINE RD. R.O.W. AREA:	17,785 SF
SITE GROSS AREA (PROPOSED):	62,925 SF +6,949 SF + 17,785 SF = 87,659 SF ~ 2.01 AC
NEW DWELLING UNITS:	24
DENSITY (PROPOSED):	24 DU / 2.01 AC = 12.0 DU/AC
PROPOSED LOT COVERAGE:	33.29%

PARKING CALCULATION

REQUIRED PARKING SPACES:	(2) PER DWELLING UNIT 2 X 24 = 48
ADDITIONAL REQUIRED GUEST PARKING SPACES:	1 PER EVERY 10 DWELLING UNITS = 3
TOTAL REQUIRED PARKING SPACES:	51
PROVIDED PARKING SPACES:	24 PRIVATE GARAGES 24 DEDICATED ASSIGNED TANDEM PARKINGS 4 GUEST PARKINGS
PROVIDED ACCESSIBLE SPACES:	1
TOTAL PROVIDED PARKING SPACES:	53



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A102