

PROJECT NARRATIVE

An Isotainer Parking Lot for
FUJIFILM Electronic Materials U.S.A.

Location: 6550 S. Mountain Rd.
Mesa, Arizona 85212

Parcels: 304-34-041, 304-34-042A, & 304-34-042B

Use: (Exist.) Manufacturing – to remain

Existing Zoning: GI AF

Proposed Zoning: HI AF with PAD overlay

Description:

The proposed project is located near the northwest corner of S. Mountain Rd and E. Pecos Rd. at the existing Fuji Film facility in Mesa, Arizona.

This project is for a new parking lot for Isotainer Storage to be located on the north side of the property. The project area is currently vacant. The existing chain-link fencing and concrete curbing around the project site area will be removed. The existing fire hydrants near project site area are to remain. Power will be provided for 25 Isotainers for cooling and heating the contents, and will have the power outlets stubbed up behind each of the 25 full tankers. The tankers will have a Reefer attached to the units. There are two transformers located to the South of the development area, which one is sized for 2,000 KVA and the other is sized for 1,500 KVA.

For the North 19 acres of the property Fuji Film is requesting to re-zone only the proposed developed area (5.82 acres) which is not being deeded to the ADOT right of way. The project proposes an area of 96,184 square foot for storage of 77 new parking stalls. The parking stalls along the North side concrete area will slope towards the block wall to the North, for any potential spillage. The remainder of the parking lot shall drain to a valley gutter per the Civil Engineer's design. Drainage shall exit the lot via two guillotine gates to the West of the new parking lot after proper testing for contaminants by Fuji Film. The new Isotainer parking area will be constructed using concrete. The concrete will be designed for 50,000 lbs capacity loading per loaded vehicle. A fully loaded trailer with contents weighs 50,000 lbs. The concrete will be designed for 3500 psi, 6" thick.

The area will have an 8 foot high block wall to enclose the area with three strands of barb wire and razor wire mounted to the inside, below the top of the block wall, and lighting. The East side of the site will have a decorative wrought iron fence with CMU piers. The proposed site will also include a future (phase 3) 60,000 square foot building for product production. The building shall be located to the Northwest of the site and will be built at a later date. The development area will require the existing fencing, concrete curbs, shrub and trees to be removed to prepare for land grading and excavation. The site is currently divided into three separate parcels, that shall be combined via a lot combination. The new Maricopa freeway 24 easement will be located on the North side of the new block wall installation, according to Maricopa freeway studies using Alternate # 3, and shall encompass approximately 13 acres of the Property.




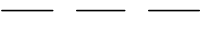




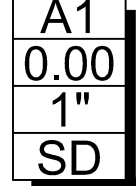
MESA GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESES AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE PERMIT SERVICES SECTION OF THE BUILDING SAFETY DIVISION @ 480-644-4B5D www.cityofmesa.org/buildingsafety/permitservices.aspx.
3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS ALSO BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN 90 DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSSES OR IS VOIDED.
4. 24 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITEE SHALL NOTIFY CITY OF MESA ENGINEERING CONSTRUCTION SERVICES AT 480-644-2253 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR. FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE, SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
5. CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
6. THE CITY OF MESA PARKS AND RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS AND RECREATION ADMINISTRATION SECTION AT 480-644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
7. THE CONTRACTOR SHALL OBTAIN AN EARTH MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
8. THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHTS-OF-WAY OR EASEMENTS HAVE BEEN CORRECTLY PLOTTED/SHOWN.
9. THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE ENGINEERING DEPARTMENT CONSTRUCTION SERVICES.
10. THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
11. THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
12. THE DEVELOPER OR ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
13. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL 602-269-1100 FOR BLUE STAKE 2 WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT 602-279-8888.
14. CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
15. IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL AFFICABLE FEES AND CHARGES.
16. IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE ENGINEERING CONSTRUCTION INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.


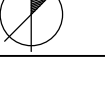


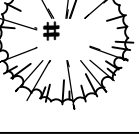

LANDSCAPE NOTES (NOT APPROVED)

1. PROVIDE LANDSCAPE ARCHITECT A SAMPLE OF DECOMPOSED GRANITE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
2. PREPARED BACKFILL FOR PLANTING PITS SHALL BE 4 PARTS NATIVE SOIL TO 1 PART NITROGEN STABILIZED MULCH. MIX MULCH AND SOIL BACKFILL THOROUGHLY TO CREATE BACKFILL PRIOR TO PLACING IN PIT.
3. TOPSOIL TO CONFORM TO THE REQUIREMENTS OF MAG SPECIFICATION SECTION 795. PROVIDE A WRITTEN DESCRIPTION OF CERTIFICATION OF ORIGINAL ORIGIN OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE.
4. PLANT TABLETS TO BE AGRIFORM 21 GRAM, 20-10-5 FERTILIZER TABLETS.
5. CONTRACTORS RESPONSIBILITY TO FIELD ESTIMATED DECOMPOSED GRANITE QUANTITIES. INDICATE THE UNIT PRICE ONLY AT THE TIME OF BIDDING.
6. ALL PLANTS MUST BE INSPECTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
7. PLANT QUANTITIES ON THE PLANT LIST ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR, PLANS TAKE PRECEDENCE.
8. LANDSCAPE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES FOR PROTECTION PRIOR TO CONSTRUCTION. CONTACT BLUE STAKE AT 602-269-1100 OR 1-800-782-5348.
9. PRIOR TO BIDDING, THE LANDSCAPE SUPERINTENDENT SHALL WALK THE SITE TO DETERMINE THE FULL EXTENT OF DEMOLITION WORK REQUIRED.
10. THE LANDSCAPE CONTRACTOR SHALL WARRANTY THE WORK FOR A PERIOD OF ONE YEAR.
11. CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
12. BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
13. THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND THE CITY OF MESA SHALL APPROVE ANY AND ALL SUBSTITUTIONS.
14. THE LANDSCAPE ARCHITECT AND /OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO INSTALLATION.
15. UNLESS OTHERWISE NOTED ON PLANS, DECOMPOSED GRANITE SHALL EXTEND UNDER SHRUBS AND BE RAKED UNIFORMLY ALONG WALLS, SIDEWALKS, AND CURBS.
16. SEE ENGINEERING OR ARCHITECTURAL DRAWINGS FOR DRAINAGE FLOWS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED AND ARE NOT IMPAIRED WITH OBSTRUCTIONS.
17. DOUBLE STAKE ALL TREES OUTSIDE ROOTBALL.
18. LANDSCAPE CONTRACTOR TO PROVIDE BARRICADES ALONG PUBLIC STREETS IF REQUIRED DURING INSTALLATION.
19. LANDSCAPE CONTRACTOR SHALL INSPECT WITH OWNER'S REPRESENTATIVE ALL SIDEWALK AND CURB DEFECTS PRIOR TO BEGINNING WORK. ALL HARDSCAPE TO BE RE-INSPECTED DURING FINAL WALK THRU. ANY DAMAGED AREAS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
20. PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY.
21. LANDSCAPE CONTRACTOR TO CONTACT ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE EACH APPLICATION OF PRE-EMERGENT FOR VERIFICATION. MINIMUM 2 APPLICATIONS REQUIRED.
22. LANDSCAPE PLANS MUST CONFORM TO CIVIL DRAWINGS.
23. LANDSCAPE MAINTENANCE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF THE HOME OWNER'S ASSOCIATION.

IRRIGATION SCHEDULE

SYMBOL	SPECIFICATION
	EXISTING 1 1/2" BACKFLOW PREVENTER. CONTRACTOR TO LOCATE IN FIELD.
	1" MAINLINE: SCH. 40 PVC.
	PVC LATERAL (TREES) - SCH. 40 PVC MIN. SEE EMITTER SCHEDULE FOR TREE/EMITTER APPLICATION
	PVC LATERAL (SHRUBS, VINES GROUNDCOVERS) - SCH. 40 SEE EMITTER SCHEDULE FOR EMITTER APPLICATION
	HAMMOND 867 BRASS GATE VALVE- SAME SIZE AS MAINLINE.
	IRRITROL DRIP ZONE VALVE KIT (700DK-075-LF)
	FLUSH VALVE ASSEMBLY.
	SCHEDULE SCH 40 PVC SLEEVE. SEE SCHEDULE. INSTALL 1/2" SCHEDULE SCH. 40 PVC SLEEVE FOR CONTROL WIRE WHERE NECESSARY
	CONTROLLER AND STATION. FLOW - GALLONS PER MINUTE (SEE PIPE SIZING SCH.) VALVE SIZE VALVE I.D. - SD=SHRUB DRIP, TD=TREE DRIP
IRRIGATION PLANS ARE DRAWN DIAGRAMMATICALLY FOR CLARITY	
*CONTRACTOR TO FIELD VERIFY CONTROLLER LOCATION AND MAKE CONNECTION *	

PLANT LEGEND

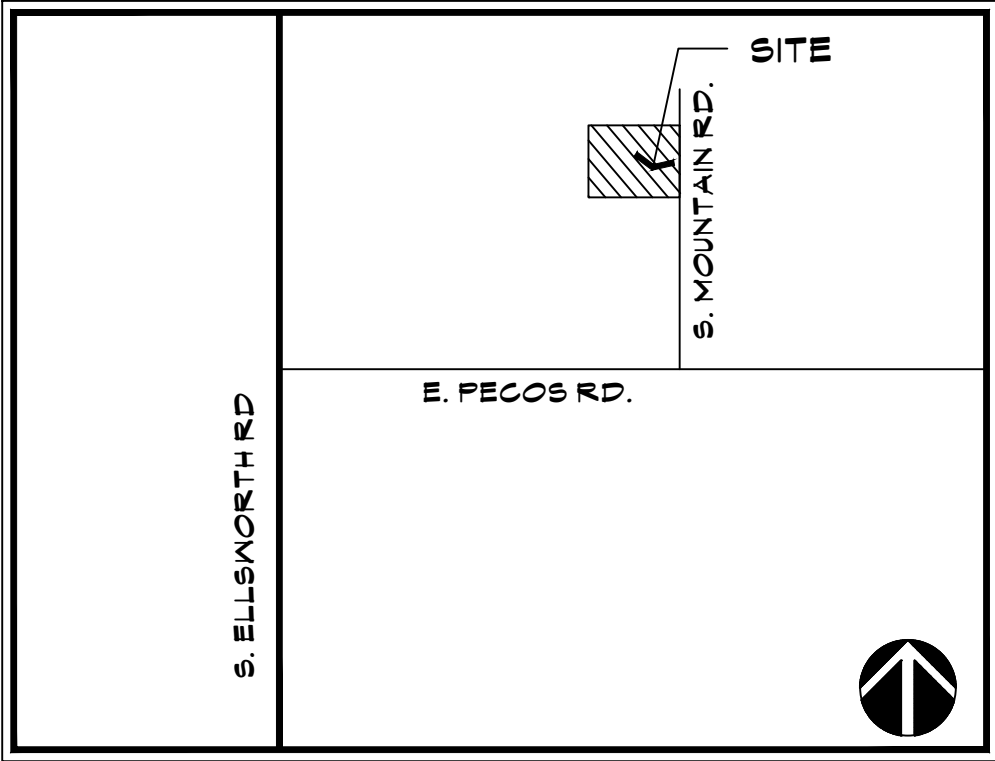
SYMBOL	BOTANICAL NAME - COMMON NAME	QTY.	SIZE	COMMENTS
SHRUBS				
	ENCELIA FARINOSA - BRITTLE BUSH	5	5 GAL.	CAN FULL
	LARREA TRIDENTATA - CREOSOTE	5	5 GAL.	CAN FULL
GROUND COVERS				
	BAILEYA MULTIRADIATA - DESERT MARIGOLD	7	5 GAL.	CAN FULL
EXISTING PLANT MATERIAL				
	SALVAGE TREE (FOR SPECIFICATIONS SEE INVENTORY PLANS)			
	TREE TO REMAIN (FOR SPECIFICATIONS SEE INVENTORY PLANS)			
	DECOMPOSED GRANITE - 3/4" PIONEER GOLD AT 2" DEPTH MIN. GRANITE TO MATCH EXISTING GRANITE ON SITE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALL.			

IRRIGATION NOTES (NOT APPROVED)

1. ALL IRRIGATION TO UTILIZE AN AUTOMATIC CLOCK AS SPECIFIED. LOCATE POWER SOURCE IN THE FIELD.
2. USE COMMON TRENCHES WHERE POSSIBLE.
3. USE PEN-TITES AND SEALER FOR ALL LOW VOLTAGE WIRING WITH ELECTRICAL VALVES.
4. ALL MAINLINE TO BE BURIED A MINIMUM OF 18" BELOW FINISH GRADE. ALL LATERALS TO BE BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
5. INSTALL ELECTRIC VALVES IN PLASTIC VALVE BOXES FLUSH WITH GRADE. VALVE BOX LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.
6. VACUUM BREAKER TO BE ASSEMBLED WITH ALL HARD COPPER PIPE AND FITTINGS. A UNION SHALL BE INSTALLED ON BOTH INLET AND OUTLET SIDES OF PIPE ABOVE GRADE.
7. MAINTAIN IRRIGATION AS-BUILTS AND TURN OVER TO OWNER PRIOR TO INSTALLATION ACCEPTANCE.
8. ALL IRRIGATION EQUIPMENT TO BE LOCATED IN LANDSCAPE AREAS- ALL LINES AND EQUIPMENT ARE SCHEMATIC.
9. IRRIGATION AND ELECTRICAL SLEEVES TO BE SCHEDULE 40 PVC. ALL SLEEVES TO EXTEND AT LEAST 1" BEYOND CONCRETE STRUCTURES. ALLOW 4-6" FROM END OF SLEEVES TO FIRST FITTING ON IRRIGATION LINE. ALL SLEEVES TO BE 24" BELOW GRADE AND/OR AS PER OWNER'S SPECIFICATIONS.
10. LANDSCAPE CONTRACTOR RESPONSIBLE FOR ALL LANDSCAPE SLEEVING. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. VERIFY ANY EXISTING SLEEVES INSTALLED BY OTHER CONTRACTORS.
11. LOCATE EMITTERS ON UPHILL SIDE OF PLANTS ON SLOPED PLANTING AREA.
12. ALL PEA GRAVEL IN VALVE BOXES TO BE CLEANED FROM TOP OF VALVE SO THAT VALVE IS COMPLETELY VISIBLE. LIP OF VALVE BOX IS ALSO TO BE FREE OF DEBRIS.
13. ALL MATERIAL USED SHALL BE INSTALLED AS PER PLAN AND AS PER MANUFACTURER'S SPECIFICATIONS. ALL DEVIATIONS FROM DRAWINGS OR MATERIALS USED SHALL BE APPROVED BY OWNER'S REPRESENTATIVE AND OR LANDSCAPE ARCHITECT.
14. LOCATE PRESSURE REGULATOR AND "Y" STRAINER IN A VALVE BOX AS REQUIRED- REMOTE CONTROL VALVES TO BE LOCATED ON A SEPARATE,

- ADJACENT, VALVE BOX OR A JUMBO VALVE BOX MAY BE USED IN LIEU OF TWO SEPARATE BOXES. ALL BOXES TO BE LOCATED IN PLANTING AREAS AND INSTALLED FLUSH W/ GRADE.
15. ALL DRIP SYSTEMS TO BE FLUSHED THROUGH FLUSH CAPS. FLUSH CAPS TO BE LOCATED IN 10" ROUND ECONOMY BOXES.
16. ALL PLANTS REQUIRING MORE THAN ONE DRIP EMITTER SHALL HAVE EMITTERS DISTRIBUTED EVENLY AROUND THE EDGE OF THE ROOT-BALL.
17. PRIOR TO OWNER'S APPROVAL, AN IRRIGATION "TUNE-UP" MUST BE PERFORMED AS FOLLOWS:
- A. ALL IRRIGATION EQUIPMENT (INCLUDING ALL PIPELINES AND SLEEVES) TO BE DOCUMENTED FROM TWO STATIONARY POINTS.
- B. ALL DRIP SYSTEMS TO BE FLUSHED BEGINNING WITH "Y" STRAINER, AND WORKING AWAY FROM PRESSURE REGULATOR.
- C. IRRIGATION VALVES TO BE LABELED ON A SHEET OF PAPER WITH STATIONS CORRESPONDING TO MARKED LABELS ON TOP OF VALVE BOXES. THIS SHEET TO BE PLACED IN A PLASTIC POUCH AND ATTACHED TO THE INSIDE OF CONTROLLER.
- D. ALL IRRIGATION SPRAY HEADS TO BE FLUSHED OF DEBRIS AND FLOW CONTROLS ADJUSTED TO ACHIEVE 100% COVERAGE. AVOID SPRAY ONTO ALL WALKS, CURBS, WALLS EXISTING STRUCTURES, AND ANY OTHER HARD-SCAPE AREAS.
- E. ALL IRRIGATION HEADS TO BE ADJUSTED TO PROPER HEIGHT.
18. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING MATERIALS AND LABOR TO PROVIDE SPECIFIED ELECTRICAL SERVICE TO ALL CONTROLLER LOCATIONS. ALL ELECTRICAL WORK TO BE PER MANUFACTURER'S SPECIFICATIONS AND PER LOCAL CODE.
19. CONTRACTOR TO CAP OFF ALL IRRIGATION @ PHASING LIMITS AS REQUIRED.
20. CONTROLLER WIRE SHALL BE A DIFFERENT COLOR FOR TREE LINES & SHRUB LINES. AT LEAST ONE EXTRA CONTROL WIRE TO BE RUN TO THE FARTHEST VALVE LOCATION OF THE SYSTEM.
21. IRRIGATION LINES SHALL RUN PARALLEL TO THE HIGH SIDE OF SLOPES.
22. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING AND INSTALLING ALL SLEEVING NECESSARY TO RUN IRRIGATION LINES & CONTROL WIRE UNDER ANY REQUIRED HARD-SCAPE AREAS, WALLS, ETC.
23. AN 18 GAUGE TRACER WIRE OF A DIFFERENT COLOR THAN THE CONTROL WIRES SHALL BE INSTALLED WITH ANY MAINLINE 2" OR LARGER.

VICINITY MAP



SHEET INDEX:

LANDSCAPE COVER	LO.1
LANDSCAPE PLAN	L.1.1
IRRIGATION PLAN	L2.1
LANDSCAPE & IRRIGATION DETAILS	L3.1
INVENTORY SHEET	INV 1
INVENTORY SHEET	INV 2

ARCHITECT

ASSOCIATED ARCHITECTS
6 EAST PALO VERDE ST. SUITE 1
GILBERT, AZ 85296
CONTACT: JARED MALONE
PH: 480-964-8451
EMAIL: JARED@ASSOCIATED-ARCHITECTS.COM

LANDSCAPE ARCHITECT

THE MCGOUGH GROUP
11110 N. TATUM BLVD. STE. 100
PHOENIX, AZ 85028
CONTACT: ALEXANDER TAFT
PH: 602-997-9098
EMAIL: ALEXT@MG-AZ.COM

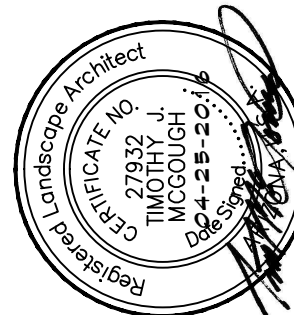


The **McGough Group**

*Landscape Architecture
Urban Design - Site Imaging
Parks and Recreation*

11110 N Tatum Blvd.
Suite 100
Phoenix, Arizona
85028

602-997-9093
602-997-9031 fax
E-Mail: Timm@mg-az.com



Expires: 6-30-2016

LANDSCAPE COVER
FUJI FILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD
MESA, ARIZONA

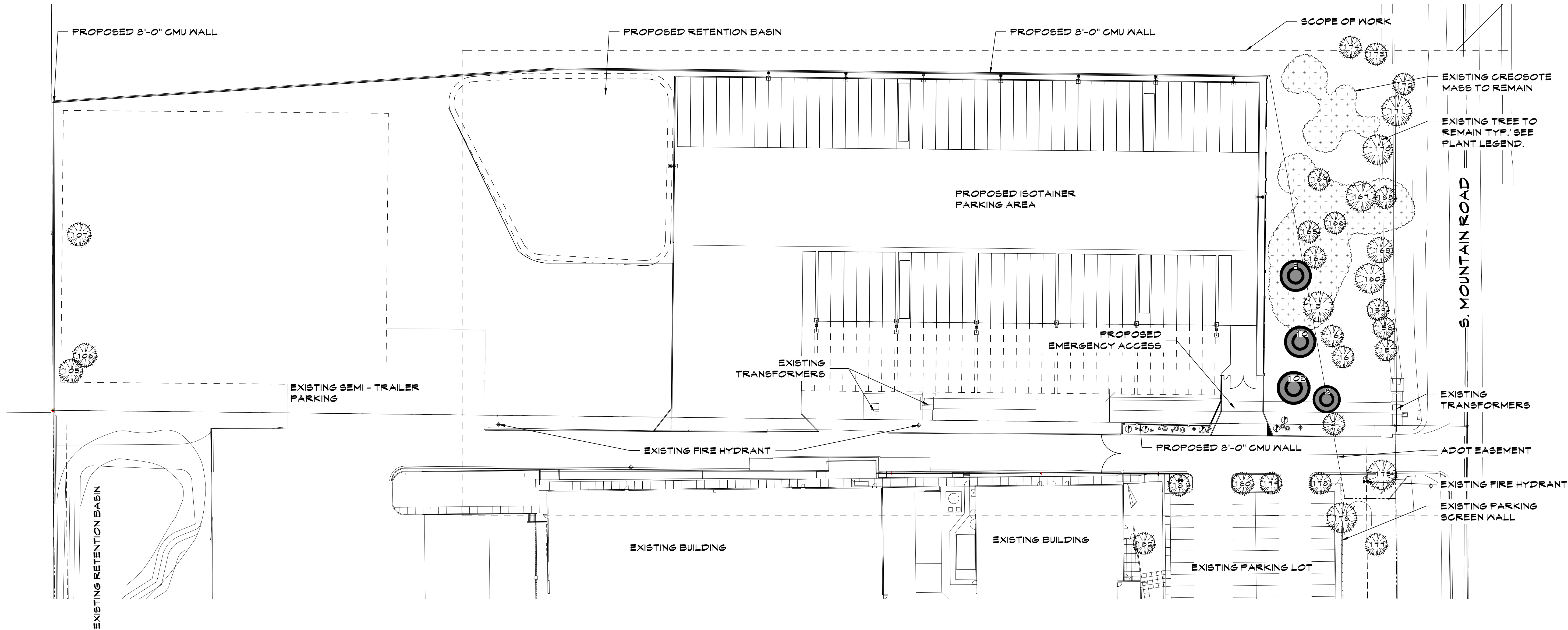
These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS:

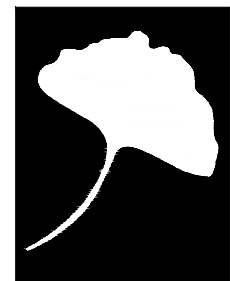
SHEET NO. L O.1



PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME
SHRUBS	
	ENCELIA FARINOSA - BRITTLE BUSH
	LARREA TRIDENTATA - CREOSOTE
GROUND COVERS	
	BAILEYA MULTIRADIATA - DESERT MARIGOLD
EXISTING PLANT MATERIAL	
	SALVAGE TREE (FOR SPECIFICATIONS SEE INVENTORY PLANS)
	TREE TO REMAIN (FOR SPECIFICATIONS SEE INVENTORY PLANS)
	DECOMPOSED GRANITE - 3/4" PIONEER GOLD AT 2" DEPTH MIN. GRANITE TO MATCH EXISTING GRANITE ON SITE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALL.

SCALE: 1"=40'-0"

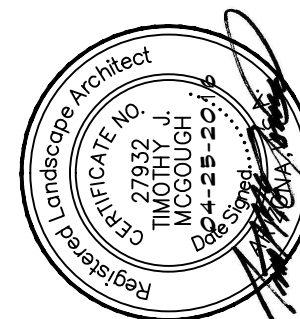


McGough Group

Landscape Architecture
Urban Design - Site Imaging
Parks and Recreation

11110 N Tatum Blvd.
Suite 100
Phoenix, Arizona
85028

602-997-9093
602-997-9031 fax
E-Mail: Timm@mg-az.com



LANDSCAPE PLAN
FUJI FILM ELECTRONIC MATERIALS

6550 S. MOUNTAIN RD
MESA, ARIZONA

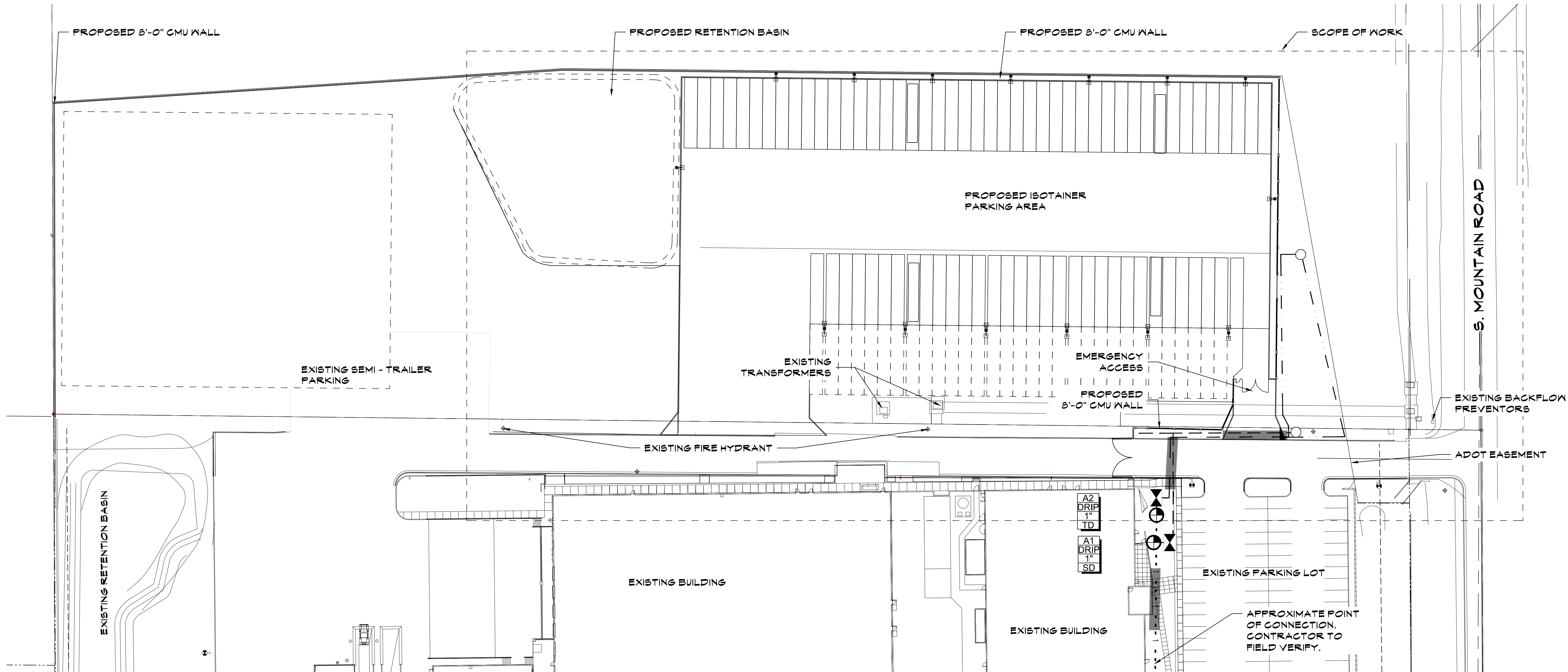
These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS:

SHEET NO.
L 1.1



IRRIGATION SCHEDULE

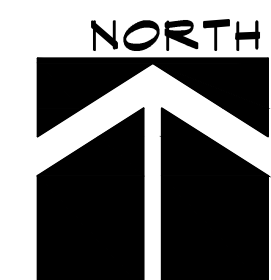
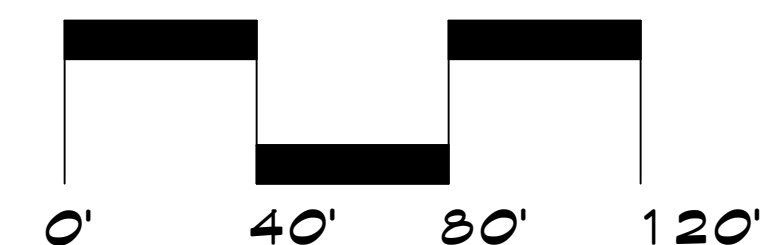
SYMBOL	SPECIFICATION
	EXISTING 1 1/2" BACKFLOW PREVENTER. CONTRACTOR TO LOCATE IN FIELD.
	1" MAINLINE: SCH. 40 PVC.
	PVC LATERAL (TREES) - SCH. 40 PVC MIN. SEE EMITTER SCHEDULE FOR TREE/EMITTER APPLICATION
	PVC LATERAL (SHRUBS, VINES, GROUNDCOVERS) - SCH. 40 SEE EMITTER SCHEDULE FOR EMITTER APPLICATION
	HAMMOND 667 BRASS GATE VALVE- SAME SIZE AS MAINLINE.
	IRRITROL DRIP ZONE VALVE KIT (T00DK-075-LF)
	FLUSH VALVE ASSEMBLY.
	SCHEDULE SCH 40 PVC SLEEVE. SEE SCHEDULE. INSTALL 1 1/2" SCHEDULE SCH. 40 PVC SLEEVE FOR CONTROL WIRE WHERE NECESSARY
	CONTROLLER AND STATION. FLOW - GALLONS PER MINUTE (SEE PIPE SIZING SCH.) VALVE SIZE VALVE I.D. - SD=SHRUB DRIP, TD=TREE DRIP

IRRIGATION PLANS ARE DRAWN DIAGRAMMATICALLY FOR CLARITY
*CONTRACTOR TO FIELD VERIFY CONTROLLER LOCATION AND MAKE CONNECTION *

NOTES:

1. CONTRACTOR TO FIELD VERIFY WIRE RUNS FOR CONNECTION OF PROPOSED LANDSCAPE TO EXISTING CONTROLLER

SCALE: 1"=40'-0"

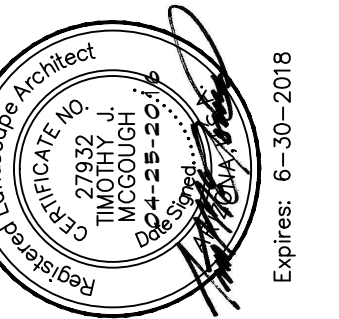


The McGough Group

Landscape Architecture
Urban Design - Site Imaging
Parks and Recreation

11110 N Tatum Blvd.
Suite 100
Phoenix, Arizona
85028

602-997-9093
602-997-9031 fax
E-Mail: Timm@mg-az.com



IRRIGATION PLAN
FUJI FILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD
MESA, ARIZONA

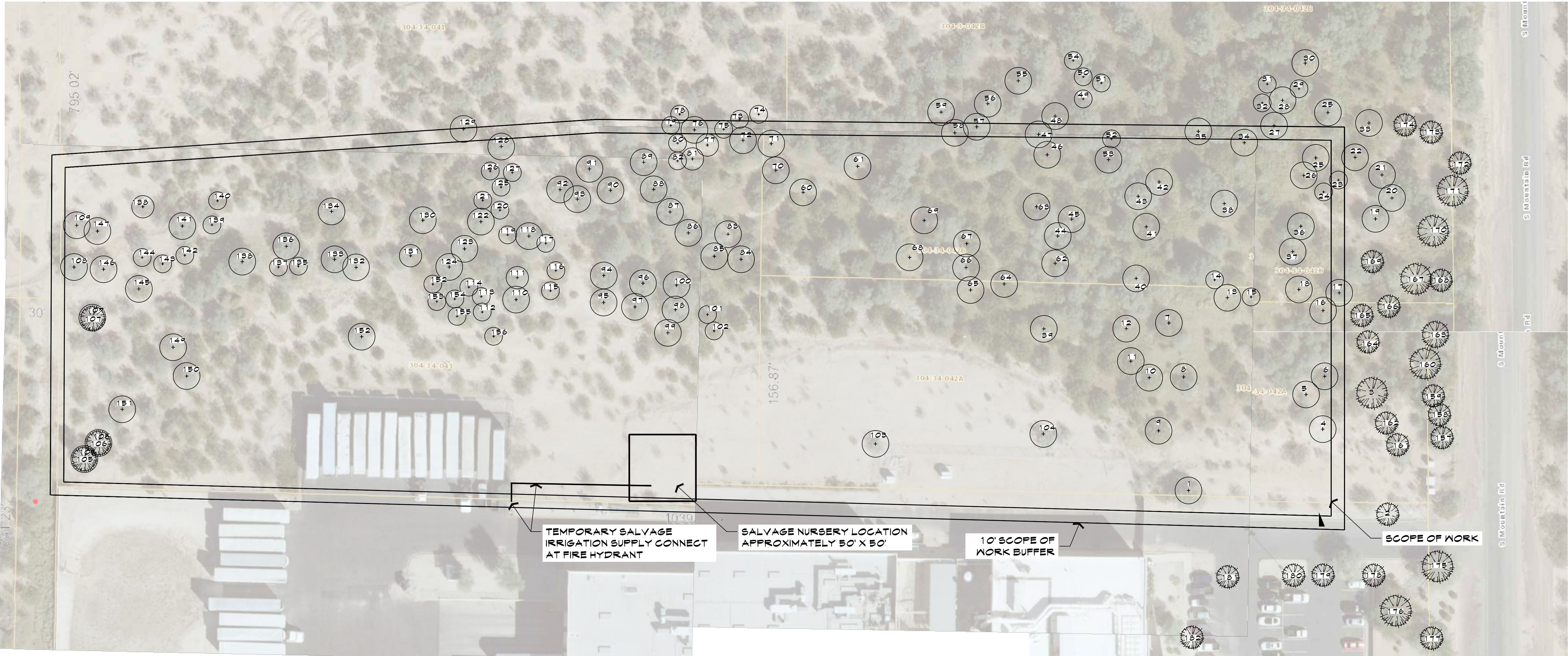
These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS:

SHEET NO.
L 2.1



Native Plant Inventory					Inventory Destination			Intended Designation	
Project Name:		Fuji Film - Mesa			S = Salvageable			R or P = Remain/Protect in Place	
Address:		6550 S. Mountain Rd.			NS = Non-Salvageable			S = Salvage	
Prepared for:								D = Destroy	
Tag #	Species	Common Name	Height (ft)	Width (ft)	Caliper (in)	Inv. Dest.	Int. Dest.	Comments	
1	Prosopis spp.	Mesquite	15	13	10	NS	D	Poor form	
2	Prosopis spp.	Mesquite	10	10	6	NS	R	low break	
3	Prosopis spp.	Mesquite	11	9	9	NS	R	low break	
4	Prosopis spp.	Mesquite	10	7	6	NS	D	Poor form	
5	Prosopis spp.	Mesquite	10	8	9	NS	D	low break	
6	Prosopis spp.	Mesquite	12	15	27	NS	D	poor form, lateral roots	
7	Prosopis spp.	Mesquite	18	16	22	NS	D	low break, poor form	
8	Prosopis spp.	Mesquite	12	10	6	S	S		
9	Parkinsonia microphyllum	Palo Verde	8	6	5	S	S		
10	Prosopis spp.	Mesquite	9	6	4	S	S		
11	Prosopis spp.	Mesquite	16	18	20	NS	D	poor form, lateral roots	
12	Prosopis spp.	Mesquite	18	8	7	NS	D	low break, poor form	
13	Prosopis spp.	Mesquite	20	14	14	NS	D	lateral roots, low break, proximity to tree	
14	Prosopis spp.	Mesquite	20	11	13	NS	D	low break, poor form	
15	Prosopis spp.	Mesquite	18	12	15	NS	D	poor form, proximity to tree	
16	Prosopis spp.	Mesquite	15	10	7	NS	D	low break, poor form	
17	Prosopis spp.	Mesquite	12	9	12	NS	D	low break, poor form	
18	Prosopis spp.	Mesquite	12	8	8	NS	D	low break, poor form	
19	Prosopis spp.	Mesquite	14	6	8	NS	D	low break, poor form	
20	Prosopis spp.	Mesquite	18	16	15	NS	D	low break	
21	Prosopis spp.	Mesquite	16	14	13	NS	D	low break, poor form	
22	Prosopis spp.	Mesquite	20	17	18	NS	D	insect damage	
23	Prosopis spp.	Mesquite	12	14	15	NS	D	low break, poor form	
24	Prosopis spp.	Mesquite	18	16	16	NS	D	low break, poor form	
25	Prosopis spp.	Mesquite	20	15	14	NS	D	poor health, poor form	
26	Prosopis spp.	Mesquite	18	14	14	NS	D	low break, poor form	
27	Prosopis spp.	Mesquite	12	6	8	NS	D	low break, poor form	
28	Prosopis spp.	Mesquite	19	13	21	NS	D	low break, poor form	
29	Prosopis spp.	Mesquite	17	14	11	NS	D	low break, poor form	
30	Prosopis spp.	Mesquite	12	10	9	NS	D	low break, poor form	
31	Prosopis spp.	Mesquite	18	8	14	NS	D	low break, poor form	
32	Prosopis spp.	Mesquite	16	18	15	NS	D	low break, poor form	
33	Prosopis spp.	Mesquite	20	15	16	NS	D	low break, poor form	
34	Prosopis spp.	Mesquite	20	18	22	NS	D	low break, poor form	
35	Prosopis spp.	Mesquite	16	15	12	NS	D	low break, poor form	
36	Prosopis spp.	Mesquite	14	10	6	NS	D	low break, poor form	
37	Prosopis spp.	Mesquite	12	7	6	S	S		
38	Prosopis spp.	Mesquite	13	8	10	NS	D	low break, poor form	
39	Parkinsonia florida	Blue Palo Verde	6	6	4	NS	D	poor form, poor health	
40	Prosopis spp.	Mesquite	20	21	16	NS	D	lateral roots, poor form	

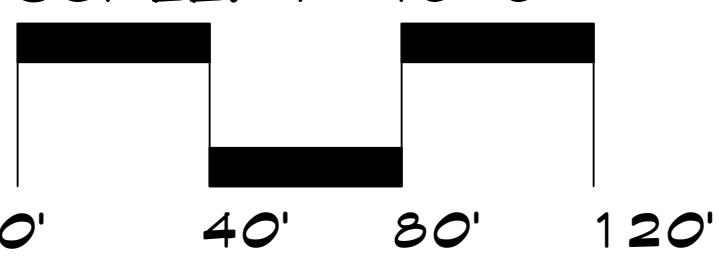
41	Prosopis spp.	Mesquite	20	22	18	NS	D	lateral roots, poor form	
42	Prosopis spp.	Mesquite	14	16	11	NS	D	leaning, poor form	
43	Prosopis spp.	Mesquite	12	20	16	NS	D	low break, poor form	
44	Prosopis spp.	Mesquite	12	7	7	NS	D	low break, poor form	
45	Prosopis spp.	Mesquite	12	14	11	NS	D	low break, poor form	
46	Prosopis spp.	Mesquite	13	12	8	NS	D	low break, poor form	
47	Prosopis spp.	Mesquite	14	15	10	NS	D	low break, poor form	
48	Prosopis spp.	Mesquite	13	11	11	NS	D	low break, poor form	
49	Prosopis spp.	Mesquite	14	10	9	NS	D	poor form, poor health	
50	Prosopis spp.	Mesquite	10	8	8	NS	D	poor form, insect damage	
51	Prosopis spp.	Mesquite	16	14	10	NS	D	low break, lateral roots	
52	Prosopis spp.	Mesquite	14	16	12	NS	D	low break, poor health	
53	Prosopis spp.	Mesquite	14	10	13	NS	D	low break, poor form	
54	Prosopis spp.	Mesquite	16	12	11	NS	R		
55	Prosopis spp.	Mesquite	10	13	10	NS	D	low break, poor form	
56	Prosopis spp.	Mesquite	18	22	14	NS	D	low break, poor health	
57	Prosopis spp.	Mesquite	18	12	10	NS	D	low break, poor form	
58	Prosopis spp.	Mesquite	18	14	12	NS	D	low break, leaning	
59	Prosopis spp.	Mesquite	16	13	16	NS	D	low break, poor form	
60	Prosopis spp.	Mesquite	15	14	18	NS	D	insect damage	
61	Prosopis spp.	Mesquite	16	12	9	NS	D	poor health, poor form	
62	Prosopis spp.	Mesquite	18	22	16	NS	D	poor form, insect damage	
63	Prosopis spp.	Mesquite	16	20	18	NS	D	poor form, insect damage	
64	Prosopis spp.	Mesquite	13	10	6	NS	D	poor form, insect damage	
65	Prosopis spp.	Mesquite	14	6	6	NS	D	poor form, insect damage	
66	Prosopis spp.	Mesquite	16	10	8	NS	D	leaning	
67	Prosopis spp.	Mesquite	16	18	12	NS	D	poor form, insect damage	
68	Prosopis spp.	Mesquite	12	14	14	NS	D	low break, insect damage	
69	Prosopis spp.	Mesquite	18	16	16	NS	D	poor form, insect damage	
70	Prosopis spp.	Mesquite	16	15	12	NS	D	poor form, insect damage	
71	Prosopis spp.	Mesquite	14	14	10	NS	D	insect damage	
72	Prosopis spp.	Mesquite	14	10	8	NS	D	insect damage	
73	Prosopis spp.	Mesquite	13	10	10	NS	D	insect damage	
74	Prosopis spp.	Mesquite	14	18	18	NS	D	low break, insect damage	
75	Prosopis spp.	Mesquite	11	10	12	NS	D	low break, insect damage	
76	Prosopis spp.	Mesquite	18	20	16	NS	D	low break, poor form	
77	Prosopis spp.	Mesquite	12	10	9	NS	D	low break, poor form	
78	Prosopis spp.	Mesquite	18	14	20	NS	D	low break, insect damage	
79	Prosopis spp.	Mesquite	14	10	14	NS	D	low break, insect damage	
80	Prosopis spp.	Mesquite	14	6	10	NS	D	low break, poor form	

NOTES:

1. TREES ON INVENTORY UNAFFECTED BY CONSTRUCTION OPERATIONS MAY REMAIN PROTECTED IN PLACE, SEE INVENTORY MATRIX FOR DESIGNATION OF PLANT MATERIAL

EXISTING PLANT MATERIAL	
	EXISTING TREE (FOR SPECIFICATIONS SEE MATRIX)
	TREE TO REMAIN (FOR SPECIFICATIONS SEE MATRIX)

SCALE: 1"=40'-0"

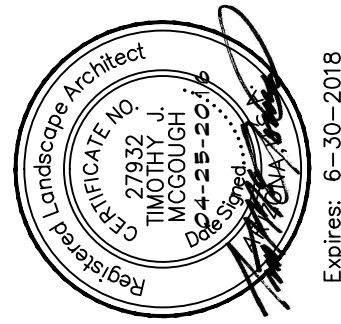


McGough Group

Landscape Architecture
Urban Design - Site Imaging
Parks and Recreation

11110 N Tatum Blvd.
Suite 100
Phoenix, Arizona
85028

602-997-9093
602-997-9031 fax
E-Mail: Timm@mg-az.com



INVENTORY SHEET
FUJI FILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD
MESA, ARIZONA

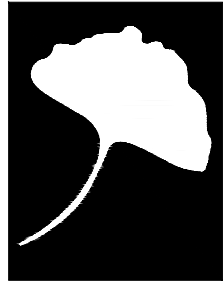
These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS:

SHEET NO. INV. 1

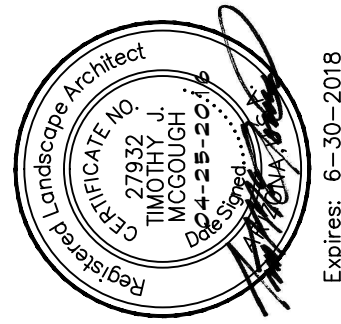


The **McGough
Group**

*Landscape Architecture
Urban Design - Site Imaging
Parks and Recreation*

11110 N Tatum Blvd.
Suite 100
Phoenix, Arizona
85028

602-997-9093
602-997-9031 fax
E-Mail: Timm@mg-az.com



INVENTORY SHEET
FUJI FILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD
MESA, ARIZONA

These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS: _____

SHEET NO.
INV. 2

81	Prosopis spp.	Mesquite	12	8	12	NS	D	low break, poor form
82	Prosopis spp.	Mesquite	16	14	11	NS	D	lateral roots, insect damage
83	Prosopis spp.	Mesquite	14	14	18	NS	D	low break, insect damage
84	Prosopis spp.	Mesquite	18	16	20	NS	D	low break, insect damage
85	Prosopis spp.	Mesquite	18	14	15	NS	D	low break, poor form
86	Prosopis spp.	Mesquite	16	15	10	NS	D	low break, poor form
87	Prosopis spp.	Mesquite	14	16	14	NS	D	poor form, insect damage
88	Prosopis spp.	Mesquite	14	15	20	NS	D	poor form, insect damage
89	Prosopis spp.	Mesquite	14	10	8	NS	D	low break, poor form
90	Prosopis spp.	Mesquite	13	12	13	NS	D	low break, insect damage
91	Prosopis spp.	Mesquite	14	10	10	NS	D	low break, insect damage
92	Prosopis spp.	Mesquite	12	12	14	NS	D	low break, poor form
93	Prosopis spp.	Mesquite	16	14	12	NS	D	low break, poor form
94	Prosopis spp.	Mesquite	16	13	16	NS	D	low break, poor form
95	Prosopis spp.	Mesquite	8	6	8	NS	D	low break, poor form
96	Prosopis spp.	Mesquite	8	10	9	NS	D	leaning, poor form
97	Prosopis spp.	Mesquite	7	6	4	NS	D	poor form, insect damage
98	Prosopis spp.	Mesquite	18	16	18	NS	D	low break, poor form
99	Prosopis spp.	Mesquite	16	14	11	NS	D	poor form, insect damage
100	Prosopis spp.	Mesquite	13	8	10	NS	D	low break, poor form
101	Prosopis spp.	Mesquite	10	8	8	NS	D	low break, poor form
102	Prosopis spp.	Mesquite	18	14	13	NS	D	low break, poor form
103	Parkinsonia floridium	Blue Palo Verde	10	10	7	S	S	
104	Parkinsonia floridium	Blue Palo Verde	10	12	8	S	S	
105	Prosopis spp.	Mesquite	17	14	12	S	R	
106	Prosopis spp.	Mesquite	12	13	13	NS	R	low break, poor form
107	Prosopis spp.	Mesquite	10	14	12	NS	R	low break, poor form
108	Prosopis spp.	Mesquite	16	20	22	NS	D	low break, poor form
109	Prosopis spp.	Mesquite	8	10	19	NS	D	low break, poor form
110	Prosopis spp.	Mesquite	14	11	9	NS	D	low break, poor form
111	Prosopis spp.	Mesquite	14	12	13	NS	D	low break, poor form
112	Prosopis spp.	Mesquite	10	12	11	NS	D	low break, poor form
113	Prosopis spp.	Mesquite	8	8	7	NS	D	low break, poor form
114	Prosopis spp.	Mesquite	12	11	12	NS	D	low break, poor form
115	Prosopis spp.	Mesquite	12	11	12	NS	D	low break, poor form
116	Prosopis spp.	Mesquite	10	12	11	NS	D	low break, poor form
117	Prosopis spp.	Mesquite	10	8	12	NS	D	low break, poor form
118	Prosopis spp.	Mesquite	14	10	14	NS	D	low break, poor form
119	Prosopis spp.	Mesquite	7	8	5	NS	D	low break, poor form
120	Prosopis spp.	Mesquite	14	11	12	NS	D	low break, poor health
121	Prosopis spp.	Mesquite	12	6	10	NS	D	low break, poor health
122	Prosopis spp.	Mesquite	14	14	9	NS	D	low break, poor health
123	Prosopis spp.	Mesquite	15	12	10	NS	D	low break
124	Prosopis spp.	Mesquite	17	15	18	NS	D	low break, poor form
125	Prosopis spp.	Mesquite	10	12	9	NS	D	low break, poor form
126	Prosopis spp.	Mesquite	14	16	12	NS	D	low break, poor form
127	Prosopis spp.	Mesquite	11	13	8	NS	D	low break, poor form
128	Prosopis spp.	Mesquite	10	8	10	NS	D	low break, poor form
129	Prosopis spp.	Mesquite	15	17	15	NS	D	low break, poor form
130	Prosopis spp.	Mesquite	16	20	24	NS	D	low break, poor form
131	Prosopis spp.	Mesquite	10	8	6	NS	D	low break, poor form
132	Prosopis spp.	Mesquite	16	14	14	NS	D	low break, poor form
133	Prosopis spp.	Mesquite	16	18	20	NS	D	low break, poor form
134	Prosopis spp.	Mesquite	14	14	12	NS	D	low break, poor form
135	Prosopis spp.	Mesquite	20	15	14	NS	D	low break, poor form
136	Prosopis spp.	Mesquite	20	16	16	NS	D	low break, poor health
137	Prosopis spp.	Mesquite	20	20	18	NS	D	low break, lateral roots
138	Prosopis spp.	Mesquite	22	20	16	NS	D	low break, lateral roots
139	Prosopis spp.	Mesquite	10	12	12	NS	D	low break, insect damage
140	Prosopis spp.	Mesquite	9	9	8	NS	D	poor health
141	Prosopis spp.	Mesquite	18	16	16	NS	D	low break, poor form
142	Prosopis spp.	Mesquite	12	8	8	NS	D	low break, poor form
143	Prosopis spp.	Mesquite	12	8	11	NS	D	on slope
144	Prosopis spp.	Mesquite	12	7	7	NS	D	low break, poor form
145	Prosopis spp.	Mesquite	10	10	10	NS	D	poor health, leaning
146	Prosopis spp.	Mesquite	8	11	8	NS	D	low break, poor form
147	Prosopis spp.	Mesquite	8	12	16	NS	D	poor form, leaning
148	Prosopis spp.	Mesquite	8	6	10	NS	D	poor health, poor form
149	Prosopis spp.	Mesquite	12	10	14	NS	D	low break, poor form
150	Prosopis spp.	Mesquite	10	10	6	NS	D	low break, poor form
151	Prosopis spp.	Mesquite	10	8	8	NS	D	low break, poor form
152	Prosopis spp.	Mesquite	12	14	10	NS	D	low break, poor form
153	Prosopis spp.	Mesquite	16	12	10	NS	D	low break, poor form
154	Prosopis spp.	Mesquite	15	13	12	NS	D	low break, poor form
155	Prosopis spp.	Mesquite	15	13	10	NS	D	low break, poor health
156	Prosopis spp.	Mesquite	13	10	12	NS	D	low break, poor form
157	Prosopis spp.	Mesquite	15	12	6	NS	R	low break, poor form
158	Prosopis spp.	Mesquite	14	12	6	NS	R	low break, poor form
159	Prosopis spp.	Mesquite	15	9	6	NS	R	low break, poor form
160	Prosopis spp.	Mesquite	16	9	6	NS	R	low break, poor form
161	Prosopis spp.	Mesquite	8	8	4	NS	R	low break, poor form
162	Parkinsonia microphyllum	foothills palo verde	10	8	4	NS	R	low break, poor form
163	Prosopis spp.	Mesquite	18	12	8	NS	R	low break, poor form
164	Prosopis spp.	Mesquite	14	9	5	NS	R	low break, poor form
165	Prosopis spp.	Mesquite	20	18	14	NS	R	poor health
166	Prosopis spp.	Mesquite	20	10	10	NS	R	low break, poor form
167	Prosopis spp.	Mesquite	18	12	8	NS	R	low break, poor form
168	Prosopis spp.	Mesquite	18	13	8	NS	R	poor health
169	Prosopis spp.	Mesquite	12	10	6	NS	R	poor health
170	Prosopis spp.	Mesquite	10	8	12	NS	R	low break, poor form
171	Prosopis spp.	Mesquite	20	14	16	S	R	
172	Prosopis spp.	Mesquite	12	8	8	NS	R	low break, poor form
173	Prosopis spp.	Mesquite	14	12	8	NS	R	low break, poor form
174	Prosopis spp.	Mesquite	18	14	10	NS	R	low break, poor form
175	Prosopis spp.	Mesquite	20	18	10	S	R	
176	Prosopis spp.	thornless mesquite	20	18	10	S	R	
177	Prosopis spp.	thornless mesquite	20	18	10	S	R	
178	Parkinsonia hybrid	Thornless Palo Verde	18	16	12	S	R	
179	Fraxinus spp.	Ash spp.	12	8	3	S	R	
180	Fraxinus spp.	Ash spp.	12	8	3	S	R	
181	Fraxinus spp.	Ash spp.	12	8	3	S	R	
182	Prosopis spp.	thornless mesquite	16	12	10	S	R	

NOTES:

1. TREES ON INVENTORY UNAFFECTED BY CONSTRUCTION OPERATIONS MAY REMAIN PROTECTED IN PLACE, SEE INVENTORY MATRIX FOR DESIGNATION OF PLANT MATERIAL

A NEW ISOTAINER PARKING PAD
FOR
FUJIFILM ELECTRONIC
MATERIALS

6550 S. MOUNTAIN RD. MESA, AZ 85212

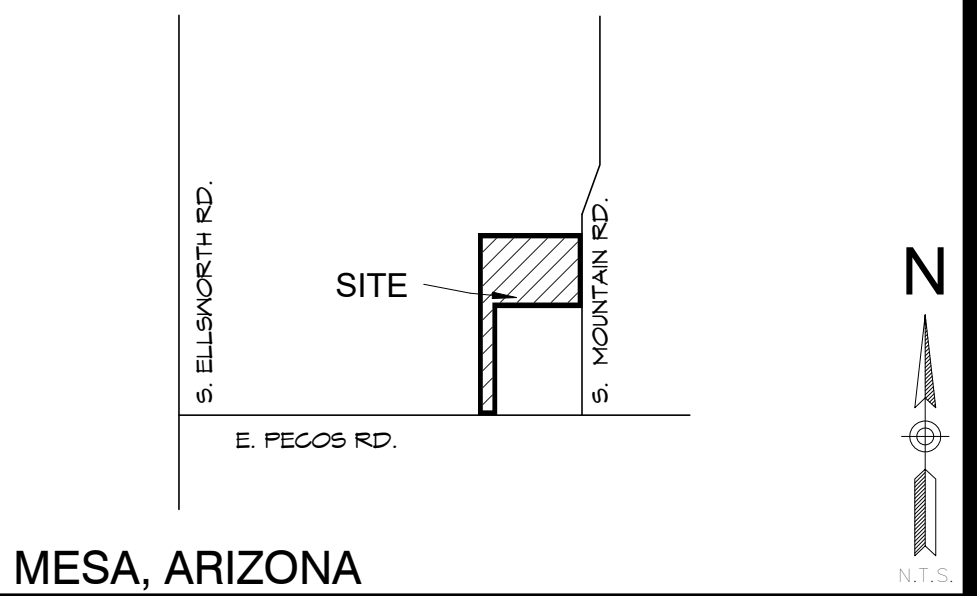
BLDG. DATA

OWNER:	FUJI FILM ELECTRONIC MATERIALS		
BUILDING ADDRESS:	6550 S MOUNTAIN RD. MESA, AZ 85212		
CONTACT: FUJIFILM REPRESENTATIVE	THOMAS JONUTIS, PROJECT MANAGER 480-987-7523		
BUILDING CODES:	2006 I.B.C. 2006 I.R.C. 2006 I.M.C. 2006 U.P.C. 2006 I.P.C.	2009 I.E.C.C. 2006 I.F.G.C. 2006 N.E.C. 2006 I.F.C. 2010 ADAAG	
EXISTING ZONING:	GI-AF		
PROPOSED ZONING:	HI-AF WITH PAD OVERLAY		
PARCELS:	304-34-041, 304-34-042A, 304-34-042B		
USE:	(EXIST.) MANUFACTURING		
GROSS SITE AREA:	1,596,030 S.F. - 36.64 ACRES		
NET SITE AREA:	1,515,430 S.F. - 34.79 ACRES		
AREA OF DEVELOPMENT :	149,549 S.F. - 3.43 ACRES		
AREA OF REZONE :	253,567 S.F. - 5.82 ACRES		

GENERAL NOTES

- CONTRACTOR SHALL FOLLOW ALL CODES AND REGULATIONS MANDATED BY FEDERAL, STATE, COUNTY AND CITY AGENCIES. UNDERLYING BUILDING CODES AND REGULATIONS. A.D.A. AND CORPORATION COMMISSION ON GAS, ETC.
- CONTRACTOR SHALL, UNDER HIS CONTRACT PROVIDE FOR AND PAY ALL COSTS ASSOCIATED WITH BUILDING PERMITS, INSPECTION FEES, LOCATION FEES, TAXES AND REVIEW FEES. COST OF OBTAINING PERMITS, FEES & TAXES SHALL BE PROVIDED UNDER THIS CONTRACT.
- CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL FINISHES THAT ARE DAMAGED DURING THE COURSE OF THIS CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EXISTING LINES DAMAGED DURING THE COURSE OF THIS CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A LOCKED, SECURED JOB SITE AT ALL TIMES DURING THE COURSE OF THIS CONSTRUCTION. ANY VANDALISM OR THEFT DUE TO AN UNLOCKED BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL RUN AND MAINTAIN, DURING THE COURSE OF THIS CONSTRUCTION, A SAFE AND SECURE JOB SITE. SECURE OF CROSS TRAFFIC.
- ALL WASTE MATERIALS SHALL BE DISPOSED OF IN A PROPERLY LICENSED DISPOSAL SITE.
- THE CONTRACTOR IS TO COMPLY WITH AND SUBJECT TO ALL PARTS OF THESE DOCUMENTS AND ALL CONDITIONS OF THE AIA DOCUMENT A 201, GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION, 1991 EDITION, FOR THIS PROJECT

VICINITY MAP



CONSULTANTS

MECHANICAL/PLUMBING/ ELECTRICAL:	STRUCTURAL/CIVIL:
MAVEN ENGINEERING 230 W. BASELINE RD, SUITE 103 TEMPE, ARIZONA 85283 (480) 303-0180	BABBIT NELSON ENGINEERING, LLC 1140 E. GREENWAY ST. SUITE 2 MESA, ARIZONA 85203 (480) 610-1341

SCOPE OF WORK

The proposed project is located near the northwest corner of S. Mountain Rd and E. Pecos Rd. at the existing Fujii Film facility in Mesa, Arizona.

This project is for a new parking lot for Isotainer Storage to be located on the north side of the property. The project area is currently vacant. The existing chain-link fencing and concrete curbing around the project site area will be removed. The existing fire hydrants near project site area are to remain. Power will be provided for 25 isotainers for cooling and heating the contents, and will have the power outlets stubbed up behind each of the 25 full tankers. The tankers will have a Reefer attached to the units. There are two transformers located to the south of the development area, which one is sized for 2,000 KVA and the other is sized for 1,500 KVA.

For the North 14 acres of the property Fujii Film is requesting to re-zone only the proposed developed area (5.82 acres) which is not being devoted to the ADOT right of way. The project proposes an area of 46,184 square foot for storage of 71 new parking stalls. The parking stalls along the North side concrete area will slope towards the block wall to the north, for any potential spillage. The remainder of the parking lot shall drain to a valley gutter per the Civil Engineer's design. Drainage shall exit the lot via two gullotine gates to the west of the new parking lot after proper testing for contaminants by Fujii Film. The new isotainer parking area will be constructed using concrete. The concrete will be designed for 50,000 lbs capacity loading per loaded vehicle. A fully loaded trailer with contents weighs 50,000 lbs. The concrete will be designed for 3500 psi, 6" thick.

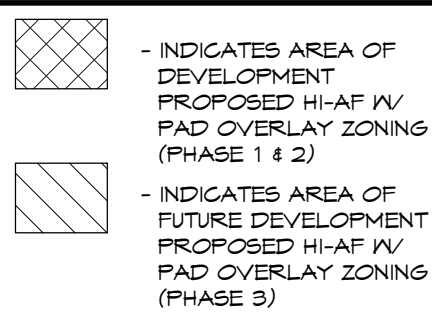
The area will have an 8 foot high block wall to enclose the area with three strands of barb wire and razor wire mounted to the inside, below the top of the block wall, and lighting. The East side of the site will have a decorative wrought iron fence with CMU piers. The proposed site will also include a future (phase 3) 60,000 square foot building for product production. The building shall be located to the Northwest of the site and will be built at a later date. The development area will require the existing fencing, concrete curbs, shrub and trees to be removed to prepare for land grading and excavation. The site is currently divided into three separate parcels, that shall be combined via a lot combination. The new Maricopa Freeway 24 easement will be located on the North side of the new block wall installation, according to Maricopa Freeway studies using Alternate # 3, and shall encompass approximately 13 acres of the Property.

SHEET INDEX

A-1	1	COMPOSITE SITE PLAN, COVER SHEET
A-2	2	ENLARGED SITE PLAN
A-3	3	SITE SECTIONS & DETAILS
C-1	4	IMPROVEMENT PLAN
C-2	5	PAVING PLAN
C-3	6	GRADING & DRAINAGE PLAN
L0.1	7	LANDSCAPE COVER SHEET
L1.1	8	LANDSCAPE PLAN
L2.1	9	IRRIGATION PLAN
L3.1	10	LANDSCAPE & IRRIGATION DETAILS
INV. 1	11	LANDSCAPE INVENTORY SHEET
INV. 2	12	LANDSCAPE INVENTORY SHEET

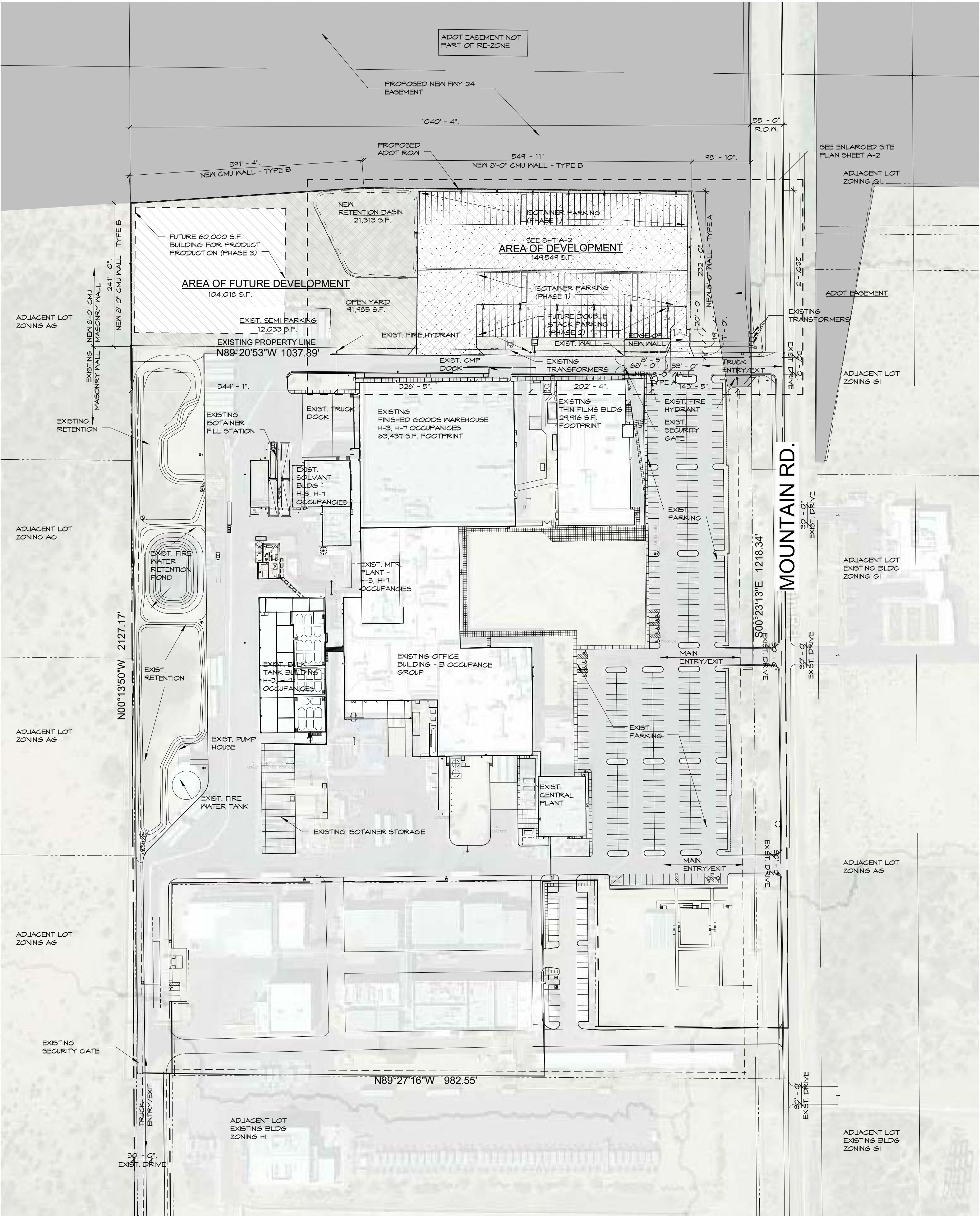
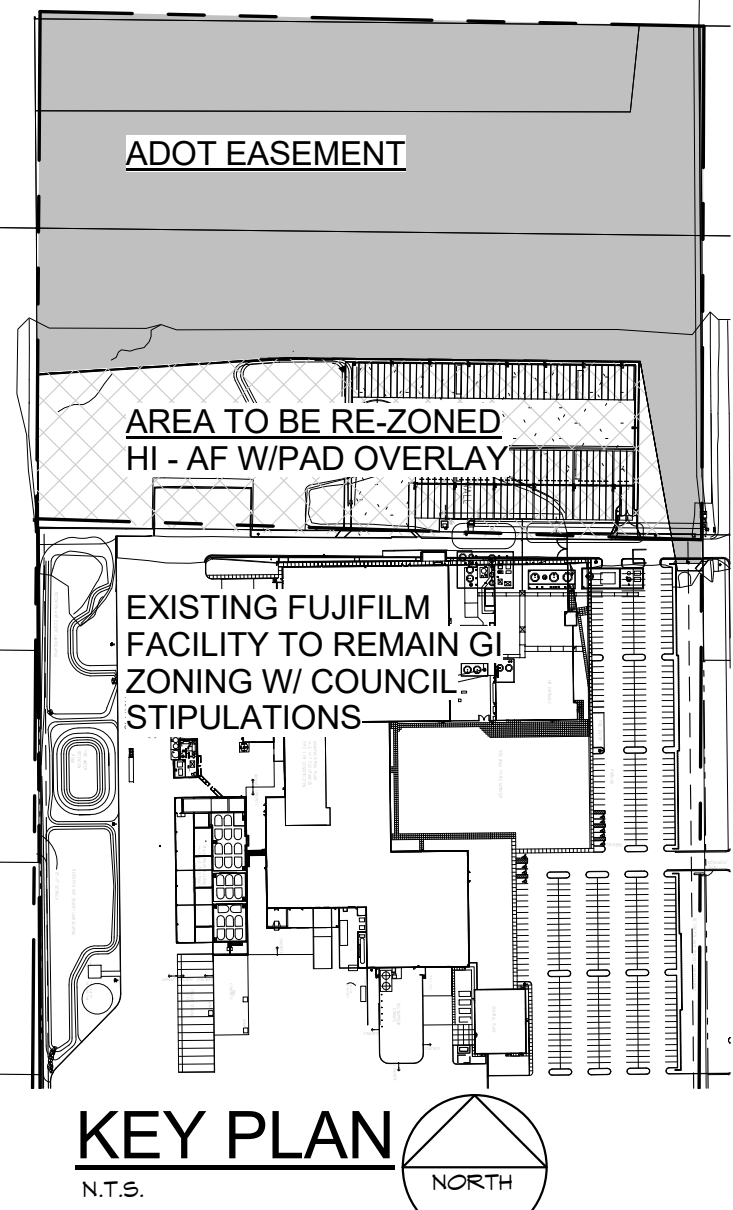
SPECIAL INSPECTIONS

- SOILS, PER IBC SEC. 1705.6
- CONCRETE, PER IBC SEC.1705.3 & ACI 530-13, TABLE 3.1
- REINFORCING STEEL, PER IBC SEC. 1705.3 & ACI 318-11, TABLE 3.1
- STRUCTURAL MASONRY, PER IBC SEC. 1705.4 & ACI 530-13, TABLE 3.1
- ANCHOR BOLTS, EXPANSION BOLTS & EPOXY BOLTS, PER IBC TABLE 1705.3 & ACI 318-11, SEC 1.3 AND APPENDIX D.



BID ALTERNATES

- Provide costs for additional 2nd stacked parking to the south of the construction area, see Exhibit 1. (see RFP)
- Alternate schedule for premium work hours
- Provide additional LED fixtures on the 8 light poles on south side of parking lot. This additional fixture will face south to make it a double headed pole.



COMPOSITE SITE PLAN

NOTE: SECURITY CAMERAS TO BE PROVIDED - COORDINATE WITH OWNER FOR TYPE, QUANTITY, LOCATION, AND POWER REQUIREMENTS

1" = 100'-0"



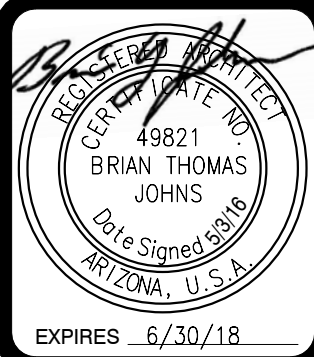
associatedarchitects, inc.
architecture · construction management · planning

p 480-984-8451
6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296

www.associated-architects.com

DATE	DESCRIPTION
JUN 14 2011	DRAWN BY: BTJ
JUN 14 2011	CHECKED BY: BTJ
JUN 14 2011	DATE: 05/23/16

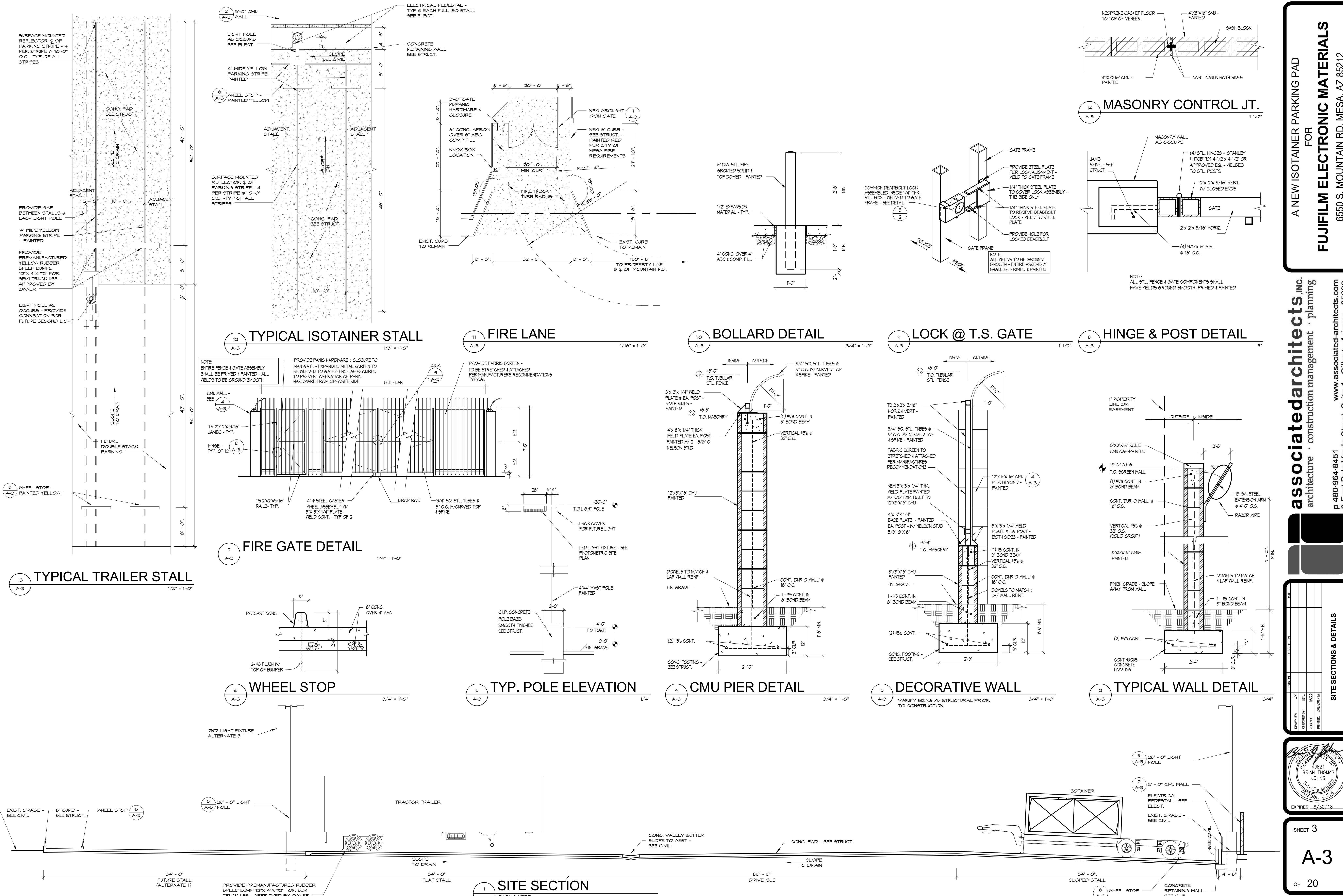
COMPOSITE SITE PLAN, COVER SHEET



SHEET 1

A-1

OF 20



A NEW ISOTAINER PARKING PAD FOR

FUJIFILM ELECTRONIC MATERIALS

6550 S. MOUNTAIN RD. MESA, AZ 85212

CONSTRUCTION DOCUMENTS

associated architects, inc.

architecture • construction management • planning

p 480-964-8451
www.associated-architects.com
6 East Palo Verde Street, Suite 1 • Gilbert • Arizona • 85296

DATE	DESCRIPTION
JUN 14 2016	REVISED
JUN 14 2016	REVISED
JUN 14 2016	REVISED
JUN 14 2016	REVISED

SITE SECTIONS & DETAILS

EXPIRES 6/30/18

SHEET 3

A-3

OF 20

CITY OF MESA GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE PERMIT SERVICES SECTION OF THE BUILDING SAFETY DIVISION AT (480) 644-4BSD OR AT [HTTP://WWW.MESAAZ.GOV/DEVSUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaaz.gov/devsustain/constructionpermits.aspx). THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
- TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING CONSTRUCTION SERVICES AT (480) 644-2253 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR. FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE, SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
- CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORMS.
- THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
- THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY OR EASEMENT HAVE BEEN CORRECTLY PLOTTED/SHOWN.
- THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON 'AS-BUILT' DRAWINGS PROVIDED BY THE ENGINEER TO THE ENGINEERING DEPARTMENT - CONSTRUCTION SERVICES SECTION.
- THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OFWAY OR EASEMENTS HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
- THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
- THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
- THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL (602) 263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
- WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
- CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
- IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
- IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE ENGINEERING CONSTRUCTION INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING IN THE CURRENT APPLICABLE RATES.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO PUBLIC SERVICES OR SYSTEMS AS A RESULTS OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. UNLESS OTHERWISE APPROVED BY THE CITY, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES AND SYSTEMS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE BORNE BY THE CONTRACTOR.
- THE APPLICANT HEREBY REPRESENTS THAT THESE CONSTRUCTION DOCUMENTS COMPLY WITH ALL ZONING APPROVALS, DESIGN REVIEW BOARD APPROVALS, BUILDING AND ENGINEERING STANDARDS AND ALL APPLICABLE REQUIREMENTS OF THE MESA CITY CODE. THE APPLICANT ACKNOWLEDTES AND AGREES THAT ANY DEVIATION FROM OR FAILURE TO COMPLY WITH THE REQUIREMENTS OF ANY SUCH APPROVAL OR STANDARD WILL RESULT IN THE DENIAL OF CERTIFICATE OF OCCUPANCY AND MAY RESULT IN ADDITIONAL PENALTIES AND/OR ENFORCEMENT ACTIONS AS PROVIDED IN THE MESA ZONING AND BUILDING CODES. APPROVAL OR THE CONSTRUCTION DOCUMENTS SHALL NOT IMPLY APPROVAL OF ANY DEVIATION FROM THE PLANS APPROVAED AND STIPULATED BY DESIGN REVIEW BOARD, PLANNING & ZONING BOARD, AND CITY COUNCIL, OR FROM BUILDING AND ENGINEERING STANDARDS.

CITY OF MESA PAVING NOTES:

- THE DEVELOPER AND THE CONTRACTOR ARE REQUIRED TO COORDINATE THE PLACEMENT OR INSTALLATION OF DRIVEWAYS IN ORDER TO AVOID CONFLICT WITH UTILITY SERVICES.
- ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., SHALL BE INSTALLED TO FINISH GRADE OR SHALL BE ADJUSTED TO FINISH GRADE AFTER PLACING OF ASPHALTIC SURFACE COURSE BY THE CONTRACTOR PER M.A.G. STANDARD DETAIL 270 AND 422.
- THE CONTRACTOR SHALL ADJUST ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC. THAT ARE LOCATED WITHIN THE PARKWAY AREA AFTER FINAL GRADING AND INSTALLATION.
- ALL LANDSCAPING IMPROVEMENTS, INCLUDING IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR RETENTION BASINS THAT ARE TO BE MAINTAINED BY THE CITY OF MESA, SHALL BE IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION STANDARDS BOOKLET.
- THE STREET PAVING PERMITTEE/CONTRACTOR IS HEREBY NOTIFIED THAT IN THE EVENT THAT ACCEPTANCE OF THE PUBLIC STREET PAVING IS DELAYED: SIX MONTHS OR MORE AFTER THE PAVEMENT WAS INSTALLED, THE PERMITTEE/CONTRACTOR SHALL APPLY A SEAL COAT TO THE PAVEMENT. TYPE OF MATERIAL AND RATE OF APPLICATION WILL BE DIRECTED BY THE CITY OF MESA ENGINEERING DEPARTMENT - FIELD SUPERVISING ENGINEER.
- A STANDARD RESIDENTIAL DRIVEWAY APPROACH SHALL BE CONSTRUCTED TO A MAXIMUM WIDTH OF 30 FEET UNLESS SPECIAL APPROVAL HAS BEEN OBTAINED.

CITY OF MESA STORMWATER DRAINAGE & RETENTION NOTES:

- THE ENGINEER, OR LAND SURVEYOR SHALL CERTIFY THAT THE REQUIRED STORM WATER RETENTION HAS BEEN PROVIDED. THE CERTIFICATION SHALL ALSO INDICATE THE ACTUAL LOCATION. SUCH CERTIFICATION SHALL BE PROVIDED TO BUILDING SAFETY DIVISION - BUILDING INSPECTIONS WHEN THE RETENTION AREA IS TO REMAIN PRIVATE PROPERTY AND TO ENGINEERING CONSTRUCTION SERVICES WHEN THE RETENTION AREA IS TO BECOME CITY OF MESA PROPERTY.
- ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER IN A 36 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL-SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL. IN ACCORDANCE WITH ARIZONA REVISED STATUTES, DRYWELLS ARE REQUIRED TO BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) IT IS THE OWNER'S RESPONSIBILITY TO REGISTER ALL DRYWELLS. AN AQUIFER PROTECTION PERMIT MAY BE REQUIRED BY A.D.E.Q. FOR DRYWELLS DEEMED TO BE HAZARDOUS TO GROUNDWATER.

CITY OF MESA TRAFFIC SIGNAL NOTES:

- CONTRACTORS SHALL CONTACT THE CITY OF MESA TRAFFIC SIGNALS SUPERVISOR (480) 644-3122 PRIOR TO ANY WORK WITHIN THE VICINITY OF OR THROUGH A SIGNALIZED INTERSECTION, WHICH WILL CHANGE TRAFFIC LANE PATTERNS.
- CONTRACTORS ARE ADVISED THAT DAMAGE TO ANY TRAFFIC SIGNAL EQUIPMENT (DETECTOR LOOPS, PULLBOXES, CONDUIT, ETC.) AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MESA TRAFFIC SIGNALS GROUP. DETECTOR LOOPS SHALL BE REINSTALLED WITHIN TWENTY-FOUR (24) HOURS OF REMOVAL AND PRIOR TO THE PLACEMENT OF THE ASPHALT FINISH COURSE.
- THE CONTRACTOR SHALL HAVE AT LEAST AN MSA-CERTIFIED LEVEL II (2) TRAFFIC SIGNAL TECHNICIAN ON SITE DURING ALL PHASES OF ANY TRAFFIC SIGNAL WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF THIS CERTIFICATION. IF A JOB SITE IS INSPECTED AND NO TECHNICIAN IS PRESENT ON SITE, ANY WORK ASSOCIATED WITH THE TRAFFIC SIGNAL WILL BE SUSPENDED.
- IN TRAFFIC AREAS ADD A SLURRY CAP TO THE TRAFFIC SIGNAL FIBER OPTIC (TSFO) CONDUIT TRENCH WHERE THE 48" DEPTH REQUIRED PER (M-93.3 & M-93.4) CANNOT BE MAINTAINED. IN NON-TRAFFIC AREAS (BACK OF SIDEWALK) IF THE TSFO CONDUIT IS INSTALLED AT A DEPTH OF LESS THAN 36", A 6" SLURRY CAP IS REQUIRED. THE MINIMUM ALLOWABLE DEPTH FOR TSFO CONDUITS IS 24". THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR SHALL BE NOTIFIED 48 HOURS PRIOR TO INSTALLING CONDUITS WHEN ANY VARIATION TO DETAIL (M-93.3 & M-93.4) IS REQUIRED. IF TSFO CONDUIT IS REQUIRED TO MEANDER VERTICALLY OR HORIZONTALLY, NO CONDUIT BEND SHALL EXCEED 45 DEGREES.
- TSFO CONDUITS SHALL BE INSTALLED 48" DEEP IN A JOINT TRENCH WITH STREET LIGHT CONDUIT PER (M-93.3 & M-93.4).

ENGINEER'S NOTES:

- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON HIMSELF THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THERE OF.

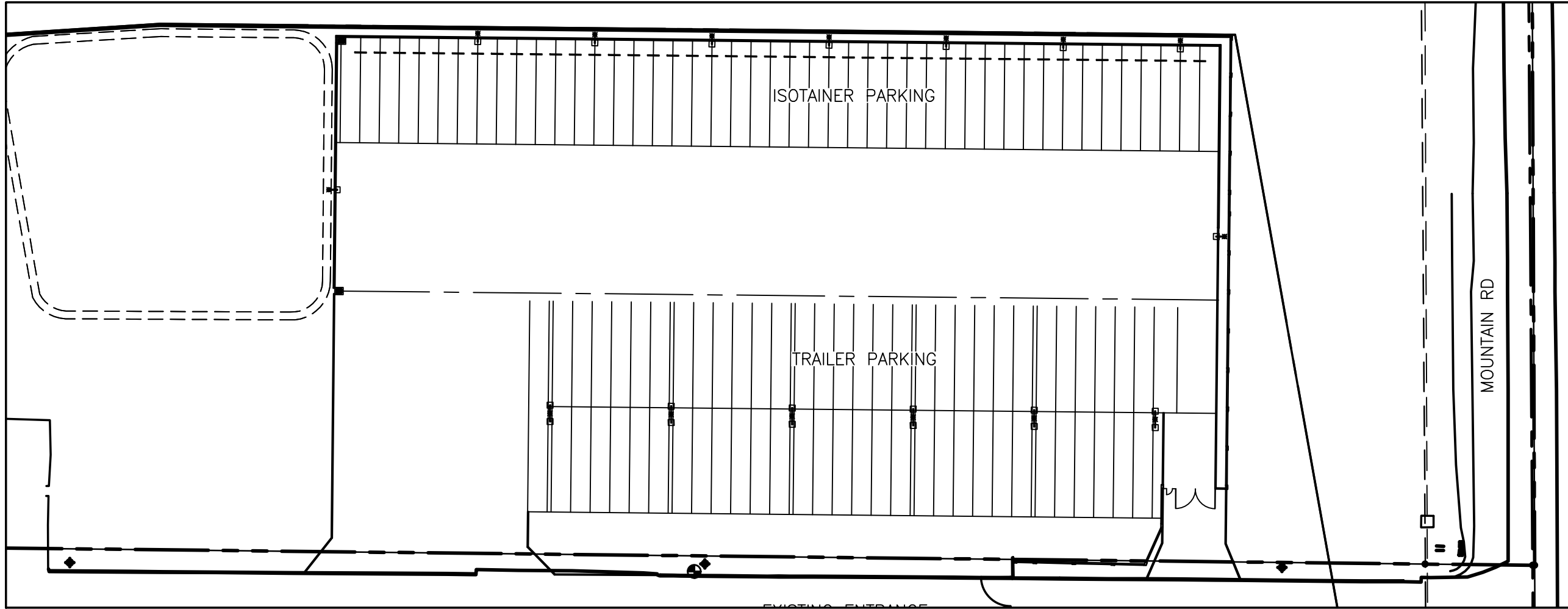
IMPROVEMENT PLANS

FOR

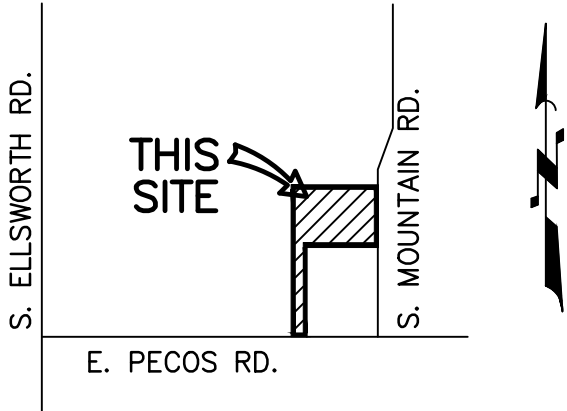
FUJIFILM ELECTRONIC MATERIALS

A PORTION OF THE WEST HALF OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

APN# 304-34-041, 304-34-042A, 304-34-042B



SITE MAP
N.T.S.



VICINITY MAP
N.T.S.

SHEET INDEX

- CIVIL PLANS
- 1.....COVER SHEET
 - 2.....PAVING PLAN
 - 3.....GRADING PLAN

OWNER / DEVELOPER

FUJI FILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD.
MESA, ARIZONA 85212
TEL: (480) 987-7523
CONTACT: THOMAS JONUTIS

ARCHITECT

ASSOCIATED ARCHITECTS INC.
6 EAST PALO VERDE STREET, SUITE 1
GILBERT, ARIZONA 85296
TEL: (480) 964-8451

ENGINEER

BABBITT NELSON ENGINEERING LLC
1152 EAST GREENWAY STREET, SUITE 2
MESA, ARIZONA 85203
TEL: (480) 610-1341
FAX: (480) 962-9034
CONTACT: DARREN SMITH

BENCHMARK

CITY OF MESA BRASS TAG TOP OF CURB
LOCATED AT NORTHEAST CORNER AT THE
INTERSECTION OF SIGNAL BUTTE ROAD AND
WARNER ROAD ELEVATION=1453.68

CITY OF MESA BRASS TAG TOP OF CURB
LOCATED AT NORTHEAST CORNER AT THE
INTERSECTION OF SIGNAL BUTTE ROAD AND
REUBEN ROAD ELEVATION=1460.25

BASIS OF BEARING

FOR THIS PROJECT IS S00°23'12"E FOR THE
NORTH/SOUTH MID-SECTION LINE OF SECTION
36, TOWNSHIP 1 SOUTH, RANGE 7 EAST AS
CALCULATED AND SHOWN ON FUJIFILM NORTH
20 ACRES RECORD OF SURVEY RECORDED IN
BOOK 1247, PAGE 50, MARICOPA COUNTY
RECORDS.

CASE NUMBERS

PS16-104 (PLN2016-00128)

COORDINATION LIST

ORGANIZATION	REPRESENTATIVE	PHONE NUMBER
CENTURY LINK, INC.	LOCATING RECALLS UNKNOWN	(623)-780-3350
CITY OF MESA UTILITIES	GILBERT MONTEZ	(480)-644-3513
COX COMMUNICATIONS	GWENDALYN GARCIA	(623)-328-4073
SALT RIVER PROJECT (SRP)	SRP BLUE STAKE	(602)-236-8026
SOUTHWEST GAS	PAMELA COURY	(602)-395-4036

THIS PROJECT IS LOCATED WITHIN AN AREA DESIGNATED AS FLOOD ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. PANEL NOT PRINTED ON A FLOOD INSURANCE RATE MAP.

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE REVIEWED THE "AS-BUILT" FOR THE ABOVE REFERENCED PROJECT AND CERTIFY THAT THE DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS, THAT IT WILL FUNCTION AS DESIGNED AND PERMITTED.

REGISTERED CIVIL ENGINEER DATE

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED ARE CORRECT TO THE BEST OF MY KNOWLEDGE.

REGISTERED SURVEYOR DATE

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION R4-30-301 OF THE RULES OF ARIZONA STATE BOARD OF TECHNICAL REGISTRATION, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE REVIEW OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY MARICOPA COUNTY IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

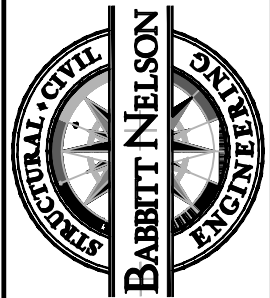
5-2-16

REGISTERED CIVIL ENGINEER DATE

APPROVALS:

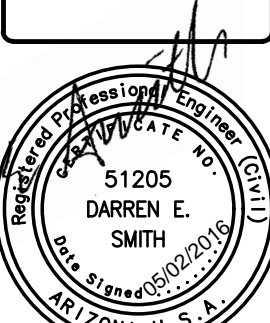
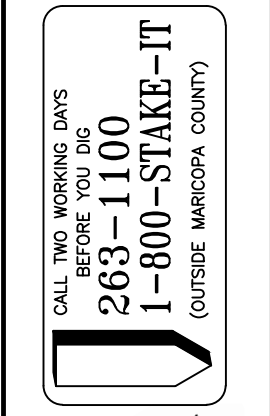
CITY OF MESA DATE

Babbitt Nelson Engineering
1140 E. Greenway St. Suite 2
Mesa, Arizona 85203
tel: (480) 610-1341
fax: (480) 962-9034
cel: (480) 497-0003



IMPROVEMENT PLANS

PROJECT:
FUJIFILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD. MESA, AZ 85212



EXPIRES 09/30/16

JOB NO.
16019

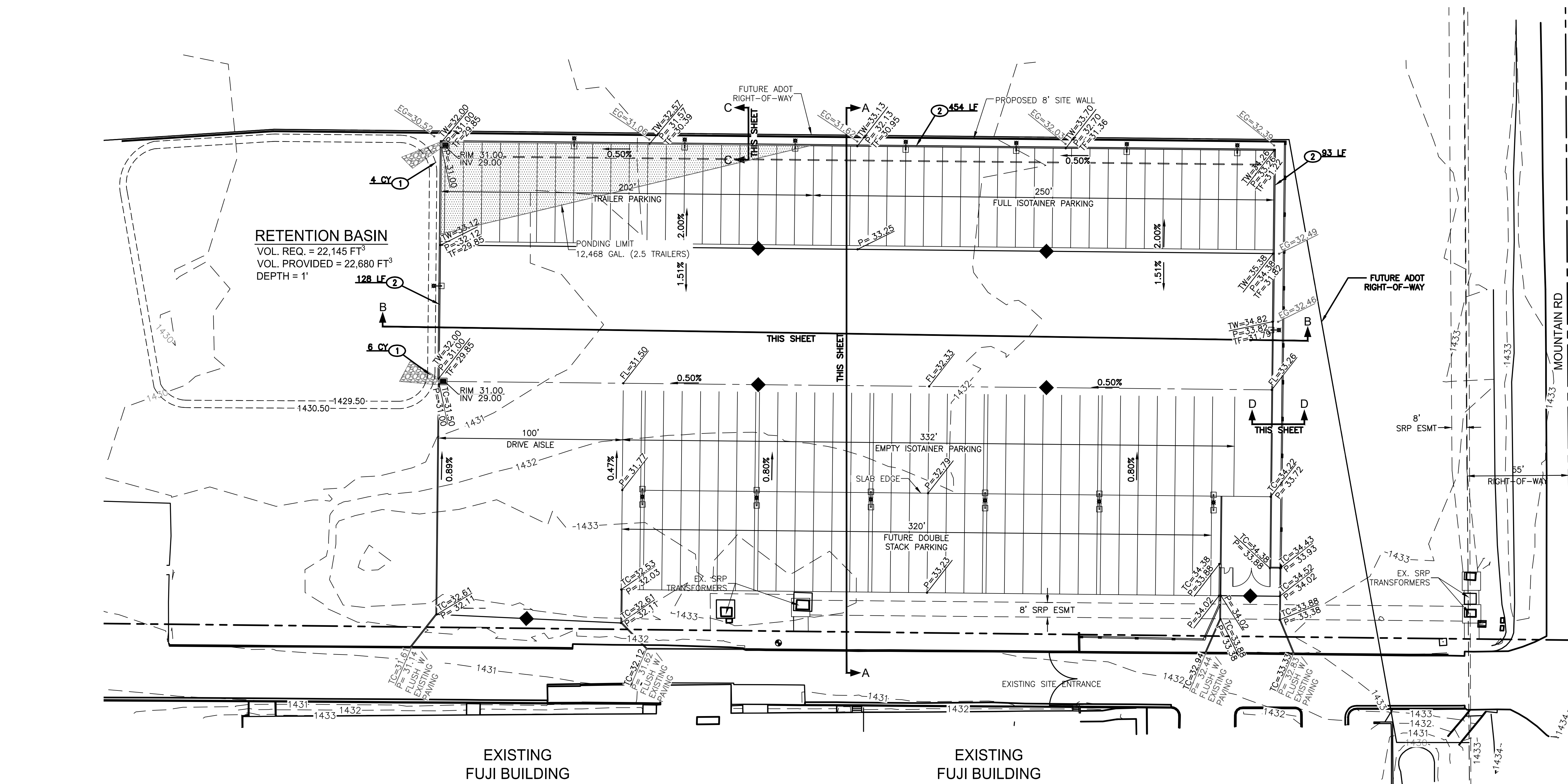
16019C1.DWG

SHEET NO.

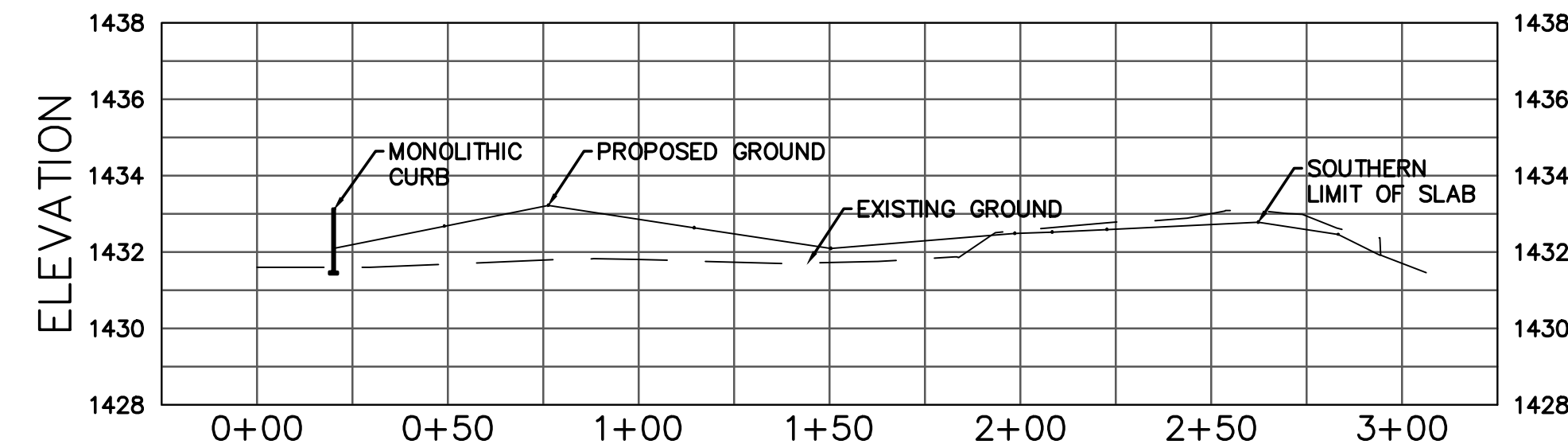
C1

1 OF 3

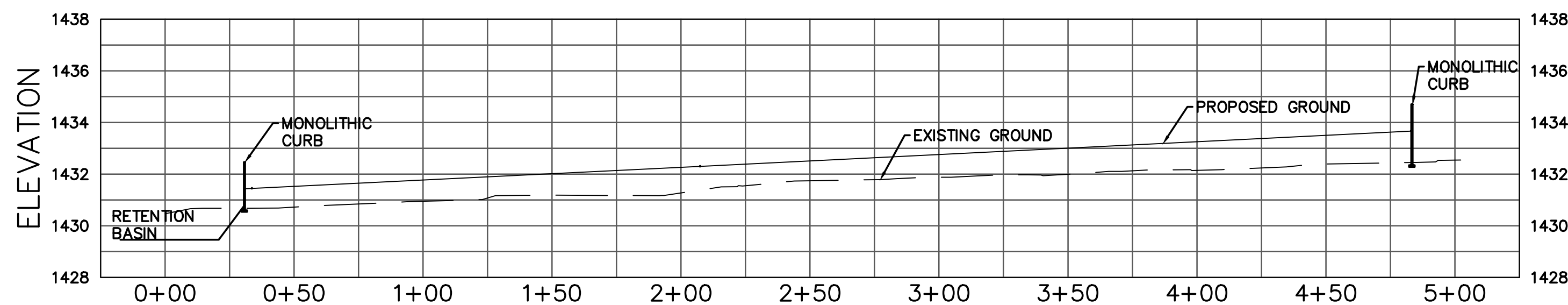
C:\Users\Darren\Dropbox\2016 Engineering\2016 Engineering\16-019 FB-DSS FujiFilm Isotainer Parking\16019C3-G.dwg, 05/02/2016 10:37:11 PM



SECTION A-A



SECTION B-B



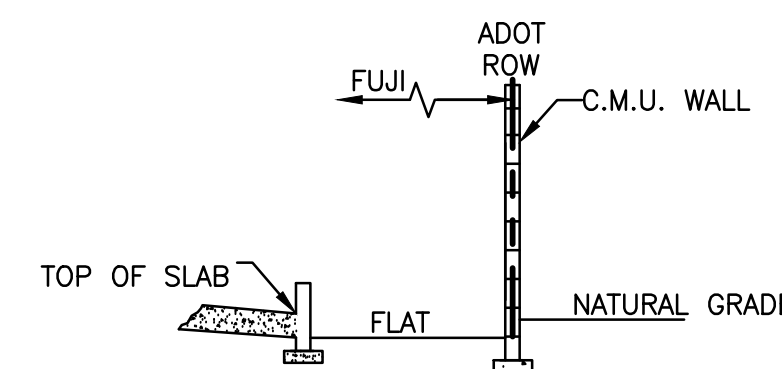
CONSTRUCTION NOTES

- ① GROUNDED RIPRAP, D50=6", THICKNESS=1" 10 CY

EARTHWORK

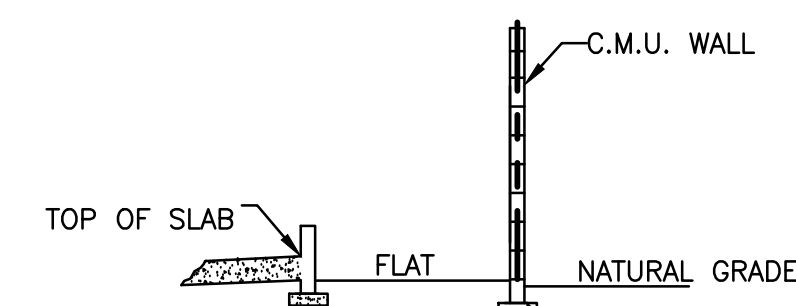
TOTAL CUT = 2284.25 CU YD
TOTAL FILL = 3155.83 CU YD
NET = 871.58 (FILL)

*NUMBERS SHOWN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL PERFORM THEIR OWN, INDEPENDENT EARTHWORK ANALYSIS ON WHICH BIDS SHOULD BE BASED.



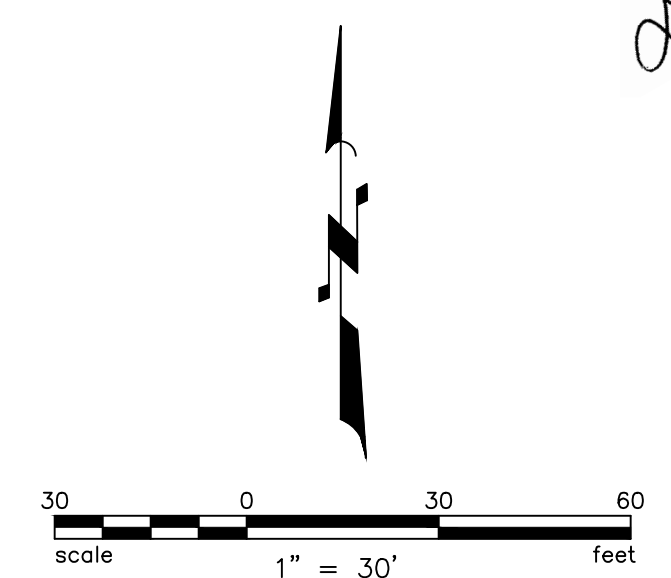
SECTION C-C

N.T.S.



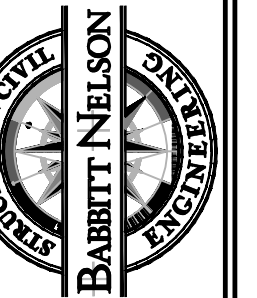
SECTION D-D

N.T.S.



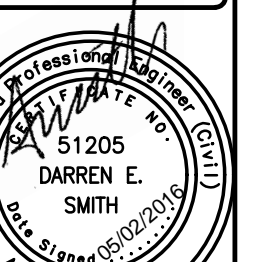
REVISIONS:

Babbitt Nelson Engineering
1140 E. Greenway St. Suite 2
Mesa, Arizona 85203
tel: (480) 610-1341
fax: (480) 962-9034
cel: (480) 497-0003



GRADING & DRAINAGE PLAN
PROJECT:
FUJIFILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD. MESA, AZ 85212

CALL TWO WORKING DAYS
263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



EXPIRES 09/30/16
JOB NO.
16019
16019C3-G.DWG
SHEET NO.
C3
3 OF 3




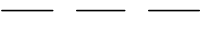




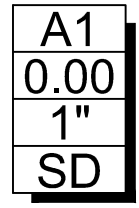
MESA GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESES AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE PERMIT SERVICES SECTION OF THE BUILDING SAFETY DIVISION @ 480-644-4B5D www.cityofmesa.org/buildingsafety/permitservices.aspx.
3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS ALSO BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN 90 DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSSES OR IS VOIDED.
4. 24 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITEE SHALL NOTIFY CITY OF MESA ENGINEERING CONSTRUCTION SERVICES AT 480-644-2253 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR. FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE, SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
5. CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
6. THE CITY OF MESA PARKS AND RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS AND RECREATION ADMINISTRATION SECTION AT 480-644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
7. THE CONTRACTOR SHALL OBTAIN AN EARTH MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
8. THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHTS-OF-WAY OR EASEMENTS HAVE BEEN CORRECTLY PLOTTED/SHOWN.
9. THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE ENGINEERING DEPARTMENT CONSTRUCTION SERVICES.
10. THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
11. THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
12. THE DEVELOPER OR ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
13. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL 602-269-1100 FOR BLUE STAKE 2 WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT 602-279-8888.
14. CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
15. IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL AFFICABLE FEES AND CHARGES.
16. IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE ENGINEERING CONSTRUCTION INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.


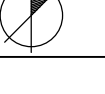


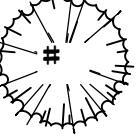
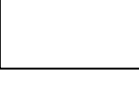
LANDSCAPE NOTES (NOT APPROVED)

1. PROVIDE LANDSCAPE ARCHITECT A SAMPLE OF DECOMPOSED GRANITE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
2. PREPARED BACKFILL FOR PLANTING PITS SHALL BE 4 PARTS NATIVE SOIL TO 1 PART NITROGEN STABILIZED MULCH. MIX MULCH AND SOIL BACKFILL THOROUGHLY TO CREATE BACKFILL PRIOR TO PLACING IN PIT.
3. TOPSOIL TO CONFORM TO THE REQUIREMENTS OF MAG SPECIFICATION SECTION 795. PROVIDE A WRITTEN DESCRIPTION OF CERTIFICATION OF ORIGINAL ORIGIN OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE.
4. PLANT TABLETS TO BE AGRIFORM 21 GRAM, 20-10-5 FERTILIZER TABLETS.
5. CONTRACTORS RESPONSIBILITY TO FIELD ESTIMATED DECOMPOSED GRANITE QUANTITIES. INDICATE THE UNIT PRICE ONLY AT THE TIME OF BIDDING.
6. ALL PLANTS MUST BE INSPECTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
7. PLANT QUANTITIES ON THE PLANT LIST ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR, PLANS TAKE PRECEDENCE.
8. LANDSCAPE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES FOR PROTECTION PRIOR TO CONSTRUCTION. CONTACT BLUE STAKE AT 602-269-1100 OR 1-800-782-5348.
9. PRIOR TO BIDDING, THE LANDSCAPE SUPERINTENDENT SHALL WALK THE SITE TO DETERMINE THE FULL EXTENT OF DEMOLITION WORK REQUIRED.
10. THE LANDSCAPE CONTRACTOR SHALL WARRANTY THE WORK FOR A PERIOD OF ONE YEAR.
11. CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
12. BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
13. THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND THE CITY OF MESA SHALL APPROVE ANY AND ALL SUBSTITUTIONS.
14. THE LANDSCAPE ARCHITECT AND /OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO INSTALLATION.
15. UNLESS OTHERWISE NOTED ON PLANS, DECOMPOSED GRANITE SHALL EXTEND UNDER SHRUBS AND BE RAKED UNIFORMLY ALONG WALLS, SIDEWALKS, AND CURBS.
16. SEE ENGINEERING OR ARCHITECTURAL DRAWINGS FOR DRAINAGE FLOWS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED AND ARE NOT IMPAIRED WITH OBSTRUCTIONS.
17. DOUBLE STAKE ALL TREES OUTSIDE ROOTBALL.
18. LANDSCAPE CONTRACTOR TO PROVIDE BARRICADES ALONG PUBLIC STREETS IF REQUIRED DURING INSTALLATION.
19. LANDSCAPE CONTRACTOR SHALL INSPECT WITH OWNER'S REPRESENTATIVE ALL SIDEWALK AND CURB DEFECTS PRIOR TO BEGINNING WORK. ALL HARDSCAPE TO BE RE-INSPECTED DURING FINAL WALK THRU. ANY DAMAGED AREAS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
20. PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY.
21. LANDSCAPE CONTRACTOR TO CONTACT ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE EACH APPLICATION OF PRE-EMERGENT FOR VERIFICATION. MINIMUM 2 APPLICATIONS REQUIRED.
22. LANDSCAPE PLANS MUST CONFORM TO CIVIL DRAWINGS.
23. LANDSCAPE MAINTENANCE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF THE HOME OWNER'S ASSOCIATION.

IRRIGATION SCHEDULE

SYMBOL	SPECIFICATION
	EXISTING 1 1/2" BACKFLOW PREVENTER. CONTRACTOR TO LOCATE IN FIELD.
	1" MAINLINE: SCH. 40 PVC.
	PVC LATERAL (TREES) - SCH. 40 PVC MIN. SEE EMITTER SCHEDULE FOR TREE/EMITTER APPLICATION
	PVC LATERAL (SHRUBS, VINES GROUNDCOVERS) - SCH. 40 SEE EMITTER SCHEDULE FOR EMITTER APPLICATION
	HAMMOND 867 BRASS GATE VALVE- SAME SIZE AS MAINLINE.
	IRRITROL DRIP ZONE VALVE KIT (700DK-075-LF)
	FLUSH VALVE ASSEMBLY.
	SCHEDULE SCH 40 PVC SLEEVE. SEE SCHEDULE. INSTALL 1/2" SCHEDULE SCH. 40 PVC SLEEVE FOR CONTROL WIRE WHERE NECESSARY
	CONTROLLER AND STATION. FLOW - GALLONS PER MINUTE (SEE PIPE SIZING SCH.) VALVE SIZE VALVE I.D. - SD=SHRUB DRIP, TD=TREE DRIP
IRRIGATION PLANS ARE DRAWN DIAGRAMMATICALLY FOR CLARITY	
*CONTRACTOR TO FIELD VERIFY CONTROLLER LOCATION AND MAKE CONNECTION *	

PLANT LEGEND

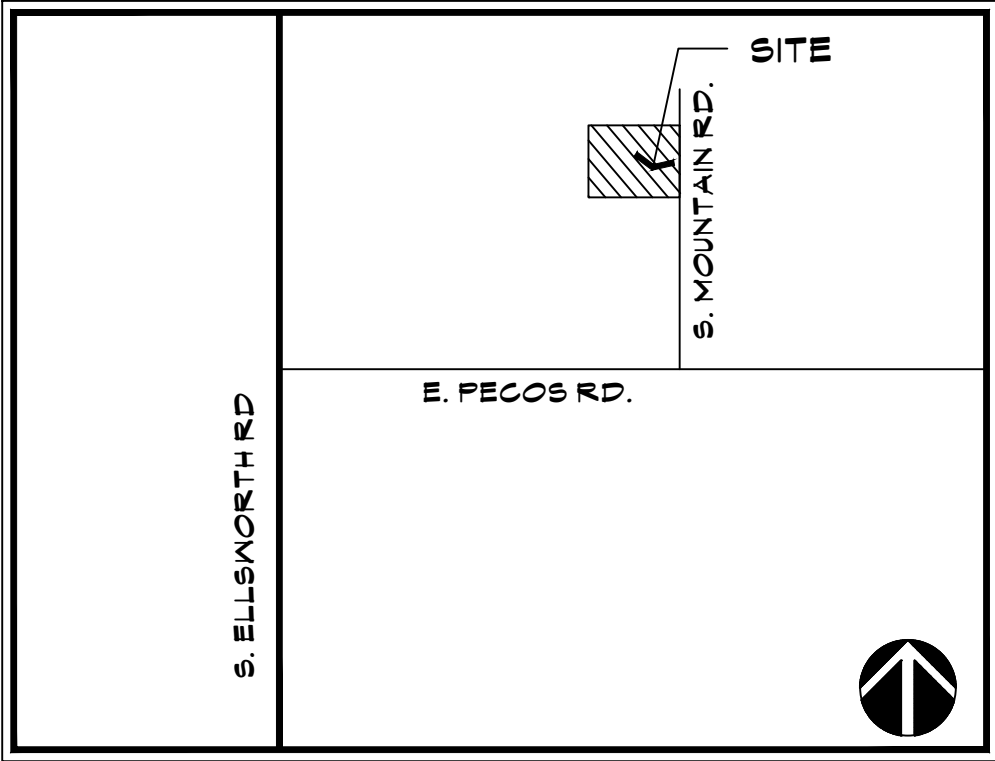
SYMBOL	BOTANICAL NAME - COMMON NAME	QTY.	SIZE	COMMENTS
SHRUBS				
	ENCELIA FARINOSA - BRITTLE BUSH	5	5 GAL.	CAN FULL
	LARREA TRIDENTATA - CREOSOTE	5	5 GAL.	CAN FULL
GROUND COVERS				
	BAILEYA MULTIRADIATA - DESERT MARIGOLD	7	5 GAL.	CAN FULL
EXISTING PLANT MATERIAL				
	SALVAGE TREE (FOR SPECIFICATIONS SEE INVENTORY PLANS)			
	TREE TO REMAIN (FOR SPECIFICATIONS SEE INVENTORY PLANS)			
	DECOMPOSED GRANITE - 3/4" PIONEER GOLD AT 2" DEPTH MIN. GRANITE TO MATCH EXISTING GRANITE ON SITE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALL.			

IRRIGATION NOTES (NOT APPROVED)

1. ALL IRRIGATION TO UTILIZE AN AUTOMATIC CLOCK AS SPECIFIED. LOCATE POWER SOURCE IN THE FIELD.
2. USE COMMON TRENCHES WHERE POSSIBLE.
3. USE PEN-TITES AND SEALER FOR ALL LOW VOLTAGE WIRING WITH ELECTRICAL VALVES.
4. ALL MAINLINE TO BE BURIED A MINIMUM OF 18" BELOW FINISH GRADE. ALL LATERALS TO BE BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
5. INSTALL ELECTRIC VALVES IN PLASTIC VALVE BOXES FLUSH WITH GRADE. VALVE BOX LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.
6. VACUUM BREAKER TO BE ASSEMBLED WITH ALL HARD COPPER PIPE AND FITTINGS. A UNION SHALL BE INSTALLED ON BOTH INLET AND OUTLET SIDES OF PIPE ABOVE GRADE.
7. MAINTAIN IRRIGATION AS-BUILTS AND TURN OVER TO OWNER PRIOR TO INSTALLATION ACCEPTANCE.
8. ALL IRRIGATION EQUIPMENT TO BE LOCATED IN LANDSCAPE AREAS- ALL LINES AND EQUIPMENT ARE SCHEMATIC.
9. IRRIGATION AND ELECTRICAL SLEEVES TO BE SCHEDULE 40 PVC. ALL SLEEVES TO EXTEND AT LEAST 1" BEYOND CONCRETE STRUCTURES. ALLOW 4-6" FROM END OF SLEEVES TO FIRST FITTING ON IRRIGATION LINE. ALL SLEEVES TO BE 24" BELOW GRADE AND/OR AS PER OWNER'S SPECIFICATIONS.
10. LANDSCAPE CONTRACTOR RESPONSIBLE FOR ALL LANDSCAPE SLEEVING. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. VERIFY ANY EXISTING SLEEVES INSTALLED BY OTHER CONTRACTORS.
11. LOCATE EMITTERS ON UPHILL SIDE OF PLANTS ON SLOPED PLANTING AREA.
12. ALL PEA GRAVEL IN VALVE BOXES TO BE CLEANED FROM TOP OF VALVE SO THAT VALVE IS COMPLETELY VISIBLE. LIP OF VALVE BOX IS ALSO TO BE FREE OF DEBRIS.
13. ALL MATERIAL USED SHALL BE INSTALLED AS PER PLAN AND AS PER MANUFACTURERS SPECIFICATIONS. ALL DEVIATIONS FROM DRAWINGS OR MATERIALS USED SHALL BE APPROVED BY OWNER'S REPRESENTATIVE AND OR LANDSCAPE ARCHITECT.
14. LOCATE PRESSURE REGULATOR AND "Y" STRAINER IN A VALVE BOX AS REQUIRED- REMOTE CONTROL VALVES TO BE LOCATED ON A SEPARATE,

- ADJACENT, VALVE BOX OR A JUMBO VALVE BOX MAY BE USED IN LIEU OF TWO SEPARATE BOXES. ALL BOXES TO BE LOCATED IN PLANTING AREAS AND INSTALLED FLUSH W/ GRADE.
15. ALL DRIP SYSTEMS TO BE FLUSHED THROUGH FLUSH CAPS. FLUSH CAPS TO BE LOCATED IN 10" ROUND ECONOMY BOXES.
16. ALL PLANTS REQUIRING MORE THAN ONE DRIP EMITTER SHALL HAVE EMITTERS DISTRIBUTED EVENLY AROUND THE EDGE OF THE ROOT-BALL.
17. PRIOR TO OWNER'S APPROVAL, AN IRRIGATION "TUNE-UP" MUST BE PERFORMED AS FOLLOWS:
- A. ALL IRRIGATION EQUIPMENT (INCLUDING ALL PIPELINES AND SLEEVES) TO BE DOCUMENTED FROM TWO STATIONARY POINTS.
- B. ALL DRIP SYSTEMS TO BE FLUSHED BEGINNING WITH "Y" STRAINER, AND WORKING AWAY FROM PRESSURE REGULATOR.
- C. IRRIGATION VALVES TO BE LABELED ON A SHEET OF PAPER WITH STATIONS CORRESPONDING TO MARKED LABELS ON TOP OF VALVE BOXES. THIS SHEET TO BE PLACED IN A PLASTIC POUCH AND ATTACHED TO THE INSIDE OF CONTROLLER.
- D. ALL IRRIGATION SPRAY HEADS TO BE FLUSHED OF DEBRIS AND FLOW CONTROLS ADJUSTED TO ACHIEVE 100% COVERAGE. AVOID SPRAY ONTO ALL WALKS, CURBS, WALLS EXISTING STRUCTURES, AND ANY OTHER HARD-SCAPE AREAS.
- E. ALL IRRIGATION HEADS TO BE ADJUSTED TO PROPER HEIGHT.
18. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING MATERIALS AND LABOR TO PROVIDE SPECIFIED ELECTRICAL SERVICE TO ALL CONTROLLER LOCATIONS. ALL ELECTRICAL WORK TO BE PER MANUFACTURER'S SPECIFICATIONS AND PER LOCAL CODE.
19. CONTRACTOR TO CAP OFF ALL IRRIGATION @ PHASING LIMITS AS REQUIRED.
20. CONTROLLER WIRE SHALL BE A DIFFERENT COLOR FOR TREE LINES & SHRUB LINES. AT LEAST ONE EXTRA CONTROL WIRE TO BE RUN TO THE FARTHEST VALVE LOCATION OF THE SYSTEM.
21. IRRIGATION LINES SHALL RUN PARALLEL TO THE HIGH SIDE OF SLOPES.
22. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING AND INSTALLING ALL SLEEVING NECESSARY TO RUN IRRIGATION LINES & CONTROL WIRE UNDER ANY REQUIRED HARD-SCAPE AREAS, WALLS, ETC.
23. AN 18 GAUGE TRACER WIRE OF A DIFFERENT COLOR THAN THE CONTROL WIRES SHALL BE INSTALLED WITH ANY MAINLINE 2" OR LARGER.

VICINITY MAP



SHEET INDEX:

LANDSCAPE COVER	LO.1
LANDSCAPE PLAN	L.1.1
IRRIGATION PLAN	L2.1
LANDSCAPE & IRRIGATION DETAILS	L3.1
INVENTORY SHEET	INV 1
INVENTORY SHEET	INV 2

ARCHITECT

ASSOCIATED ARCHITECTS
6 EAST PALO VERDE ST. SUITE 1
GILBERT, AZ 85296
CONTACT: JARED MALONE
PH: 480-964-8451
EMAIL: JARED@ASSOCIATED-ARCHITECTS.COM

LANDSCAPE ARCHITECT

THE MCGOUGH GROUP
11110 N. TATUM BLVD. STE. 100
PHOENIX, AZ 85028
CONTACT: ALEXANDER TAFT
PH: 602-997-9098
EMAIL: ALEXT@MG-AZ.COM

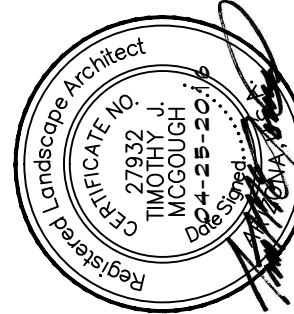


The McGough Group

Landscape Architecture
Urban Design - Site Imaging
Parks and Recreation

11110 N Tatum Blvd.
Suite 100
Phoenix, Arizona
85028

602-997-9093
602-997-9031 fax
E-Mail: Timm@mg-az.com



Expires: 6-30-2016

LANDSCAPE COVER
FUJI FILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD
MESA, ARIZONA

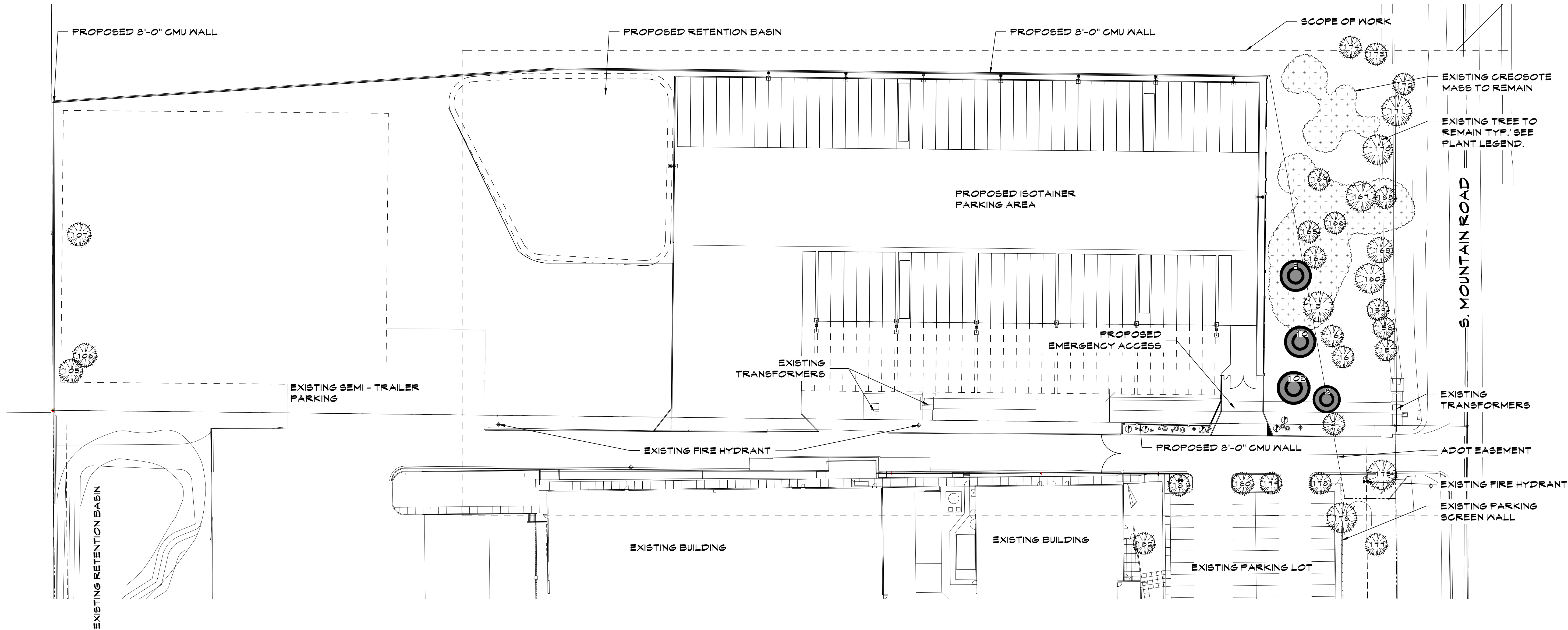
These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS:

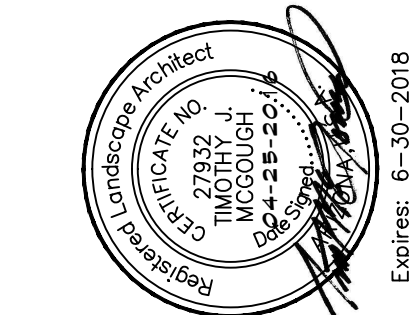
SHEET NO. L O.1



PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME
SHRUBS	
	ENCELIA FARINOSA - BRITTLE BUSH
	LARREA TRIDENTATA - CREOSOTE
GROUND COVERS	
	BAILEYA MULTIRADIATA - DESERT MARIGOLD
EXISTING PLANT MATERIAL	
	SALVAGE TREE (FOR SPECIFICATIONS SEE INVENTORY PLANS)
	TREE TO REMAIN (FOR SPECIFICATIONS SEE INVENTORY PLANS)
	DECOMPOSED GRANITE - 3/4" PIONEER GOLD AT 2" DEPTH MIN. GRANITE TO MATCH EXISTING GRANITE ON SITE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALL.

SCALE: 1"=40'-0"



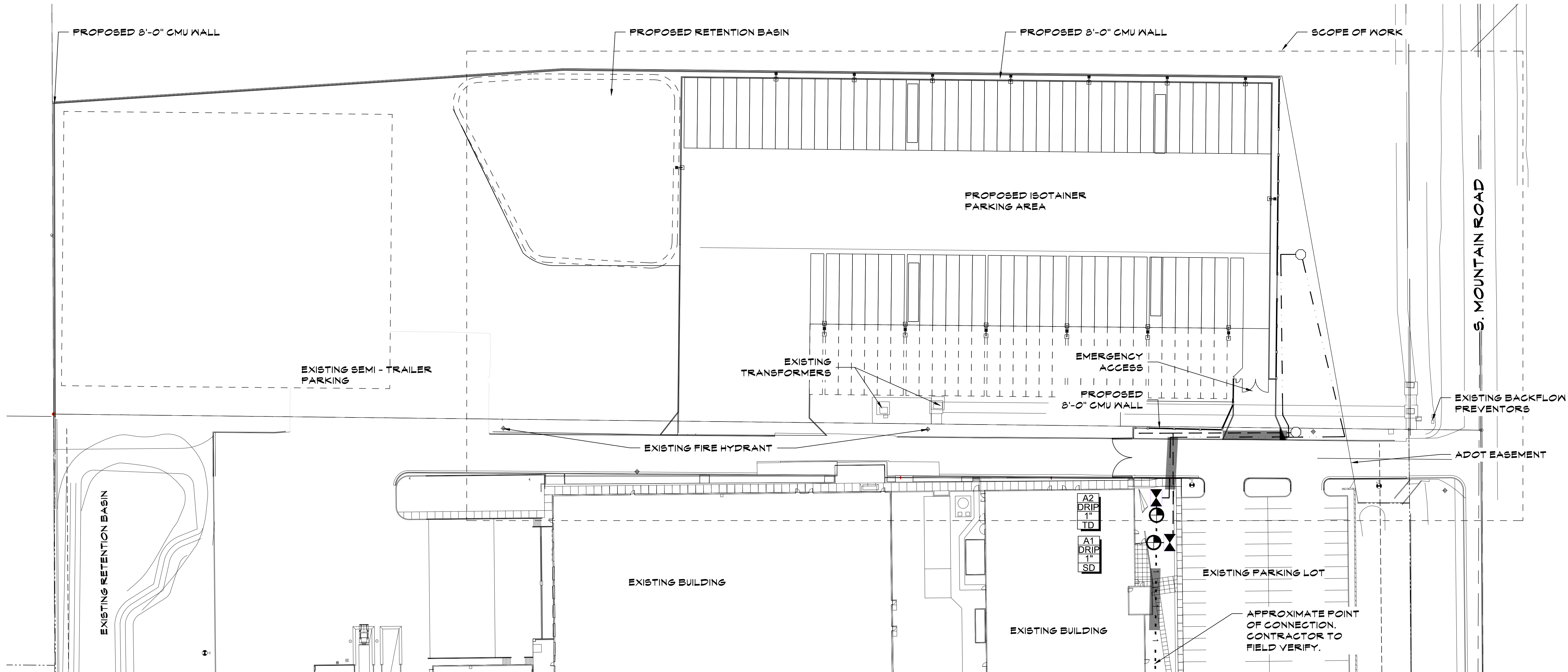
LANDSCAPE PLAN **FUJI FILM ELECTRONIC MATERIALS** 6550 S. MOUNTAIN RD MESA, ARIZONA

These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.
 These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
 DATE: 04-25-16
 DRAWN BY: AT
 CHECKED BY: TM

REVISIONS:

SHEET NO.
 L 1.1



IRRIGATION SCHEDULE

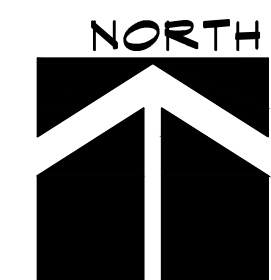
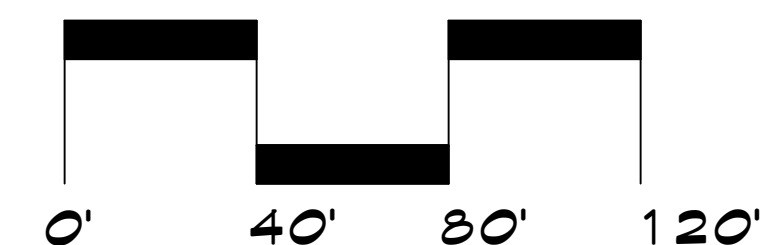
SYMBOL	SPECIFICATION
	EXISTING 1 1/2" BACKFLOW PREVENTER. CONTRACTOR TO LOCATE IN FIELD.
	1" MAINLINE: SCH. 40 PVC.
	PVC LATERAL (TREES) - SCH. 40 PVC MIN. SEE EMITTER SCHEDULE FOR TREE/EMITTER APPLICATION
	PVC LATERAL (SHRUBS, VINES, GROUNDCOVERS) - SCH. 40 SEE EMITTER SCHEDULE FOR EMITTER APPLICATION
	HAMMOND 667 BRASS GATE VALVE- SAME SIZE AS MAINLINE.
	IRRITROL DRIP ZONE VALVE KIT (T00DK-075-LF)
	FLUSH VALVE ASSEMBLY.
	SCHEDULE SCH 40 PVC SLEEVE. SEE SCHEDULE. INSTALL 1 1/2" SCHEDULE SCH. 40 PVC SLEEVE FOR CONTROL WIRE WHERE NECESSARY
	CONTROLLER AND STATION. FLOW - GALLONS PER MINUTE (SEE PIPE SIZING SCH.) VALVE SIZE VALVE I.D. - SD=SHRUB DRIP, TD=TREE DRIP

IRRIGATION PLANS ARE DRAWN DIAGRAMMATICALLY FOR CLARITY
 *CONTRACTOR TO FIELD VERIFY CONTROLLER LOCATION AND MAKE CONNECTION *

NOTES:

1. CONTRACTOR TO FIELD VERIFY WIRE RUNS FOR CONNECTION OF PROPOSED LANDSCAPE TO EXISTING CONTROLLER

SCALE: 1"=40'-0"

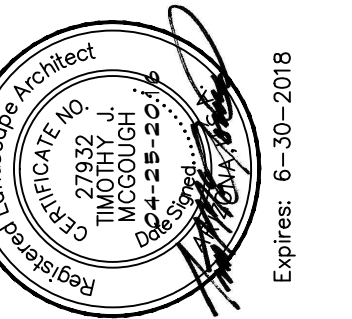


The McGough Group

Landscape Architecture
 Urban Design - Site Imaging
 Parks and Recreation

11110 N Tatum Blvd.
 Suite 100
 Phoenix, Arizona
 85028

602-997-9093
 602-997-9031 fax
 E-Mail: Timm@mg-az.com



IRRIGATION PLAN
FUJI FILM ELECTRONIC MATERIALS

6550 S. MOUNTAIN RD
 MESA, ARIZONA

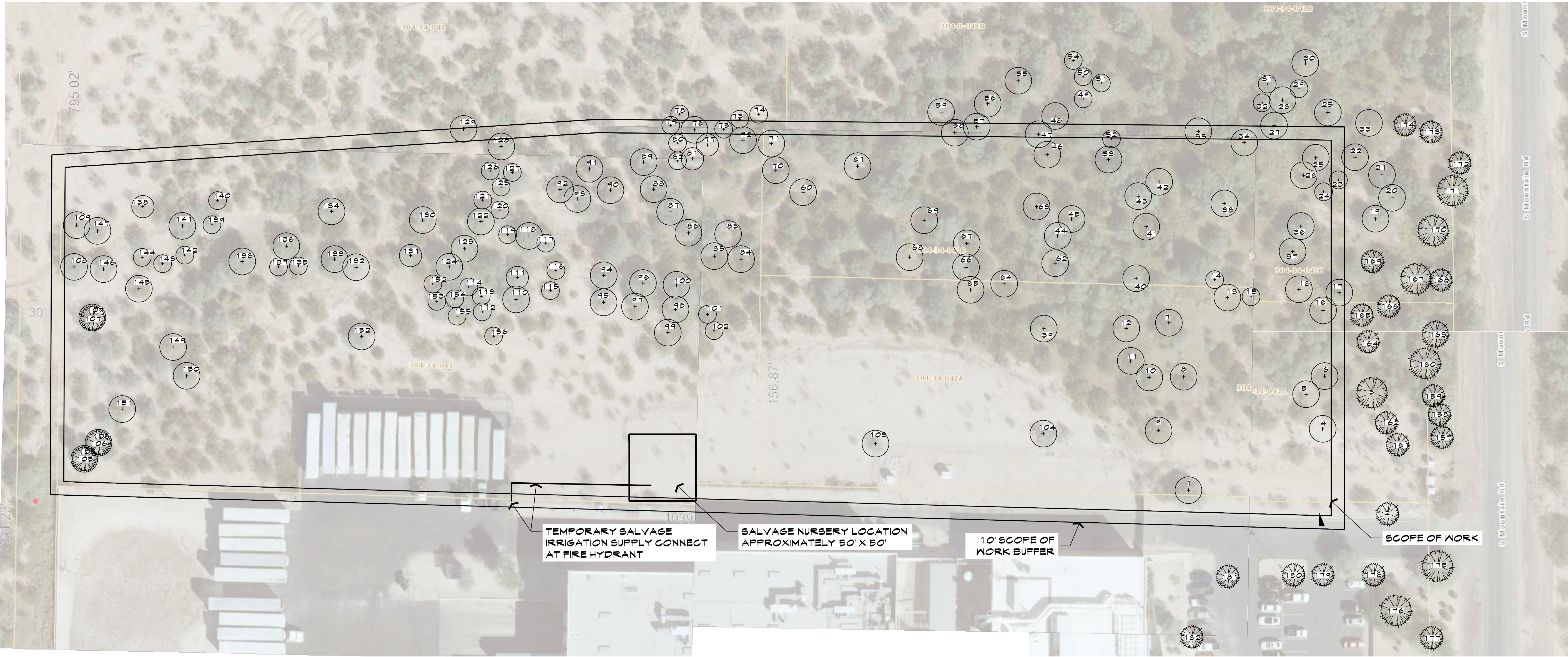
These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
 DATE: 04-25-16
 DRAWN BY: AT
 CHECKED BY: TM

REVISIONS:

SHEET NO.
 L 2.1



Native Plant Inventory					Inventory Destination			Intended Designation	
Project Name:		Fuji Film - Mesa			S = Salvageable			R or P = Remain/Protect in Place	
Address:		6550 S. Mountain Rd.			NS = Non-Salvageable			S = Salvage	
Prepared for:								D = Destroy	
Tag #	Species	Common Name	Height (ft)	Width (ft)	Caliper (in)	Inv. Dest.	Int. Dest.	Comments	
1	Prosopis spp.	Mesquite	15	13	10	NS	D	Poor form	
2	Prosopis spp.	Mesquite	10	10	6	NS	R	low break	
3	Prosopis spp.	Mesquite	11	9	9	NS	R	low break	
4	Prosopis spp.	Mesquite	10	7	6	NS	D	Poor form	
5	Prosopis spp.	Mesquite	10	8	9	NS	D	low break	
6	Prosopis spp.	Mesquite	12	15	27	NS	D	poor form, lateral roots	
7	Prosopis spp.	Mesquite	18	16	22	NS	D	low break, poor form	
8	Prosopis spp.	Mesquite	12	10	6	S	S		
9	Parkinsonia microphyllum	Palo Verde	8	6	5	S	S		
10	Prosopis spp.	Mesquite	9	6	4	S	S		
11	Prosopis spp.	Mesquite	16	18	20	NS	D	poor form, lateral roots	
12	Prosopis spp.	Mesquite	18	8	7	NS	D	low break, poor form	
13	Prosopis spp.	Mesquite	20	14	14	NS	D	lateral roots, low break, proximity to tree	
14	Prosopis spp.	Mesquite	20	11	13	NS	D	low break, poor form	
15	Prosopis spp.	Mesquite	18	12	15	NS	D	poor form, proximity to tree	
16	Prosopis spp.	Mesquite	15	10	7	NS	D	low break, poor form	
17	Prosopis spp.	Mesquite	12	9	12	NS	D	low break, poor form	
18	Prosopis spp.	Mesquite	12	8	8	NS	D	low break, poor form	
19	Prosopis spp.	Mesquite	14	6	8	NS	D	low break, poor form	
20	Prosopis spp.	Mesquite	18	16	15	NS	D	low break	
21	Prosopis spp.	Mesquite	16	14	13	NS	D	low break, poor form	
22	Prosopis spp.	Mesquite	20	17	18	NS	D	insect damage	
23	Prosopis spp.	Mesquite	12	14	15	NS	D	low break, poor form	
24	Prosopis spp.	Mesquite	18	16	16	NS	D	low break, poor form	
25	Prosopis spp.	Mesquite	20	15	14	NS	D	poor health, poor form	
26	Prosopis spp.	Mesquite	18	14	14	NS	D	low break, poor form	
27	Prosopis spp.	Mesquite	12	6	8	NS	D	low break, poor form	
28	Prosopis spp.	Mesquite	19	13	21	NS	D	low break, poor form	
29	Prosopis spp.	Mesquite	17	14	11	NS	D	low break, poor form	
30	Prosopis spp.	Mesquite	12	10	9	NS	D	low break, poor form	
31	Prosopis spp.	Mesquite	18	8	14	NS	D	low break, poor form	
32	Prosopis spp.	Mesquite	16	18	15	NS	D	low break, poor form	
33	Prosopis spp.	Mesquite	20	15	16	NS	D	low break, poor form	
34	Prosopis spp.	Mesquite	20	18	22	NS	D	low break, poor form	
35	Prosopis spp.	Mesquite	16	15	12	NS	D	low break, poor form	
36	Prosopis spp.	Mesquite	14	10	6	NS	D	low break, poor form	
37	Prosopis spp.	Mesquite	12	7	6	S	S		
38	Prosopis spp.	Mesquite	13	8	10	NS	D	low break, poor form	
39	Parkinsonia floridum	Blue Palo Verde	6	6	4	NS	D	poor form, poor health	
40	Prosopis spp.	Mesquite	20	21	16	NS	D	lateral roots, poor form	

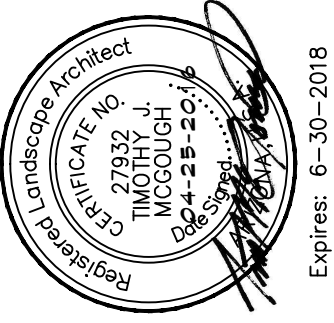
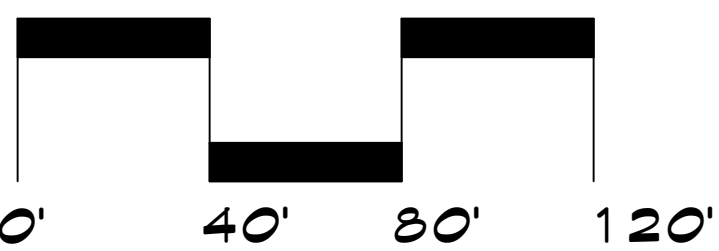
41	Prosopis spp.	Mesquite	20	22	18	NS	D	lateral roots, poor form	
42	Prosopis spp.	Mesquite	14	16	11	NS	D	leaning, poor form	
43	Prosopis spp.	Mesquite	12	20	16	NS	D	low break, poor form	
44	Prosopis spp.	Mesquite	12	7	7	NS	D	low break, poor form	
45	Prosopis spp.	Mesquite	12	14	11	NS	D	low break, poor form	
46	Prosopis spp.	Mesquite	13	12	8	NS	D	low break, poor form	
47	Prosopis spp.	Mesquite	14	15	10	NS	D	low break, poor form	
48	Prosopis spp.	Mesquite	13	11	11	NS	D	low break, poor form	
49	Prosopis spp.	Mesquite	14	10	9	NS	D	poor form, poor health	
50	Prosopis spp.	Mesquite	10	8	8	NS	D	poor form, insect damage	
51	Prosopis spp.	Mesquite	16	14	10	NS	D	low break, lateral roots	
52	Prosopis spp.	Mesquite	14	16	12	NS	D	low break, poor health	
53	Prosopis spp.	Mesquite	14	10	13	NS	D	low break, poor form	
54	Prosopis spp.	Mesquite	16	12	11	NS	R		
55	Prosopis spp.	Mesquite	10	13	10	NS	D	low break, poor form	
56	Prosopis spp.	Mesquite	18	22	14	NS	D	low break, poor health	
57	Prosopis spp.	Mesquite	18	12	10	NS	D	low break, poor form	
58	Prosopis spp.	Mesquite	18	14	12	NS	D	low break, leaning	
59	Prosopis spp.	Mesquite	16	13	16	NS	D	low break, poor form	
60	Prosopis spp.	Mesquite	15	14	18	NS	D	insect damage	
61	Prosopis spp.	Mesquite	16	12	9	NS	D	poor health, poor form	
62	Prosopis spp.	Mesquite	18	22	16	NS	D	poor form, insect damage	
63	Prosopis spp.	Mesquite	16	20	18	NS	D	poor form, insect damage	
64	Prosopis spp.	Mesquite	13	10	6	NS	D	poor form, insect damage	
65	Prosopis spp.	Mesquite	14	6	6	NS	D	poor form, insect damage	
66	Prosopis spp.	Mesquite	16	10	8	NS	D	leaning	
67	Prosopis spp.	Mesquite	16	18	12	NS	D	poor form, insect damage	
68	Prosopis spp.	Mesquite	12	14	14	NS	D	low break, insect damage	
69	Prosopis spp.	Mesquite	18	16	16	NS	D	poor form, insect damage	
70	Prosopis spp.	Mesquite	16	15	12	NS	D	poor form, insect damage	
71	Prosopis spp.	Mesquite	14	14	10	NS	D	insect damage	
72	Prosopis spp.	Mesquite	14	10	8	NS	D	insect damage	
73	Prosopis spp.	Mesquite	13	10	10	NS	D	insect damage	
74	Prosopis spp.	Mesquite	14	18	18	NS	D	low break, insect damage	
75	Prosopis spp.	Mesquite	11	10	12	NS	D	low break, insect damage	
76	Prosopis spp.	Mesquite	18	20	16	NS	D	low break, poor form	
77	Prosopis spp.	Mesquite	12	10	9	NS	D	low break, poor form	
78	Prosopis spp.	Mesquite	18	14	20	NS	D	low break, insect damage	
79	Prosopis spp.	Mesquite	14	10	14	NS	D	low break, insect damage	
80	Prosopis spp.	Mesquite	14	6	10	NS	D	low break, poor form	

NOTES:

1. TREES ON INVENTORY UNAFFECTED BY CONSTRUCTION OPERATIONS MAY REMAIN PROTECTED IN PLACE, SEE INVENTORY MATRIX FOR DESIGNATION OF PLANT MATERIAL

EXISTING PLANT MATERIAL	
	EXISTING TREE (FOR SPECIFICATIONS SEE MATRIX)
	TREE TO REMAIN (FOR SPECIFICATIONS SEE MATRIX)

SCALE: 1"=40'-0"



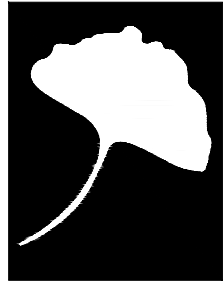
INVENTORY SHEET
FUJIFILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD
MESA, ARIZONA

These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.
These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS:

SHEET NO. INV. 1

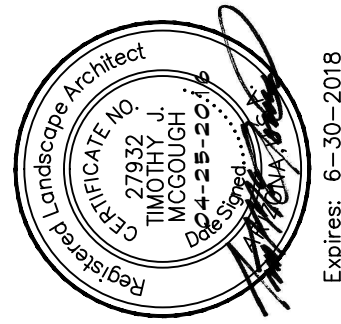


The **McGough
Group**

*Landscape Architecture
Urban Design - Site Imaging
Parks and Recreation*

11110 N Tatum Blvd.
Suite 100
Phoenix, Arizona
85028

602-997-9093
602-997-9031 fax
E-Mail: Timm@mg-az.com



INVENTORY SHEET
FUJI FILM ELECTRONIC MATERIALS
6550 S. MOUNTAIN RD
MESA, ARIZONA

These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 16-20
DATE: 04-25-16
DRAWN BY: AT
CHECKED BY: TM

REVISIONS: _____

SHEET NO.
INV. 2

81	Prosopis spp.	Mesquite	12	8	12	NS	D	low break, poor form
82	Prosopis spp.	Mesquite	16	14	11	NS	D	lateral roots, insect damage
83	Prosopis spp.	Mesquite	14	14	18	NS	D	low break, insect damage
84	Prosopis spp.	Mesquite	18	16	20	NS	D	low break, insect damage
85	Prosopis spp.	Mesquite	18	14	15	NS	D	low break, poor form
86	Prosopis spp.	Mesquite	16	15	10	NS	D	low break, poor form
87	Prosopis spp.	Mesquite	14	16	14	NS	D	poor form, insect damage
88	Prosopis spp.	Mesquite	14	15	20	NS	D	poor form, insect damage
89	Prosopis spp.	Mesquite	14	10	8	NS	D	low break, poor form
90	Prosopis spp.	Mesquite	13	12	13	NS	D	low break, insect damage
91	Prosopis spp.	Mesquite	14	10	10	NS	D	low break, insect damage
92	Prosopis spp.	Mesquite	12	12	14	NS	D	low break, poor form
93	Prosopis spp.	Mesquite	16	14	12	NS	D	low break, poor form
94	Prosopis spp.	Mesquite	16	13	16	NS	D	low break, poor form
95	Prosopis spp.	Mesquite	8	6	8	NS	D	low break, poor form
96	Prosopis spp.	Mesquite	8	10	9	NS	D	leaning, poor form
97	Prosopis spp.	Mesquite	7	6	4	NS	D	poor form, insect damage
98	Prosopis spp.	Mesquite	18	16	18	NS	D	low break, poor form
99	Prosopis spp.	Mesquite	16	14	11	NS	D	poor form, insect damage
100	Prosopis spp.	Mesquite	13	8	10	NS	D	low break, poor form
101	Prosopis spp.	Mesquite	10	8	8	NS	D	low break, poor form
102	Prosopis spp.	Mesquite	18	14	13	NS	D	low break, poor form
103	Parkinsonia flordium	Blue Palo Verde	10	10	7	S	S	
104	Parkinsonia flordium	Blue Palo Verde	10	12	8	S	S	
105	Prosopis spp.	Mesquite	17	14	12	S	R	
106	Prosopis spp.	Mesquite	12	13	13	NS	R	low break, poor form
107	Prosopis spp.	Mesquite	10	14	12	NS	R	low break, poor form
108	Prosopis spp.	Mesquite	16	20	22	NS	D	low break, poor form
109	Prosopis spp.	Mesquite	8	10	19	NS	D	low break, poor form
110	Prosopis spp.	Mesquite	14	11	9	NS	D	low break, poor form
111	Prosopis spp.	Mesquite	14	12	13	NS	D	low break, poor form
112	Prosopis spp.	Mesquite	10	12	11	NS	D	low break, poor form
113	Prosopis spp.	Mesquite	8	8	7	NS	D	low break, poor form
114	Prosopis spp.	Mesquite	12	11	12	NS	D	low break, poor form
115	Prosopis spp.	Mesquite	12	11	12	NS	D	low break, poor form
116	Prosopis spp.	Mesquite	10	12	11	NS	D	low break, poor form
117	Prosopis spp.	Mesquite	10	8	12	NS	D	low break, poor form
118	Prosopis spp.	Mesquite	14	10	14	NS	D	low break, poor form
119	Prosopis spp.	Mesquite	7	8	5	NS	D	low break, poor form
120	Prosopis spp.	Mesquite	14	11	12	NS	D	low break, poor health
121	Prosopis spp.	Mesquite	12	6	10	NS	D	low break, poor health
122	Prosopis spp.	Mesquite	14	14	9	NS	D	low break, poor health
123	Prosopis spp.	Mesquite	15	12	10	NS	D	low break
124	Prosopis spp.	Mesquite	17	15	18	NS	D	low break, poor form
125	Prosopis spp.	Mesquite	10	12	9	NS	D	low break, poor form
126	Prosopis spp.	Mesquite	14	16	12	NS	D	low break, poor form
127	Prosopis spp.	Mesquite	11	13	8	NS	D	low break, poor form
128	Prosopis spp.	Mesquite	10	8	10	NS	D	low break, poor form
129	Prosopis spp.	Mesquite	15	17	15	NS	D	low break, poor form
130	Prosopis spp.	Mesquite	16	20	24	NS	D	low break, poor form
131	Prosopis spp.	Mesquite	10	8	6	NS	D	low break, poor form
132	Prosopis spp.	Mesquite	16	14	14	NS	D	low break, poor form
133	Prosopis spp.	Mesquite	16	18	20	NS	D	low break, poor form
134	Prosopis spp.	Mesquite	14	14	12	NS	D	low break, poor form
135	Prosopis spp.	Mesquite	20	15	14	NS	D	low break, poor form
136	Prosopis spp.	Mesquite	20	16	16	NS	D	low break, poor health
137	Prosopis spp.	Mesquite	20	20	18	NS	D	low break, lateral roots
138	Prosopis spp.	Mesquite	22	20	16	NS	D	low break, lateral roots
139	Prosopis spp.	Mesquite	10	12	12	NS	D	low break, insect damage
140	Prosopis spp.	Mesquite	9	9	8	NS	D	poor health
141	Prosopis spp.	Mesquite	18	16	16	NS	D	low break, poor form
142	Prosopis spp.	Mesquite	12	8	8	NS	D	low break, poor form
143	Prosopis spp.	Mesquite	12	8	11	NS	D	on slope
144	Prosopis spp.	Mesquite	12	7	7	NS	D	low break, poor form
145	Prosopis spp.	Mesquite	10	10	10	NS	D	poor health, leaning
146	Prosopis spp.	Mesquite	8	11	8	NS	D	low break, poor form
147	Prosopis spp.	Mesquite	8	12	16	NS	D	poor form, leaning
148	Prosopis spp.	Mesquite	8	6	10	NS	D	poor health, poor form
149	Prosopis spp.	Mesquite	12	10	14	NS	D	low break, poor form
150	Prosopis spp.	Mesquite	10	10	6	NS	D	low break, poor form
151	Prosopis spp.	Mesquite	10	8	8	NS	D	low break, poor form
152	Prosopis spp.	Mesquite	12	14	10	NS	D	low break, poor form
153	Prosopis spp.	Mesquite	16	12	10	NS	D	low break, poor form
154	Prosopis spp.	Mesquite	15	13	12	NS	D	low break, poor form
155	Prosopis spp.	Mesquite	15	13	10	NS	D	low break, poor health
156	Prosopis spp.	Mesquite	13	10	12	NS	D	low break, poor form
157	Prosopis spp.	Mesquite	15	12	6	NS	R	low break, poor form
158	Prosopis spp.	Mesquite	14	12	6	NS	R	low break, poor form
159	Prosopis spp.	Mesquite	15	9	6	NS	R	low break, poor form
160	Prosopis spp.	Mesquite	16	9	6	NS	R	low break, poor form
161	Prosopis spp.	Mesquite	8	8	4	NS	R	low break, poor form
162	Parkinsonia microphyllum	foothills palo verde	10	8	4	NS	R	low break, poor form
163	Prosopis spp.	Mesquite	18	12	8	NS	R	low break, poor form
164	Prosopis spp.	Mesquite	14	9	5	NS	R	low break, poor form
165	Prosopis spp.	Mesquite	20	18	14	NS	R	poor health
166	Prosopis spp.	Mesquite	20	10	10	NS	R	low break, poor form
167	Prosopis spp.	Mesquite	18	12	8	NS	R	low break, poor form
168	Prosopis spp.	Mesquite	18	13	8	NS	R	poor health
169	Prosopis spp.	Mesquite	12	10	6	NS	R	poor health
170	Prosopis spp.	Mesquite	10	8	12	NS	R	low break, poor form
171	Prosopis spp.	Mesquite	20	14	16	S	R	
172	Prosopis spp.	Mesquite	12	8	8	NS	R	low break, poor form
173	Prosopis spp.	Mesquite	14	12	8	NS	R	low break, poor form
174	Prosopis spp.	Mesquite	18	14	10	NS	R	low break, poor form
175	Prosopis spp.	Mesquite	20	18	10	S	R	
176	Prosopis spp.	thornless mesquite	20	18	10	S	R	
177	Prosopis spp.	thornless mesquite	20	18	10	S	R	
178	Parkinsonia hybrid	Thornless Palo Verde	18	16	12	S	R	
179	Fraxinus spp.	Ash spp.	12	8	3	S	R	
180	Fraxinus spp.	Ash spp.	12	8	3	S	R	
181	Fraxinus spp.	Ash spp.	12	8	3	S	R	
182	Prosopis spp.	thornless mesquite	16	12	10	S	R	

NOTES:

1. TREES ON INVENTORY UNAFFECTED BY CONSTRUCTION OPERATIONS MAY REMAIN PROTECTED IN PLACE, SEE INVENTORY MATRIX FOR DESIGNATION OF PLANT MATERIAL



SR24 RIGHT-OF-WAY

FUJIFILM ISOTAINERS

MOUNTAIN RD.

PECOS RD.

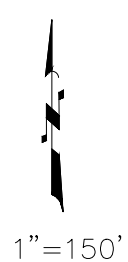
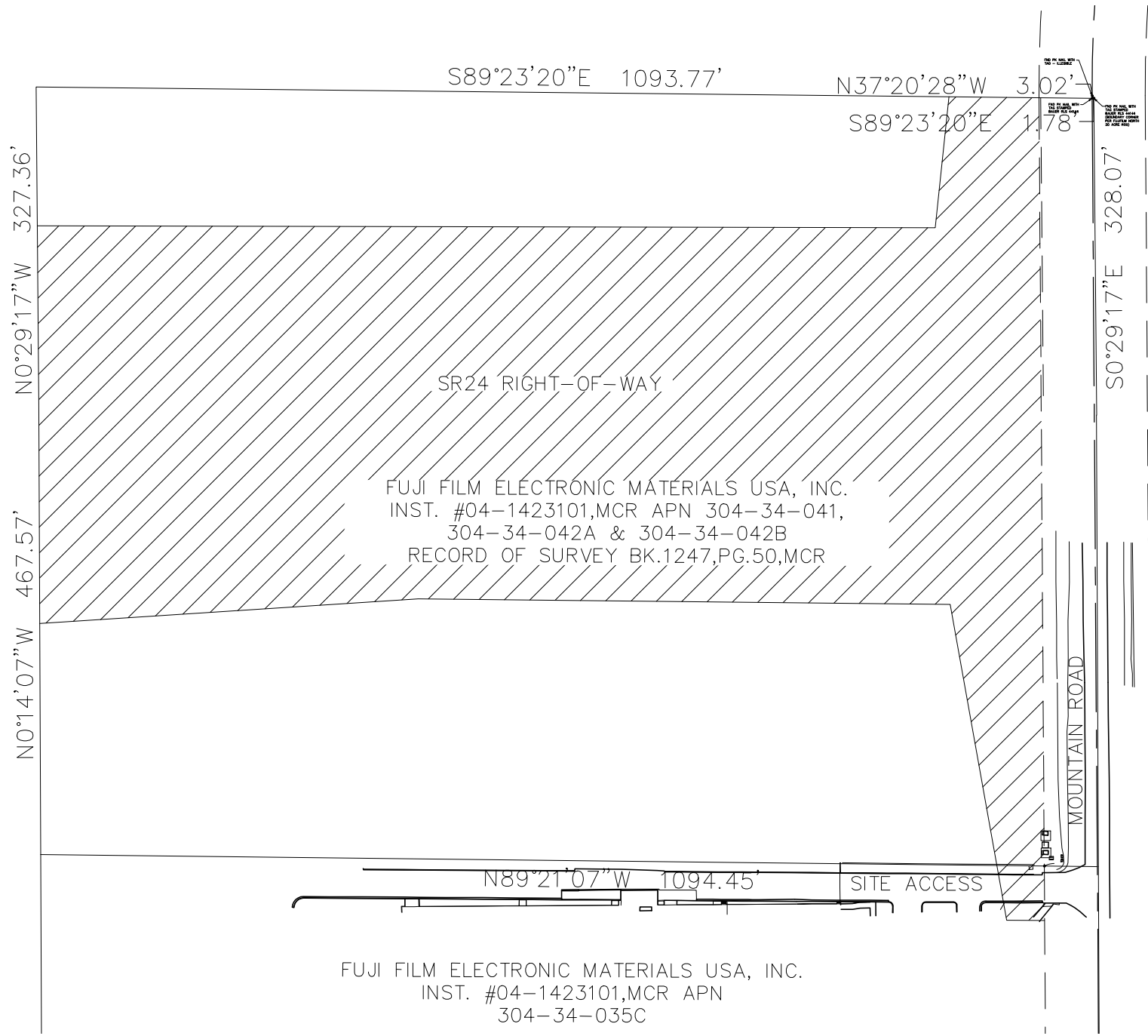
EXHIBIT A

Google earth

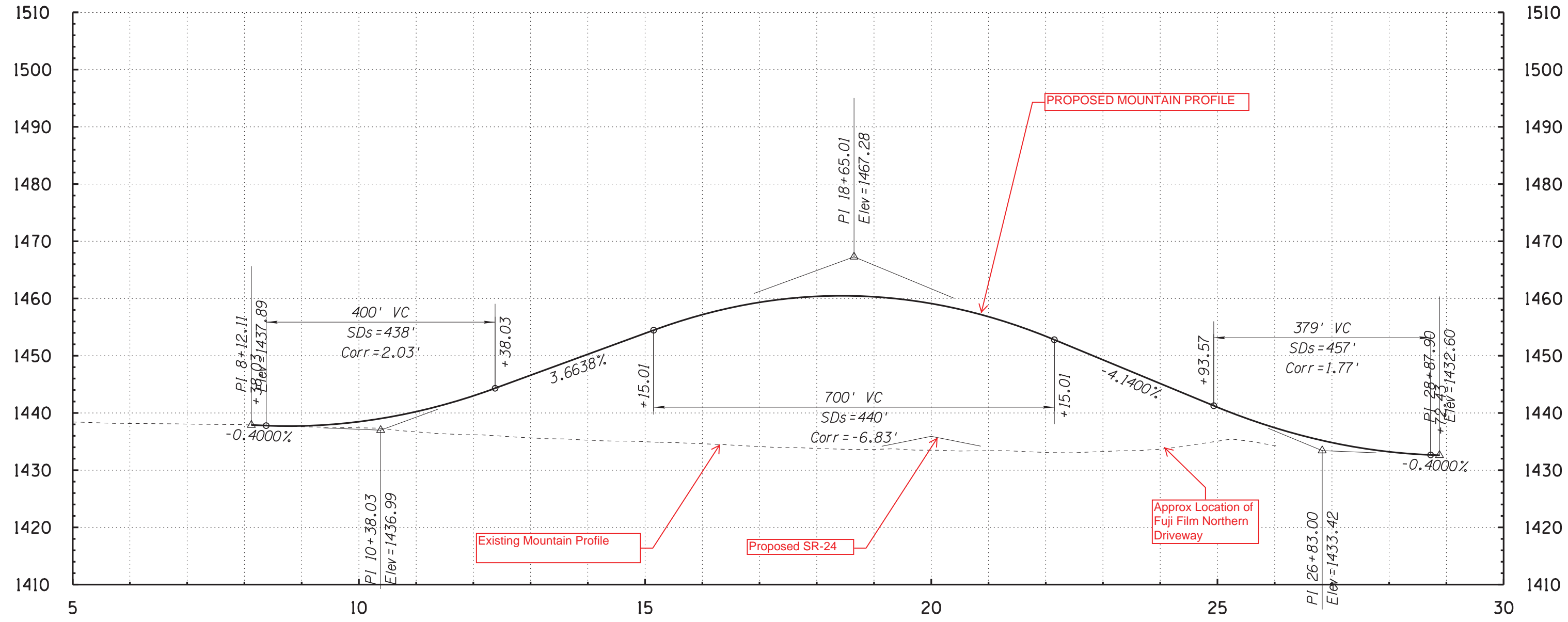
© 2016 Google



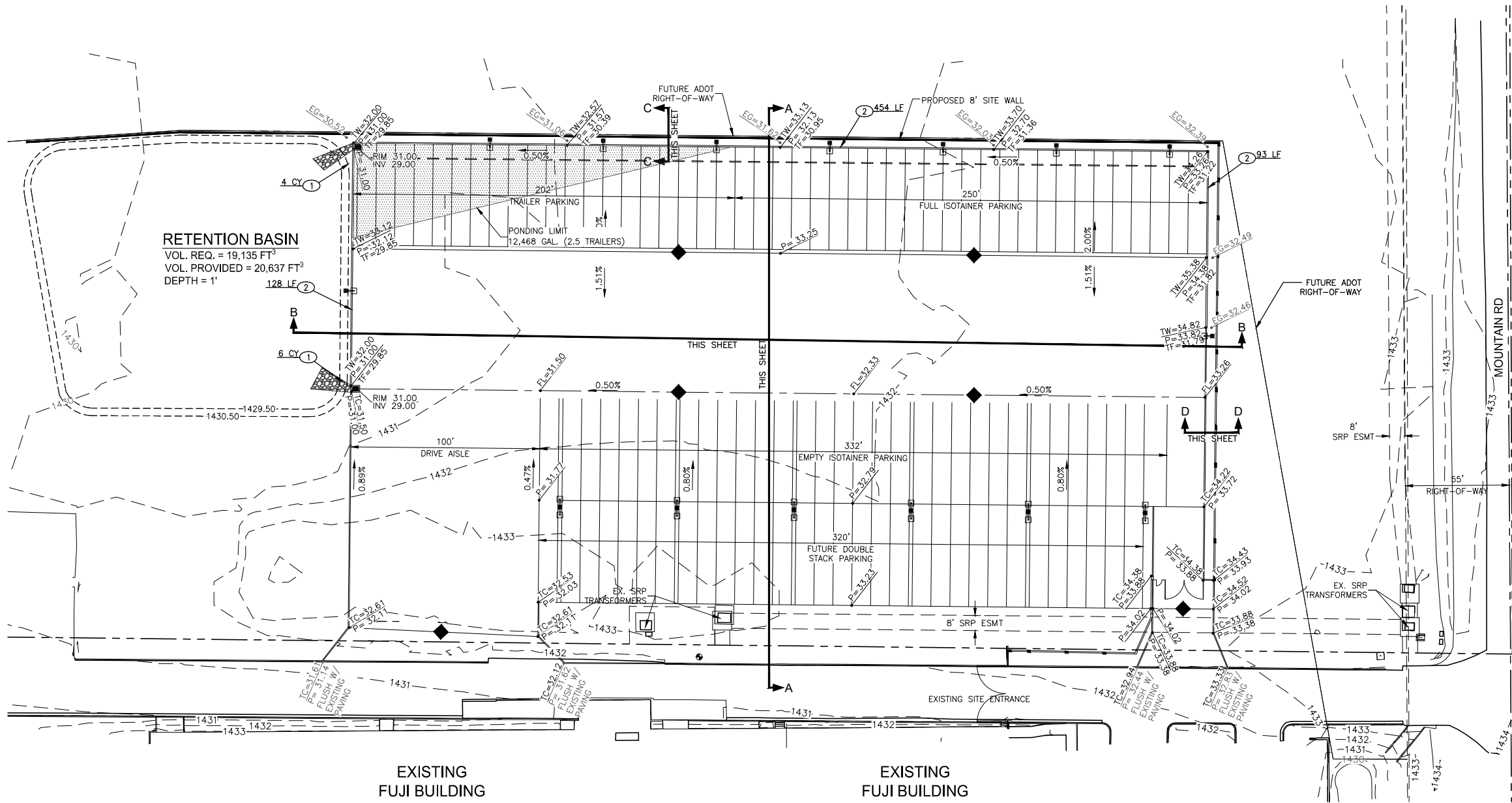
2000 ft



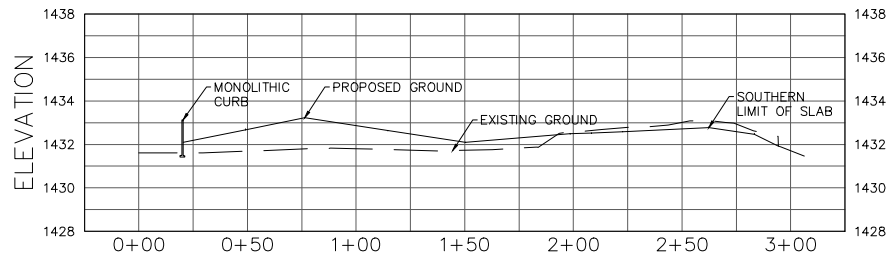
PROPOSED MOUNTAIN PROFILE



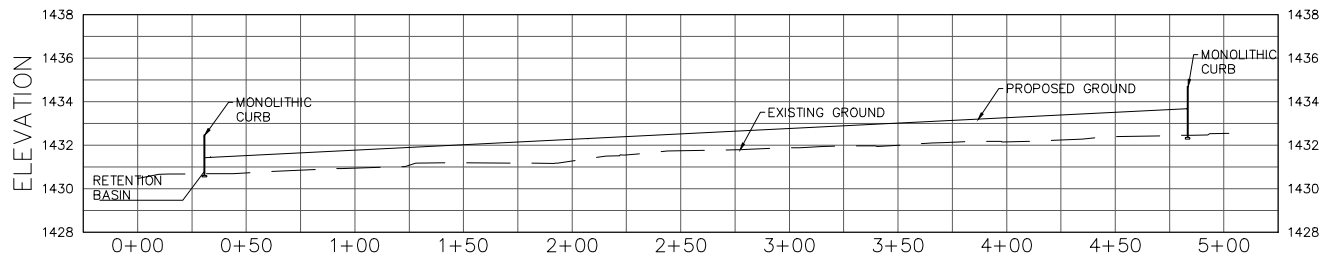
PRELIMINARY



SECTION A-A



SECTION B-B



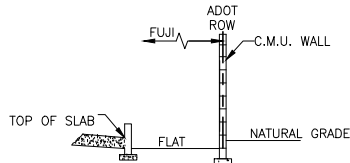
CONSTRUCTION NOTES

- ① GROUTED RIPRAP, D50=6", THICKNESS=1" 10 CY
- ② RET WALL PER STRUCTURAL DWGS AND SPECS, ELEV PER PLAN 675 LF

EARTHWORK

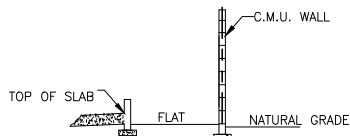
TOTAL CUT = 2284.25 CU YD
TOTAL FILL = 3155.83 CU YD
NET = 871.58 (FILL)

*NUMBERS SHOWN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL PERFORM THEIR OWN, INDEPENDENT EARTHWORK ANALYSIS ON WHICH BIDS SHOULD BE BASED.



SECTION C-C

N.T.S.



SECTION D-D

N.T.S.

Babbitt Nelson Engineering

1140 E. Greenway St, Suite 2
Mesa, Arizona 85203
tel: (480) 610-1341
fax: (480) 962-9034
cel: (480) 497-0003

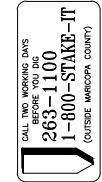


GRADING & DRAINAGE PLAN

FUJIFILM ELECTRONIC MATERIALS

6550 S. MOUNTAIN RD. MESA, AZ 85212

PROJECT:



JOB NO.
16019

16019C3-G.DWG

SHEET NO.

C3

3 OF 3



May 2, 2016

City of Mesa Development Planning/Civil Engineering Plan Review
55 N. Center St.
Mesa, AZ 85201
Ph: (480) 644-3254

Attention: Beth Hughes-Ornelas, Deputy Director

Re: Z16-0 DR16-0, FujiFilm (6550 S. Mountain Rd.)
Request for Consideration - Deferral of In-Lieu Payment

Ms. Hughes-Ornelas,

The purpose of this letter is to request consideration to defer installation of Mountain Road half improvements or In-Lieu payment of the same for the above referenced project. The project consists of constructing parking for Isotainers on a portion of the northern 20 acres of FujiFilm property (Exhibit A).

Preliminary meeting and review by City of Mesa (City) indicates that it is the responsibility of FujiFilm to build out half street improvements for Mountain Road or provide In-Lieu payment for the cost of build out. FujiFilm understands that the City typically requires these improvements to meet City Standards and provide for future development and transportation planning.

It has come to the attention of FujiFilm that ADOT is planning SR24 right-of-way to pass through the FujiFilm property (Exhibit B and Exhibit C). The SR24 plans include raising the profile of Mountain Road to create an overpass crossing of SR24 (Exhibit D). This results in ADOT right-of-way which extends beyond the FujiFilm project frontage and blocks the existing access to the site. The overpass footprint also extends west beyond the 55 foot right-of-way dedicated for Mountain Road.

FujiFilm is planning onsite improvements in a manner that avoids conflict with SR24 right-of-way (Exhibit E) and has begun the process of a parcel split for the purpose of transferring this land to ADOT at the appropriate time. In meetings and conversations ADOT has indicated that the right-of-way is not likely to change. FujiFilm's concern is that Mountain Road improvements or In-Lieu payment will be of no value when ADOT's planned Mountain Road improvements are built.

We look forward to working with the City for the successful completion of this project. Please contact me if you have any questions.

Sincerely,
Babbitt Nelson Engineering

Darren E. Smith, P.E.
Principal

March 10, 2016

Citizen Participation Plan

Project: FujiFilm Isotainer Parking

Case Number: PS16-014 (PLN2016-00128)

Purpose:

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for Fuji Film Electronic Materials. This site is located at 6550 S. Mountain Rd. and is an application for the rezoning of 6 acres from GI AF to Hi AF with a PAD for the parking and storage of Isotainer units. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Brian Johns, RA, AIA
6 East Palo Verde St., Suite 1
Gilbert, AZ 85296
480-964-8451
brian@associated-architects.com

Pre-application Meeting:

The pre-application meeting with City of Mesa planning staff was held on March 7, 2016. Staff reviewed the application and recommended the addition of a PAD for future developments.

Action Plan:

In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be develop for citizens and agencies in this area including:

- All registered neighborhood associations within one mile of the project.
- Homeowners Associations within one half mile of the project.
- Interested neighbors – focused on 1,000 feet from site, but may include more

2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan and invitation to a neighborhood meetings to be held at 6550 S. Mountain Rd. in the Mesa Room Conference.

- The meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.

(All materials such as sign-in lists, comments, and petitions received are copied to the City of Mesa)

Schedule:

Pre-application meeting – March 7, 2016

Application Submittal – March 28, 2016

Letters sent to neighbors – two weeks prior to Neighborhood Meeting

Neighborhood meeting – TBD

Submittal of Citizen Participation Report and Notification Materials – June 2, 2016

Planning and Zoning Board Hearing – June 15, 2016

If you should have any questions or concerns, please do not hesitate to call or email me at 480-964-8451 or brian@associated-architects.com.

Thanks,

Brian Johns, RA, AIA

Principal Architect

associatedarchitects

6 East Palo Verde St., Suite 1

Gilbert, Az. 85296

p. 480.964.8451

m. 480.227.5259

brian@associated-architects.com

www.associated-architects.com

May 26, 2016

Citizen Participation Plan Report

Project: FUJIFILM Isotainer Parking

Case Number: PS16-014 (PLN2016-00128)

The Citizen Participation Plan for the FUJIFILM Isotainer project outlined below and submitted to the City of Mesa was completed and the following is a report of the outcome of that plan.

Action Plan (as submitted to the City of Mesa):

In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be develop for citizens and agencies in this area including:

- All registered neighborhood associations within one mile of the project.
- Homeowners Associations within one half mile of the project.
- Interested neighbors – focused on 1,000 feet from site, but may include more

2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan and invitation to a neighborhood meetings to be held at 6550 S. Mountain Rd. in the Mesa Room Conference.

- The meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.

Report:

A notification letter was sent to all neighbors within a 1000' radius of the proposed development site. The letter contained a brief description of the project and an invitation to a neighborhood meeting that was held on May 26, 2016 (See below for contact list). The Neighborhood meeting was attended by representatives from FUJIFILM as well as Associated Architects, neighbors from 3 of the properties attended to voice concerns and support regarding the project. A sign-in sheet from that meeting and a list of various concerns and responses are included with this report. Two letters were returned from the post office as undeliverable, and will be included with the submitted report.

Contact list 1000' radius:

Owner	ADDRESS	CITY	STATE	ZIP
MGC PURE CHEMICALS AMERICA INC	6560 S. MOUNTAIN RD.	MESA	AZ	85242
TRW VEHICLE SAFETY SYSTEMS INC	11202 E. GERMANN RD. # 24	MESA	AZ	85242
CITY OF MESA	10940 E. PECOS RD.	MESA	AZ	85242
DAWSON/MARTIN L/BARBARA SUSAN	17251 E. SHEA BLVD. # 100	FOUNTAIN HILLS	AZ	85268
SIGNAL BUTTE 10 LLC	2251 N. 32ND ST. UNIT 30	MESA	AZ	85213
EB REZZONICO PROPERTIES LLLP	PO BOX 42838	PHOENIX	AZ	85080
SIGNAL BUTTE 20 LLC	2251 N. 32ND ST. UNIT 30	MESA	AZ	85213
CHROME INC.	2500 S. POWER RD.	MESA	AZ	85209
FEMCON INC.	2618 W. MESQUITE	CHANDLER	AZ	85224
FRYE SIGNAL BUTTE VENTURES LLC	PO BOX 1988	TEMPE	AZ	85280
DASIA HOLDINGS LLC	631 W. COMMERCE AVE.	GILBERT	AZ	85233
DEMURO SUSAN A TRUST	30831 N. 56TH ST.	PHOENIX	AZ	85331
DEMURO EUGENE TR/BALDELLI JOSEPH	100 E. HURON ST. #3504	CHICAGO	IL	60611
DASIA EQUITIES LLC	1884 W. ASPEN AVE.	GILBERT	AZ	85233
ASPIRE PROPERTIES LLC	1043 N. 47TH AVE.	PHOENIX	AZ	85043
BAWOLEK EDWARD J/SUSAN J TR	2200 W. SAGEBRUSH CT.	CHANDLER	AZ	85224
STATE OF ARIZONA	205 S. 17TH AVE.	PHOENIX	AZ	85007
ALLIED WASTE TRANSPORTATION INC	18500 N. ALLIED WAY STE.100	PHOENIX	AZ	85054
STEHLY J/C TR/LERNER FRED/CAROL TR/MESA EHI	3602 PLUMROSA DR.	SAN DIEGO	CA	92106
STEHLY FAMILY TRUST/LERNER FAMILY TRUST/ETAL	3602 PLUMROSA DR.	SAN DIEGO	CA	92106
BRIDGESTONE AMERICAS TIRE OPERATIONS LLC	535 MARRIOTT DR.	NASHVILLE	TN	37214
CACTUS WASTE SYSTEMS LLC	6711 S. MOUNTAIN RD.	MESA	AZ	85212
SIGNAL BUTTE 20 DJB LLC	2251 N. 32ND ST. UNIT 30	MESA	AZ	85213
CRM OF AMERICA HOLDINGS LLC	1301 DOVE ST. STE 940	NEWPORT BEACH	CA	92660

Neighborhood Concerns:

COMMENT:	RESPONSE
<ul style="list-style-type: none"> Where will the Isotainers be filled/emptied? 	Isotainers are filled at the existing facility located south of project area.
<ul style="list-style-type: none"> What is the property zoned currently and how does the change effect the use? 	Property is currently zoned GI, and operation of facility will remain unchanged.
<ul style="list-style-type: none"> How volatile is chemical being stored? What happens in worst case scenario? 	The MSDS sheet was shared with all attendees. Chemical has flash point of above 100 F. Emergency procedure in place and will be developed for worst case scenario.
<ul style="list-style-type: none"> Who is City planner on project and can he be reached? 	Wahid Alam and yes he can be reached. Architect will share any concerns with City.

<ul style="list-style-type: none"> Is FUJIFILM looking to expand in future? 	Dependent on Market
<ul style="list-style-type: none"> What are the next steps in the process? 	Planning and Zoning Board meeting to be held June 15. Attendees were notified that letters will be sent informing them of Hearing.
<ul style="list-style-type: none"> How is chemical contained? 	In case of chemical spill, isotainer parking pad capable on containing at least volume of two containers. Clean up procedures and testing is already in place at existing facility.

Sign-in sheet:

NAME	COMPANY	PHONE	EMAIL
Brian Johns	ASSOCIATED ARCHITECTS	480-964-8451	BRIAN@ASSOCIATED-ARCHITECTS.COM
Brent Hickup	Central Real Estate	480 707-7444	Brent@CentralHomes4Sale.com
Reece Bawden	APH	480 650 1441	REECEBawden@gmail.com
Marlene Fennon	Fennon, Inc.	602-380-8134	marlene_fennon@msn.com
Doug Pejak	"	602-963-1073	doug_fennon@msn.com

Jared Malone	Associated Arch	480-964-8451	jared@assoicated-architetc.com
Thomas Jonutis	FUJIFILM	480-987-7523	thomas_jonutis@fujifilm-ffem.com
Mike Barker	FUJIFILM	480-987-7021	michael_barker@fujifilm-ffem.com

Thanks,

Brian Johns, RA, AIA
Principal Architect
associatedarchitects

6 East Palo Verde St., Suite 1
Gilbert, Az. 85296
p. 480.964.8451
m. 480.227.5259
brian@associated-architects.com
www.associated-architects.com

June 14th, 2016

Mr. Brian Johns, RA, AIA
Associated Architects
6 East Palo Verde Street
Suite 1
Gilbert, AZ 85296

VIA EMAIL: brian@associated-architects.com
CC: Wahid.alam@mesaaz.gov

Subject: Fuji Expansion Neighborhood Meeting

Dear Mr. Johns:

I have been informed by my fellow neighbors that your company is currently representing Fuji Films in a rezoning case of 36 acres from GI (General Industrial) to HI (Heavy Industrial). I want to state for the record that as a representative of adjacent owner(s) we are all very opposed to this zoning request.

We would request a continuance of this case for the following reasons:

1. Lack of Information about what is being rezoned.

I added up the acreage on the Maricopa County Assessor's website and the parcels the City and the applicant have requested to re-zone, namely, Parcels 304-34-041, 042A, and 042B add up to 18.99 acres. The gross project acreage on the Applicants submitted exhibits and at the neighborhood hearing's showed a gross project acreage as over 36 acres. Therefore the Applicant submittal is not accurate and a revised site plan showing what the applicant intends to do with the other 18 acres is necessary before this case can be considered. I fear what the applicant is proposing is 18 acres of Heavy Industrial for the use as mentioned below and then an expansion phase of this same use without having to go back through the public hearing process.

After review of the request and conferring with neighboring property owners, the City of Mesa has a "Duty of Care" mainly due to the fact that the Applicant is asking for a zoning (HI) that, according to the City of Mesa zoning ordinance "...may adversely affect surrounding uses because of the after effects of the manufacturing, assembly, and/or production process."

Under current conditions, Fuji does not have a zoning that “may adversely affect surrounding uses,” at least not in written definition. Because it is known that Fuji is asking for a zoning that could have dire and everlasting impacts on their neighbors, it is only prudent that a proper analysis of the risks and the risks to the surrounding homeowners (up to 5 miles) are completely known. To date we have heard nothing.

2. Density in the Wrong Direction

It has been my historical understanding that the City of Mesa wanted intensity of uses to increase as they went to the south. Fuji’s request is in opposition to that logic. Fuji currently has room for approximately 14 isotainer units near the center of their facility on the west side (by examining an aerial, these 14 isotainers are also well located next to a water storage tank, a pump house, and a lined retention pond). Of course, this is not the 45 isotainer spaces that Fuji is requesting on the north side and abutting the SR 24 right of way and less intense neighboring land uses, but it could be a starting point for Fuji while the appropriate time is taken to make sure we have a solution that is good for both Fuji and the neighborhood. Also, I checked the City of Mesa zoning map. Fuji has GI zoning and the neighbor to your south does have HI zoning. This is consistent with the uses becoming more intense as they progress south. Rezoning the north parcel to HI seems to be inconsistent with the flow of intensity of the City proposed land use pattern.

3. Other Alternatives

It is well known by those in the neighborhood that Fuji has considered adjacent land further to the south of the SR24. This property is located due west of the area where the approximate 14 isotainer units currently sit on Fuji property. This land does not border the SR24. This land would allow Fuji to internalize their storage of isotainer units thereby providing a protection for surrounding land owners and this lands location to the south follows the natural progression of intensity of use, as stated above, that makes sense in this scenario.

4. Move location to the South

Has the Applicant considered relocating their southern parking lot to the requested re-zone area? Fuji could then use the southern parking lot as their enclosed isotainer storage area. This area is directly east of the current 14 isotainer units.

5. Non-Disclosure of what is being put on the Site.

Upon review of the Material Safety Data Sheet (“MSDS”) that Fuji provided, it was noted that the chemical that is proposed to be stored and tested while waiting for transportation:

- a. A flammable liquid and vapor;
- b. Toxic in contact with skin;
- c. Causes skin irritation;
- d. Causes serious eye irritation;
- e. Is a confirmed animal carcinogen;

- f. The vapors may form explosive mixtures with air;
- g. Vapors may travel to areas away from work site before igniting/flashing back to vapor source;
- h. Warns that in the event of a fire and/or explosion do not breathe fumes;
- i. Warns to keep people away and upwind of a spill/leak;
- j. Warns to not breathe vapors;
- k. Warns against discharge into the environment;
- l. Warns that heavy vapors can overcome a considerable distance up to the source of ignition;
- m. Warns that the containers remain hazardous when empty;
- n. Advises that storage rooms must be properly ventilated
- o. Advises to keep away from direct sunlight;
- p. Advises to protect from physical damage;
- q. Advises that rescue and maintenance workers to use self-contained breathing apparatus;
- r. Has a flash point of 111 degrees fahrenheit;
- s. States Conditions to Avoid are heat, flames, sparks, and direct sunlight;
- t. Is considered a Fire Hazard, Acute Health Hazard, and Chronic Health Hazard under SARA 311/312 Hazard definitions;
- u. Has a Warning that the product contains chemicals known to the State of California to cause cancer; and
- v. Has a Warning that the product contains chemicals known to the State of California to cause birth defects or other reproductive harm.

This list needs to be put in front of every Planning Commissioner and City Council person, so they can make informed decisions.

6. Location of Site

According to the Applicant, the standard isotainer can hold 6,340 gallons of chemicals. Fuji wants 45 of these isotainers. This is a potential of 285,300 gallons of an explosive, cancer causing, toxic, and airborne travelling chemical discharge just waiting to happen. You are proposing this to be adjacent to a future freeway where a perpetrator would have easy access. I believe that the City of Mesa and the surrounding landowners have every right to understand the potential damage that could come their way by having a chemical stockpile so close to an easy access way such as the future SR24. What studies have been completed and reviewed by the City to understand what potential damage can be caused should these amazingly toxic chemicals get released to the air? After all they are being stored outside. Will Fuji put an emergency clean up bond up? to pay for the hazard and potential cleanup costs that could occur if an accident happens, to local residents and property owners.

7. Enclosing the Site

Has the Applicant considered enclosing the isotainers in a masonry building, adequately sealed and fireproofed, with an environmentally approved exhaust system? This would give a level of protection from the perpetrator scenario described in number 4 above (ie. Protect from physical damage). Further, the building could be climate controlled as a back up to the concern about an individual refrigeration unit failing, and the building could be sealed in the event of an accident thereby containing the situation (ie. Protect from direct sunlight and heat). Other than cost (after all you can't put a price on the safety of your neighbors that you have a duty to protect), why would this scenario not work for Fuji?

8. Incomplete Application-

The Applicant has not submitted a complete application, and therefore continuance should be proposed at a minimum. Alternatively, this case should be removed from the agenda. For the following reasons:

a. The City has advertised the case incorrectly. There is only 18 acres being rezoned. The City should not be in the business of speculative zoning the remaining 18 acres, even if, the Applicant is a large employer; Therefore the City noticing is at fault and incorrect and therefore invalid. At a minimum the City should re notice the hearing for a later date;

b. The area affected by this case is far wider than 300 feet. The public meetings are welcomed but I believe that the HOA of Eastmark should be notified. I am sure they would be interested to learn that about a mile south of their property line the Applicant was intending to place a material that

“Is considered a Fire Hazard, Acute Health Hazard, and Chronic Health Hazard under SARA 311/312 Hazard definitions;

Has a Warning that the product contains chemicals known to the State of California to cause cancer; and;

Has a Warning that the product contains chemicals known to the State of California to cause birth defects or other reproductive harm.

This is not a typical zoning case, the Applicant has an environmental responsibility to make sure everyone knows they are there putting a highly toxic chemical dump adjacent to lesser land uses, including residential, and that the Applicant has not thought through the worst case scenarios. Why? Because it only takes one of these containers to leak and hundreds or may be thousands of people will get very ill, or eventually die due to these chemicals.

The City has a duty to protect the “Health Welfare and Safety of its population” by placing these containers up against a freeway and adjacent to lighter land uses, it is not protecting its current and future population of approximately 30,000 citizens a mile to the north. The Applicant could move the containers further south where they would be appropriate with other Heavy Industrial uses.

Thank you again for your time and I look forward to your written response.

Sincerely,

Email from Brent Hickey brent@centralhomes4sale.com

Subject: Fuji Expansion Neighborhood Meeting

Dear Brian:

brian@associated-architects.com

Thank you very much for your time and for co-hosting the neighborhood meeting on May 26, 2016 with Fuji.

This letter is being prepared to serve as an outline of my observations with respect to your requested re-zoning of 36 acres from GI (General Industrial) to HI (Heavy Industrial). My goal is to better inform myself so that I can be in a position to support what Fuji is proposing to do.

First, I added up the acreage on the Maricopa County Assessor's site and the parcels you have requested to re-zone – 304-34-041, 042A, and 042B add up to 18.99 acres. The gross project acreage on the exhibit that you showed us in the meeting listed the gross project acreage as over 36 acres. Can you confirm that we are only dealing with the parcels listed above and that the project subject to rezoning is only 18.99 acres? If so, the zoning exhibit should be revised to make clear that this is only an 18.99 acre case.

I respectfully request that my thoughts be deliberated with professional diligence and consideration for your neighboring property owners, mainly due to the fact that you are asking for a zoning (HI) that, according to the City of Mesa zoning ordinance "*...may adversely affect surrounding uses because of the after affects of the manufacturing, assembly, and/or production process.*"

Under current conditions, Fuji does not have a zoning that "*may adversely affect surrounding uses,*" at least not in written definition. Because it is known that Fuji is

asking for a zoning that could have dire and everlasting impacts on their neighbors, it is only prudent and must be insisted that a proper understanding of risk and consequences be examined and agreed to.

1. It has been my historical understanding that the City of Mesa wanted intensity of uses to increase as they went to the south. Fuji's request is in opposition to that logic. After today, we know that Fuji currently has room for approximately 14 isotainer units near the center of their facility on the west side (by examining an aerial, these 14 isotainers are also well located next to a water storage tank, a pump house, and a lined retention pond). Of course, this is not the 45 isotainer spaces that Fuji is requesting on the north side and abutting the SR 24 right of way and less intense neighboring land uses, but it could be a starting point for Fuji while the appropriate time is taken to make sure we have a solution that is good for both Fuji and the neighborhood. Also, I checked the City of Mesa zoning map. Fuji has GI zoning and the neighbor to your south does have HI zoning. This is consistent with the uses becoming more intense as they progress southerly. By rezoning your northern parcel to HI seems to be inconsistent with the flow of intensity of use pattern.

2. Fuji has considered adjacent land further to the south of the SR24. I know this as I was the one that presented it to them. This property is located due west of the area where the approximate 14 isotainer units currently sit on Fuji property. This land does not border the SR24. This land would allow Fuji to internalize their storage of isotainer units thereby providing a protection for surrounding land owners and this lands location to the south follows the natural progression of intensity of use that makes sense in this scenario. Fuji has expressed a cost concern regarding the price of this land, however the bottom line is that it is available and cost should not be so much of a concern when we are talking about preserving the integrity of safe land uses for neighbors.

3. Upon review of the Material Safety Data Sheet ("MDSA") that Fuji provided, it was noted that the chemical that is proposed to be stored and tested while waiting for transportation:

- a. A flammable liquid and vapor;
- b. Toxic in contact with skin;
- c. Causes skin irritation;

- d. Causes serious eye irritation;
- e. Is a confirmed animal carcinogen;
- f. The vapors may form explosive mixtures with air;
- g. Vapors may travel to areas away from work site before igniting/flashing back to vapor source;
- h. Warns that in the event of a fire and/or explosion do not breathe fumes;
- i. Warns to keep people away and upwind of a spill/leak;
- j. Warns to not breathe vapors;
- k. Warns against discharge into the environment;
- l. Warns that heavy vapors can overcome a considerable distance up to the source of ignition;
- m. Warns that the containers remain hazardous when empty;
- n. Advises that storage rooms must be properly ventilated;
- o. Advises to keep away from direct sunlight;
- p. Advises to protect from physical damage;
- q. Advises that rescue and maintenance workers to use self-contained breathing apparatus;
- r. Has a flash point of 111 degrees fahrenheit;
- s. States Conditions to Avoid are heat, flames, sparks, and direct sunlight;
- t. Is considered a Fire Hazard, Acute Health Hazard, and Chronic Health Hazard under SARA 311/312 Hazard definitions;
- u. Has a Warning that the product contains chemicals known to the State of California to cause cancer; and
- v. Has a Warning that the product contains chemicals known to the State of California to cause birth defects or other reproductive harm.

Please confirm in writing that I am not misrepresenting the Material Safety Data Sheet provided by Fuji in our neighborhood meeting.

4. I understand that each isotainer unit is refrigerated with an impressive insulating standard. I understand that each unit is electronically monitored for failure in the refrigeration unit. These precautions, while necessary, do not protect surrounding landowners from all situations. What considerations and precautions have been made for a potential freeway shooter? An act of terror? The standard isotainer can hold 6,340 gallons of chemicals. Fuji wants 45 of these isotainers. This is a potential of **285,300 gallons** of an explosive, cancer causing, toxic, and airborne travelling chemical discharge just waiting to happen. Does Fuji have a chemical engineer that has quantified the damage that could occur in a worst case scenario? You are proposing this to be adjacent to a future freeway where a perpetrator would have easy access. I believe that the City of Mesa and the surrounding landowners have every right to understand the potential damage that could come their way by having a chemical stockpile so close to an easy access way such as the future SR24.

5. Has Fuji considered enclosing the isotainers in a masonry building, adequately sealed and fireproofed, with an environmentally approved exhaust system? This would give a level of protection from the perpetrator scenario described in number 4 above (ie. Protect from physical damage). Further, the building could be climate controlled as a back up to the concern about an individual refrigeration unit failing, and the building could be sealed in the event of an accident thereby containing the situation (ie. Protect from direct sunlight and heat). Other than cost (after all you can't put a price on the safety of your neighbors that you have a duty to protect), why would this scenario not work for Fuji?

6. Has Fuji considered relocating their southern parking lot to the requested re-zone area? Fuji could then use the southern parking lot as their enclosed isotainer storage area. This area is directly east of the existing 14 isotainer units.

7. In our meeting, you were unable to tell us what the future use of parcel 041 would be, however you are asking that it be rezoned to a use that "*...may adversely affect surrounding uses because of the after affects of the manufacturing, assembly, and/or production process.*" Because the use is unknown and we have every right to know that consequence of any specific use that could impact neighbors, I believe it is prudent to remove this parcel from the zoning case until a use is known that can be studied and its

impact analyzed. You seemed to indicate that even if it is zoned, the neighbors will still have the same rights to participate in the entitlement process at a later date when the use is known. Please explain your rationale as I have always understood that once a property has received a certain zoning, then its use would be greatly solidified. I did speak with the City of Mesa Planner (Wahid Alam) and he did indicate that he suggested zoning this parcel along with the balance. I let him know that I disagreed with this position given the hazardous nature of this case.

In closing and as promised, please forward the most recent ADOT right of way maps that we discussed in the meeting to sutama3@yahoo.com.

Thank you again for your time and I look forward to your written response.

Sincerely,

Brent Hickey

480 707 7444