

PRELIMINARY PLAT FOR
MONTERO
A PORTION OF THE NORTHWEST QUARTER OF SECTION 19,
TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE G.&S.R. B. & M.
MARICOPA COUNTY, ARIZONA

RETENTION CALCULATIONS

VOLUME REQUIRED = $95828 \text{ SF} \times (2.2"/12) \times 0.85 = 14933 \text{ CF}$
VOLUME PROVIDED = $\frac{(3150 \text{ SF} + 1274 \text{ SF}) \times 3.5' + (3442 \text{ SF} + 1196 \text{ SF}) \times 3.5'}{2} = 15859 \text{ CF}$

RETENTION BASIN TO BE BLED OFF TO EXISTING CULVERT ADJACENT TO UNIVERSITY DRIVE

SITE DATA

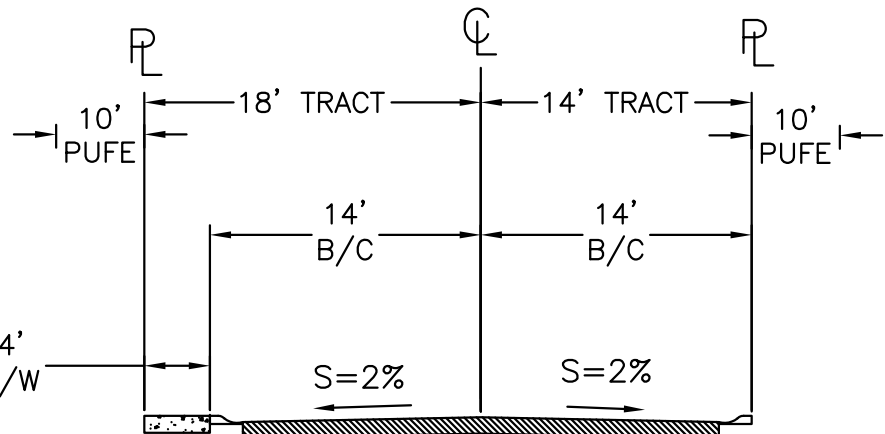
APN 140-24-008L
GROSS AREA = 106719 SF (2.4499 AC)
NET AREA = 95828 SF (2.2000 AC)
LOTS = 15
GROSS DENSITY = 6.12 DU/AC
NET DENSITY = 6.82 DU/AC
EXISTING ZONING = R1-6
PROPOSED ZONING = RSL-2.5 BIZ
EXISTING GENERAL PLAN CLASSIFICATION = HIGH DENSITY RESIDENTIAL 15+ (15+ DU/AC)
PROPOSED GENERAL PLAN CLASSIFICATION = MEDIUM DENSITY RESIDENTIAL 4-6 (6-10 DU/AC)
OPEN SPACE = 11357 SF (11.9%)

TRACT TABLE

TRACT	USE	AREA S.F.
A	LANDSCAPE, RECREATION, DRAINAGE, RETENTION	4065 SF
B	LANDSCAPE, RECREATION, DRAINAGE, RETENTION	4151 SF
C	LANDSCAPE, RECREATION	3141 SF
D	INGRESS/EGRESS, PUE	17875 SF

OWNER/DEVELOPER

FUNK FAMILY ENTERPRISES
ATTN: MARK FUNK
1806 N. LINDSAY ROAD
MESA, AZ 85213
MFUNK@BELLAGOHOMES.COM
480-468-8881



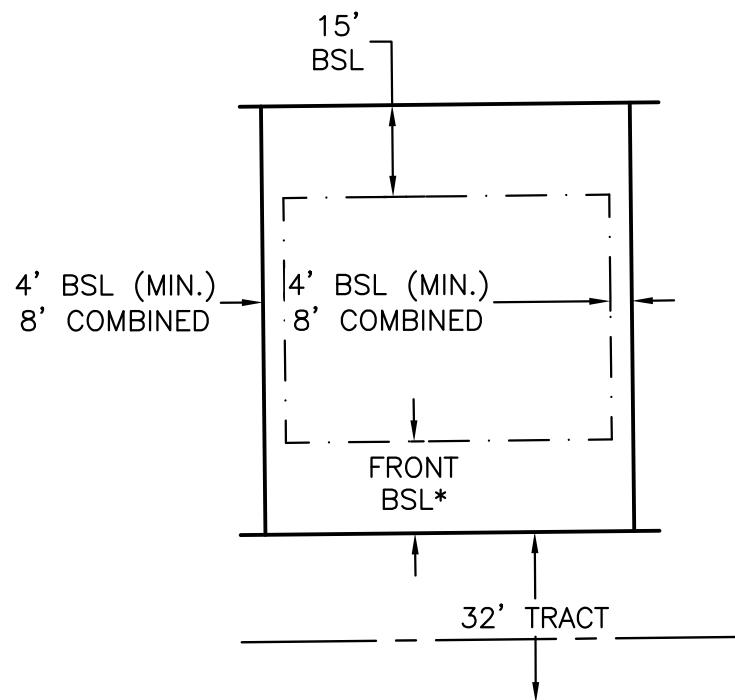
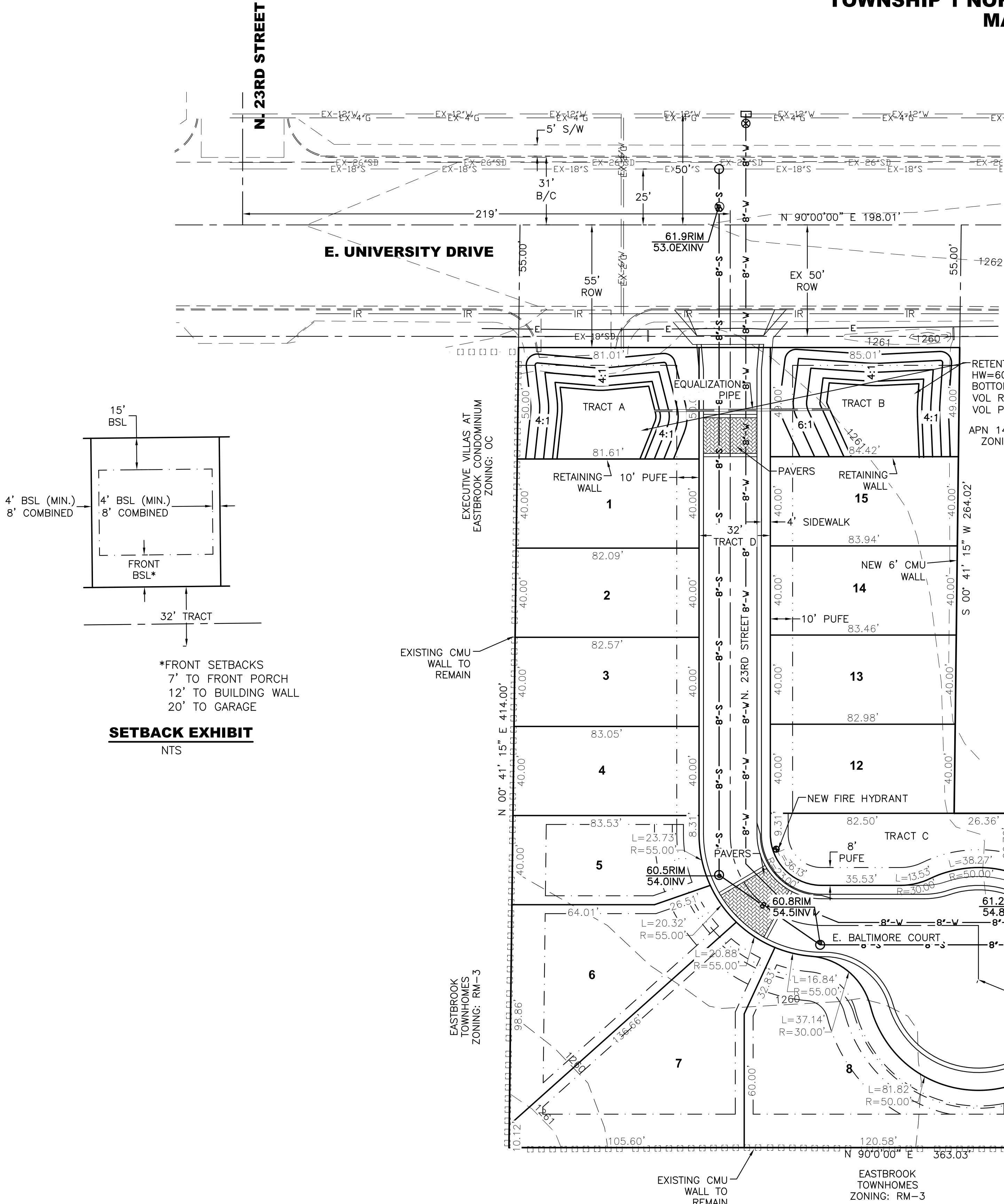
TYPICAL LOCAL STREET SECTION

NTS

LOT TABLE

LOT #	AREA (SF)
1	3274 SF
2	3293 SF
3	3312 SF
4	3331 SF
5	3324 SF
6	5477 SF
7	6282 SF
8	6696 SF
9	6617 SF
10	5237 SF
11	6398 SF
12	3310 SF
13	3329 SF
14	3348 SF
15	3367 SF

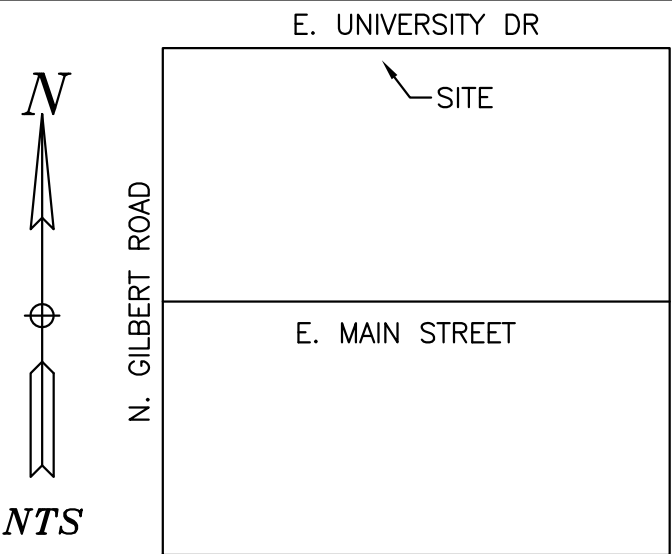
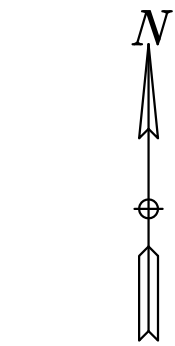
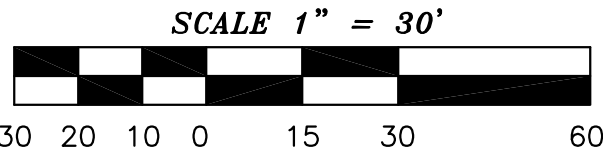
AVERAGE LOT SIZE=4240 SF



SETBACK EXHIBIT

NTS

*FRONT SETBACKS
7' TO FRONT PORCH
12' TO BUILDING WALL
20' TO GARAGE



VICINITY MAP

NTS

MONTERO
PRELIMINARY PLAT
APN 140-24-008L

JOB NUMBER 15-126

DRAWING PP15126

DATE 03-30-16

SHEET 1 OF 1

GarnerGroup
engineering

CLINTON J. GARNER
REGISTERED PROFESSIONAL ENGINEER
ARIZONA, U.S.A.
36113
03-30-16
EXPIRES 03-31-2019



EXPIRES 03-31-2019