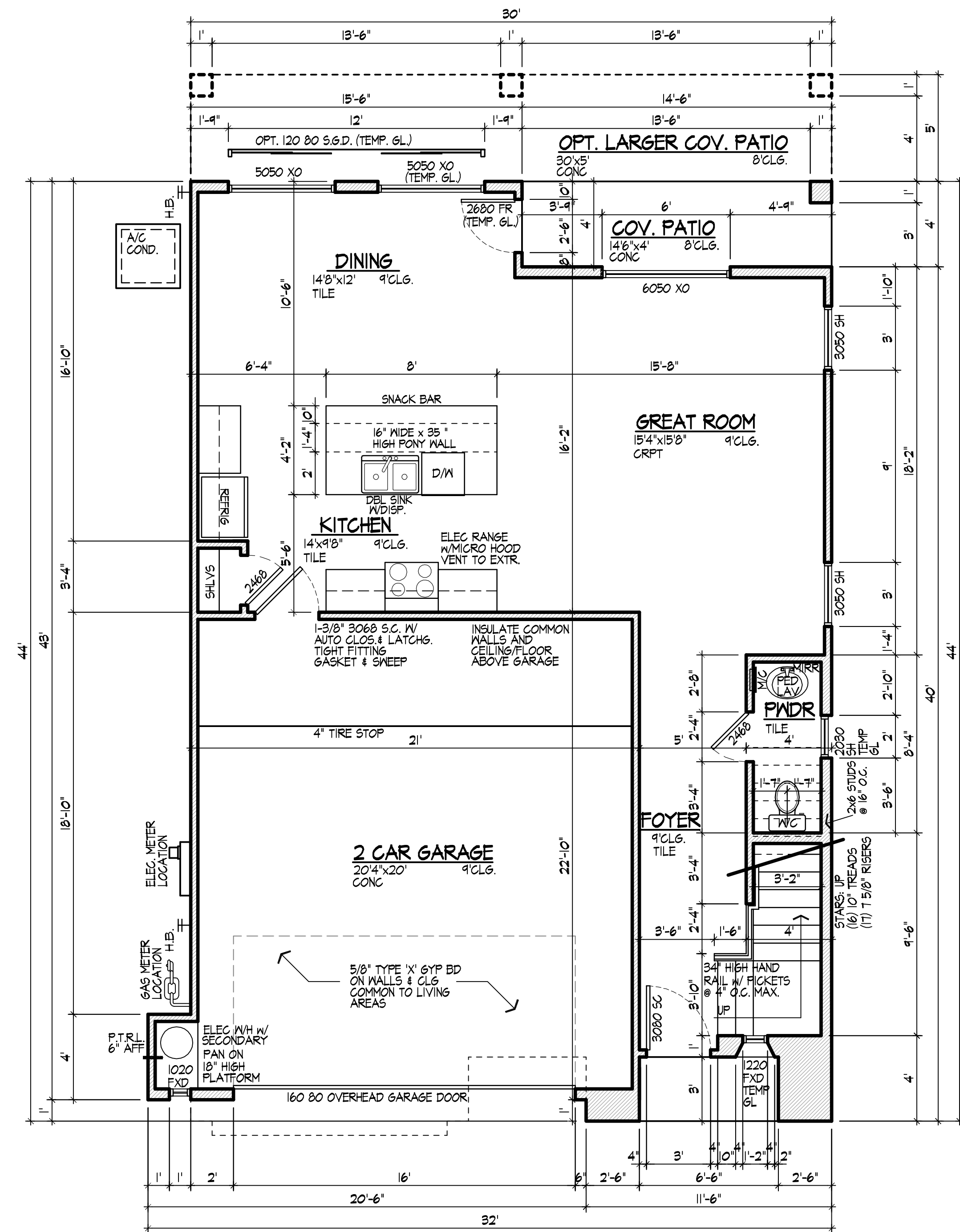
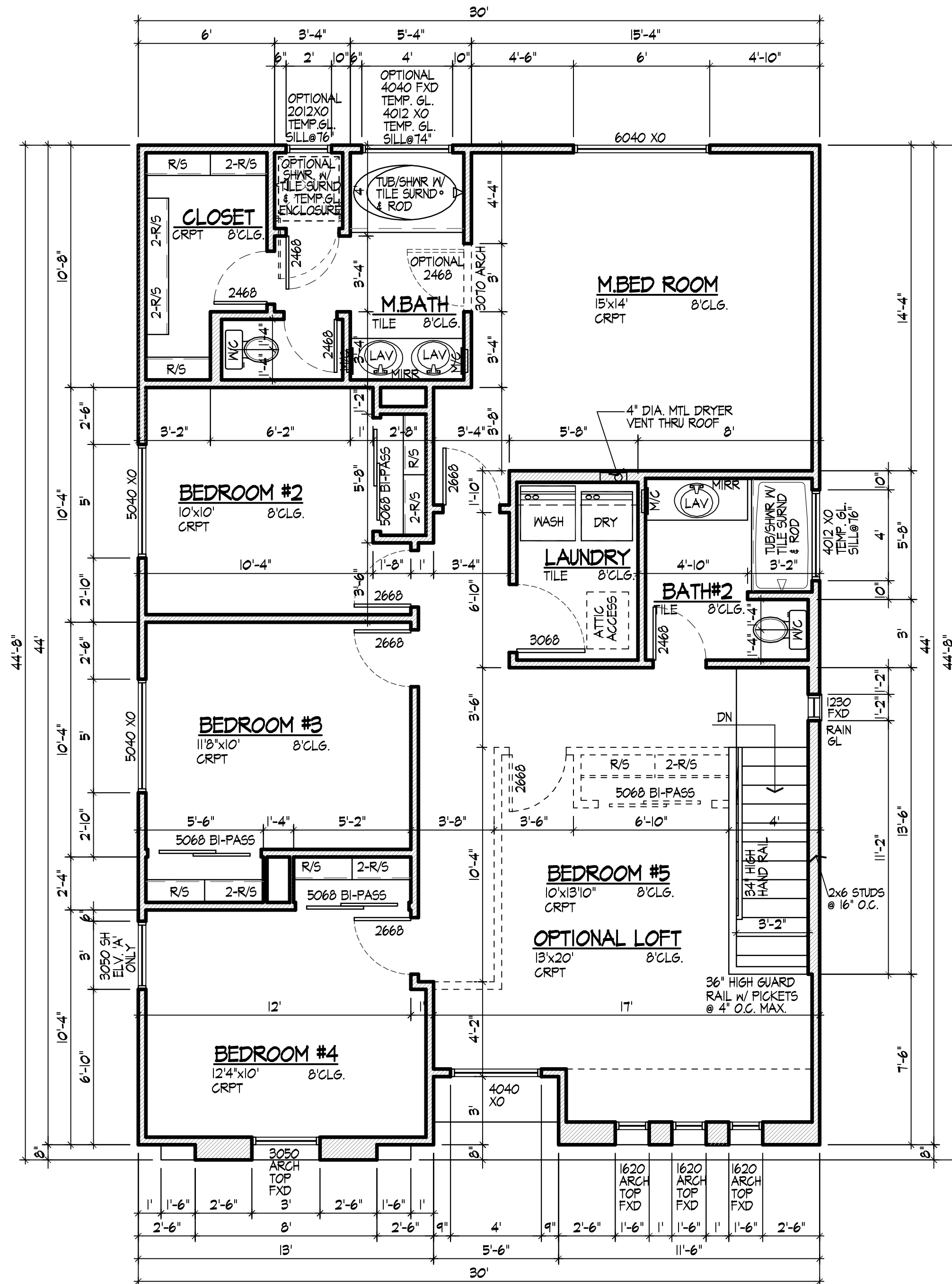


AREA SCHEDULE			
ALL ELEVATIONS	LIVABLE	U/R	OPT. PATIO
(A) MAIN FLOOR LIVABLE 'A'	748		
(B) MAIN FLOOR LIVABLE 'B' & 'C'	744		
(C) UPPER FLOOR LIVABLE 'A'	1275		
(D) UPPER FLOOR LIVABLE 'B' & 'C'	1280		
(E) 2-CAR GARAGE		466	
(F) COVERED PATIO		56	
(G) OPTIONAL COVERED PATIO			150
(H) COVERED PORCH 'A'		30	
(I) COVERED PORCH 'B'		67	
(J) COVERED PORCH 'C'		40	
TOTAL - 'A'	2023	2571	2,727
TOTAL - 'B'	2024	2,615	2,765
TOTAL - 'C'	2024	2,638	2,788



NOTE:

1. SHOWER WALLS TO BE FINISHED WITH MOISTURE RESISTANT SHEETROCK AND CERAMIC TILE OR EQUAL TO A HEIGHT OF 10' ABOVE DRAIN. A VAPOR RETARDER IS NOT PERMITTED BEHIND MOISTURE RESISTANT SHEETROCK, AND MOISTURE RESISTANT SHEETROCK NOT PERMITTED ON CEILINGS. VERIFY PER TYPE OF TILE INSTALLATION. SEE R 1023.8 & R103.4.2.
2. MINIMUM 22" CLEAR OPENING @ DOOR.
3. PROVIDE 18" HIGH PLATFORM UNDER ALL APPLIANCES INSTALLED IN (OR ACCESSIBLE FROM INSIDE) ACCESSIBLE FROM INSIDE) GARAGES.
4. PROVIDE 100 SQ. IN. OF MAKEUP AIR PER I.M.C. IN LAUNDRY ROOM.
5. PROVIDE APPROVED AIRGRAP AT DISHWASHER.
6. APPLIANCES WHICH DEPEND UPON THE COMBUSTION OF FUEL SHALL BE INSTALLED IN BEDROOMS, OR BATHROOMS OR ROOMS WHICH OPENS TO THE BEDROOM OR BATHROOM (I.E. CLOSETS).
7. TOTAL LENGTH OF 4" DRYER EXHAUST SHALL NOT EXCEED 25' WHEN FITTINGS USED, REDUCE LENGTH PER IRC M502.6
8. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE
9. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
10. REAR YARDS WHICH ARE THE ONLY EMERGENCY EGRESS ROUTE FROM BEDROOMS) AND THAT ARE NOT AFFRACHABLE FROM PUBLIC OR DEDICATED COMMON WAYS ARE PROHIBITED.
11. IN ALL SLEEPING AREAS, PROVIDE AN OPENABLE WINDOW OR DOOR WITH AN AREA OF 5.7 SQ. FT. MINIMUM OPENING DIRECTED TO THE OUTSIDE WITH A MINIMUM NET CLEAR OPENINGS OF 20" WIDE AND 24" HIGH. MAXIMUM WINDOW SILL HEIGHT 44".
12. ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANES WITH 9 SQ. FT. OR LESS AREA) SHALL BE SAFETY GLASS.
13. FRONT DOOR TO HAVE A PEEP HOLE VIEWER HAVING A FIELD OF VISION OF NOT LESS THAN 180 DEGREES.
14. ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH SECTION R 325 SECURITY STANDARDS OF CITY OF MESA RESIDENTIAL CODE.

PLUMBING NOTE:

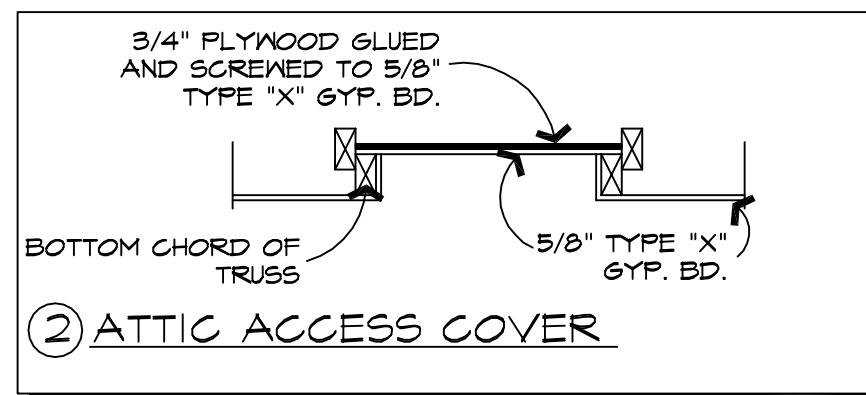
PIPING TYPE AS FOLLOWS:

- A. WASTE LINE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
- B. VENT PIPE TO BE ABS SPECIFIED SCHEDULE 40 DWV , SCHEDULE 40 PVC DWV.
- C. COPPER TUBING USED IN WATER PIPING MUST BE SPECIFIED TYPE "M" MINIMUM HEIGHT IN THE BUILDINGS ABOVE SLABS & COPPER TUBING USED IN WATER PIPING BELOW FLOOR SLABS MUST BE TYPE "L" MINIMUM HEIGHT INSTALLED WITH JOINTS.
- D. ALL HOSE BIBS SHALL HAVE ANTI SIPHON VALVES INSTALLED
- E. GAS FUEL PIPING SHALL BE WROUGHT IRON OR STEEL, GALVANIZED, BLACK OR YELLOW BRASS.

NOISE ATTENUATION STIPULATIONS:

1. PROVIDE EXTERIOR WALL INSULATION EQUAL TO A VALUE OF R-19 WHERE ADJACENT TO LIVABLE AREAS.
2. PROVIDE CEILING INSULATION EQUAL TO A VALUE OF R-38 OVER ALL EXTERIOR DOORS EXITING FROM LIVABLE AREAS SHALL BE SOLID CORE OR INSULATED, WITH WEATHER TIGHT GASKETS AND THRESHOLDS OR GASKETED GLASS.
3. ALL EXTERIOR WINDOWS ADJACENT TO LIVABLE AREAS SHALL BE DOUBLE GLAZED (DUAL PANE).
4. SOLE PLATES OF EXTERIOR WALLS ADJACENT TO LIVABLE AREAS SHALL BE CAULKED OR SEALED AT THE FLOOR LINE.

GYPSUM BOARD APPLIED TO A CEILING SHALL BE
1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR
5/8" WHEN FRAMING MEMBERS ARE 24" O.C.
OR
USE LABELED 1/2" SAG- RESISTANT GYPSUM
CEILING BOARD. TABLE R702.3.5 (d).



THIS DRAWING IS PROPERTY
OF BELLAGO DEVELOPMENT
AND MAY NOT BE COPIED OR
USED FOR CONSTRUCTION

Estetate
KING CUSTOM DESIGN
We are a King
(602) 989-4440



LAGO DEVELOPMENT L.L.C.
 106 NORTH LINDSAY ROAD
 JUNK@BELLAGOHOMES.COM
 MESA, ARIZONA 85213
 PHONE: 602-481-0535

PLAN #2035

FLOOR PLANS

DATE: 6/3/15
SCALE: 1/4"=1'-0"
DRAWN: K.KING
JOB: BEL-2035
SHEET:

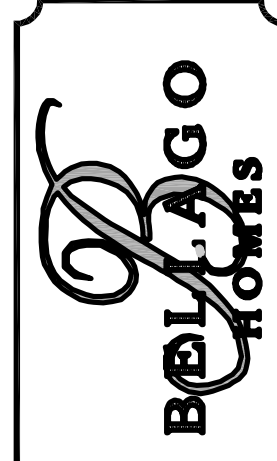
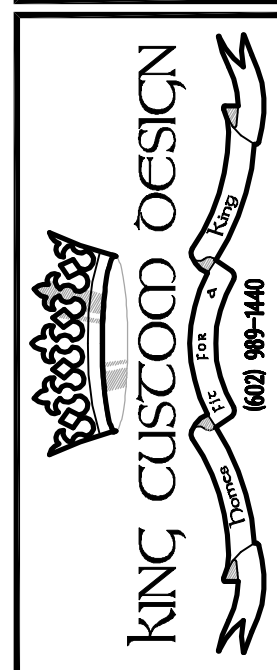
A-3a



A-3b

REVISIONS	BY
11/18/15	KK
12/11/15	KK
3/15/16	KK

THIS DRAWING IS PROPERTY
OF BELLASO DEVELOPMENT
AND MAY NOT BE COPIED OR
USED FOR CONSTRUCTION
WITHOUT PERMISSION.
COPYRIGHT 2015



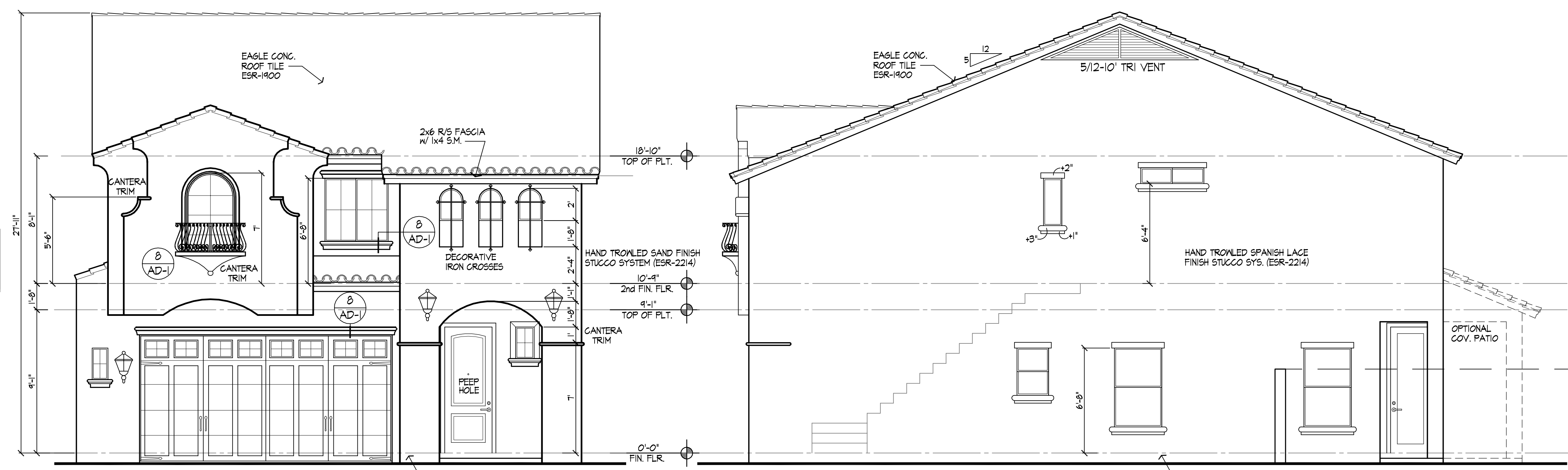
BELLASO DEVELOPMENT LLC.
1206 NORTH LINDSAY ROAD
MESA, ARIZONA 85213
PHONE: 602-481-0535

PLAN #2035

ELEVATIONS
SPANISH COLONIAL

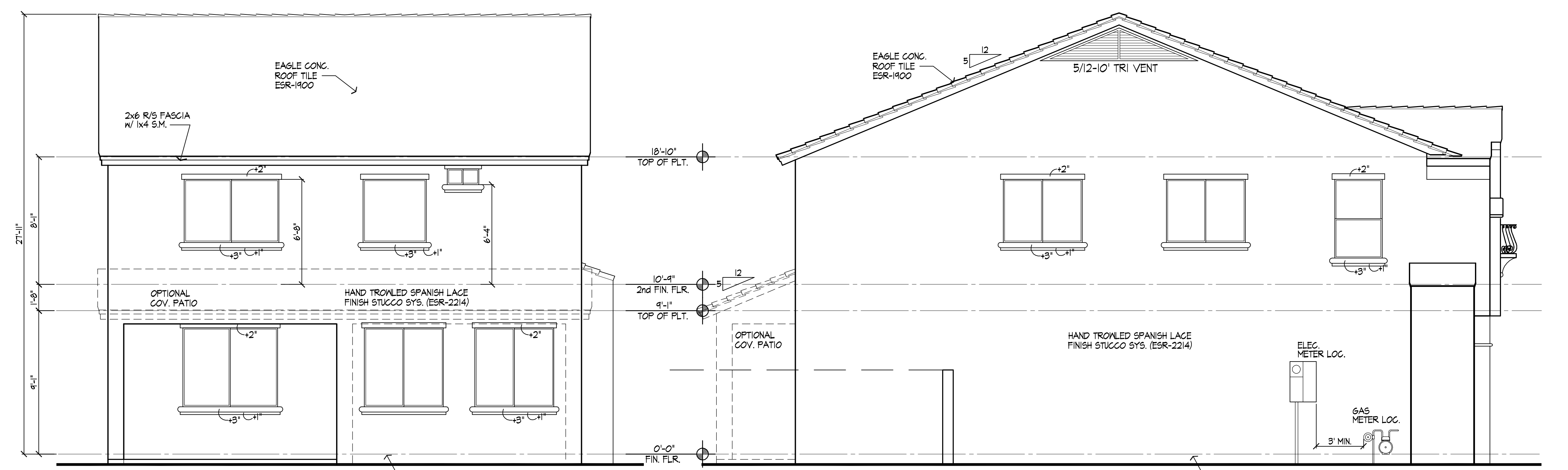
DATE: 6/3/15
SCALE: 1/4"=1'-0"
DRAWN: K.KING
JOB: BEL-2035
SHEET:

A-4a



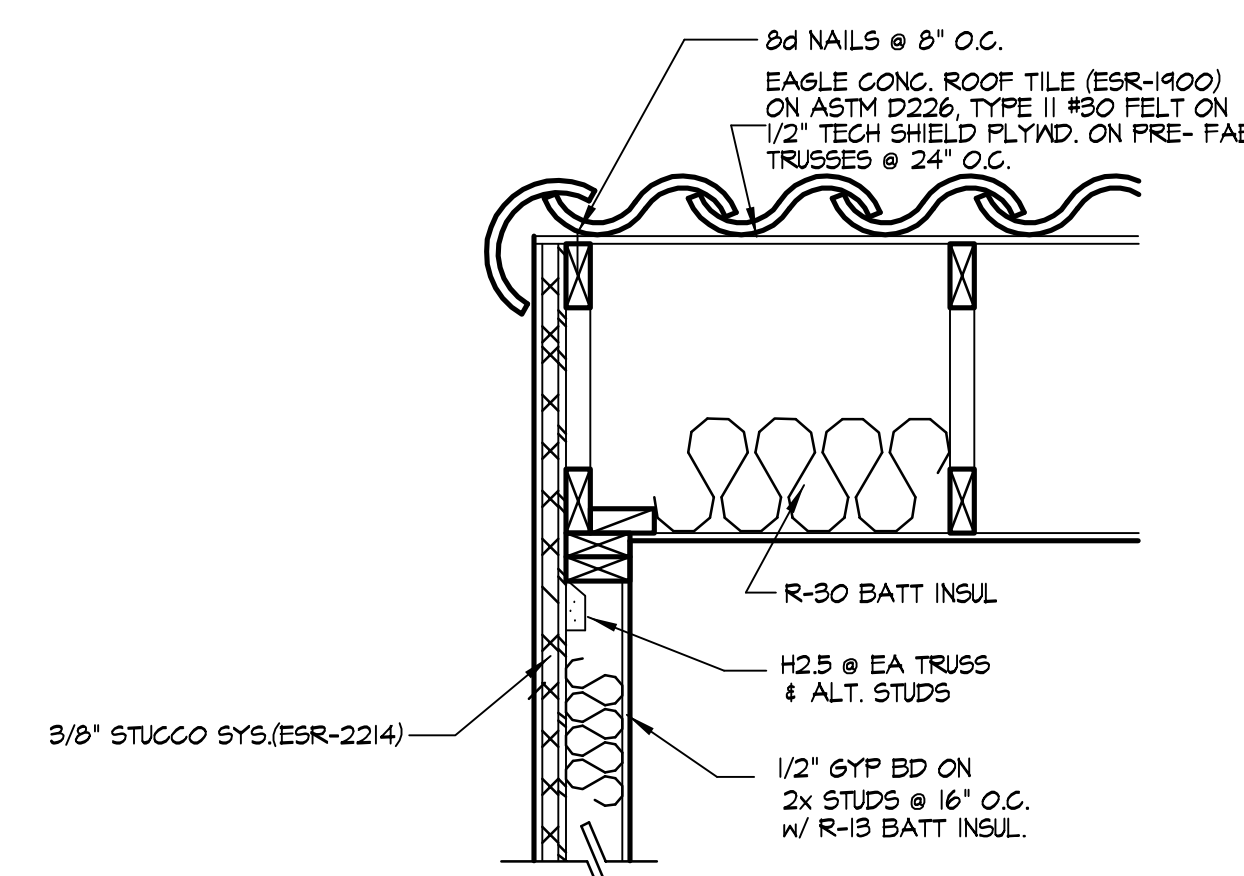
FRONT ELEVATION 'A'
SPANISH COLONIAL

RIGHT ELEVATION 'A'

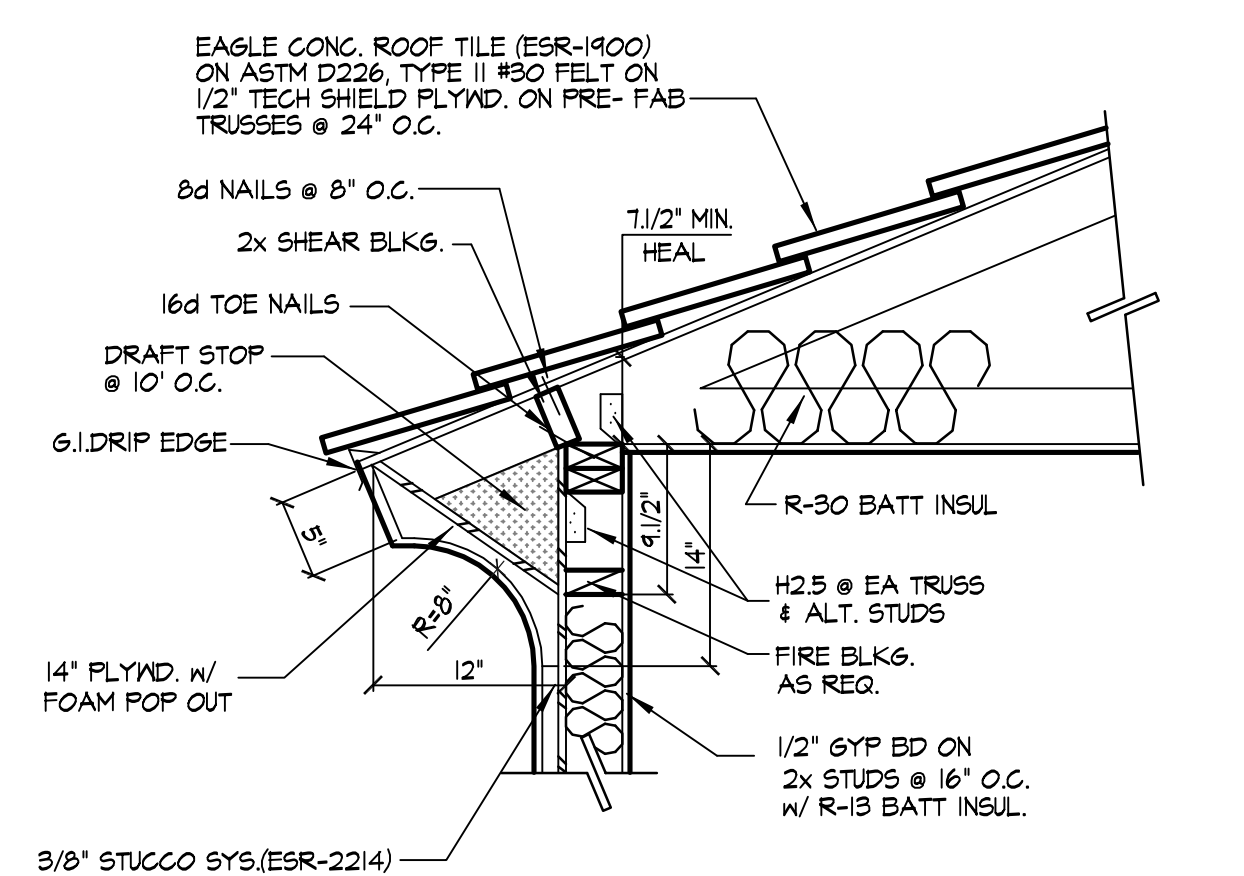


REAR ELEVATION 'A'

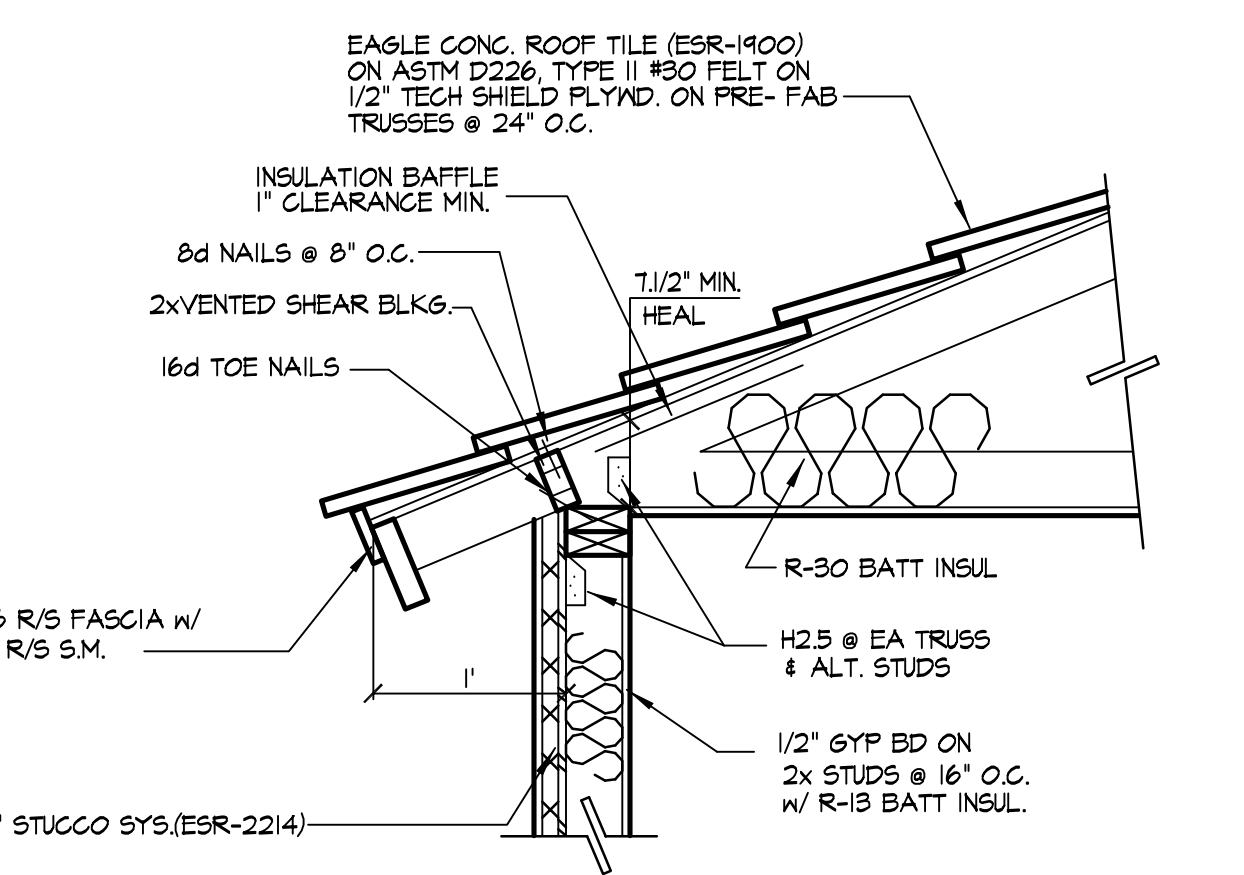
LEFT ELEVATION 'A'



6 RAKE DETAIL

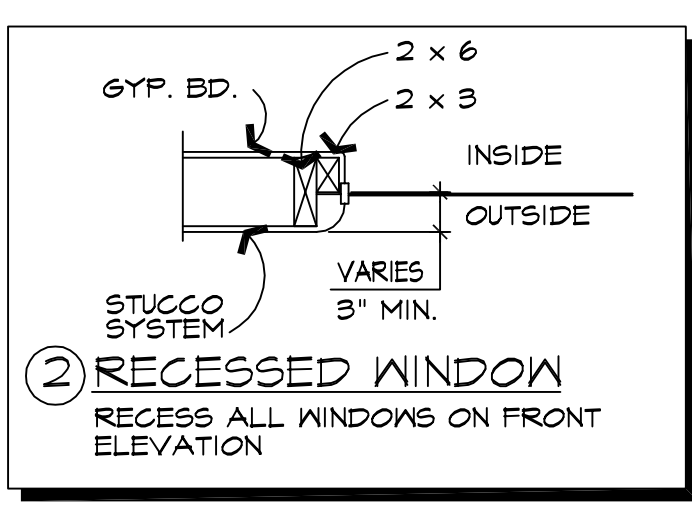


4 FASCIA DETAIL



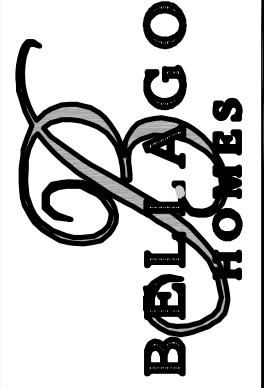
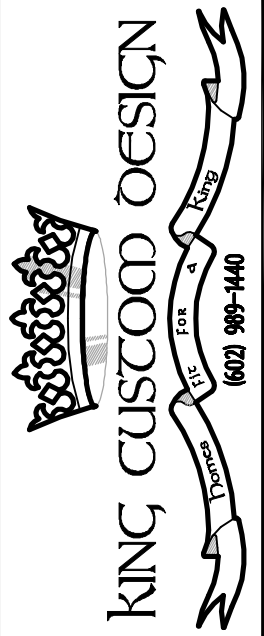
3 FASCIA DETAIL

SAND FINISH ON FRONT ELEVATION
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION
SUPERWALL STUCCO SYS.(ESR-2214)
MAG- ONE COAT STUCCO
COMPLIANCE PROGRAM
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED
BY MANUFACTURER APPROVED INSTALLERS
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD
OR GABLE-GUARD (UL ERI4313-01)
OVER A WEATHER BARRIER CONSISTING OF
(1) LAYER OF #15 ASPHALT FELT COMPLYING WITH
ASTM D 226 TYPE II WITH MINIMUM 2" HORIZONTAL
LAP AND 6" VERTICAL LAPS.



REVISIONS	BY
11/18/15	KK
12/11/15	KK
3/15/16	KK

THIS DRAWING IS PROPERTY OF BELLASGO DEVELOPMENT AND MAY NOT BE LOANED OR USED FOR CONSTRUCTION WITHOUT PERMISSION. COPYRIGHT 2015



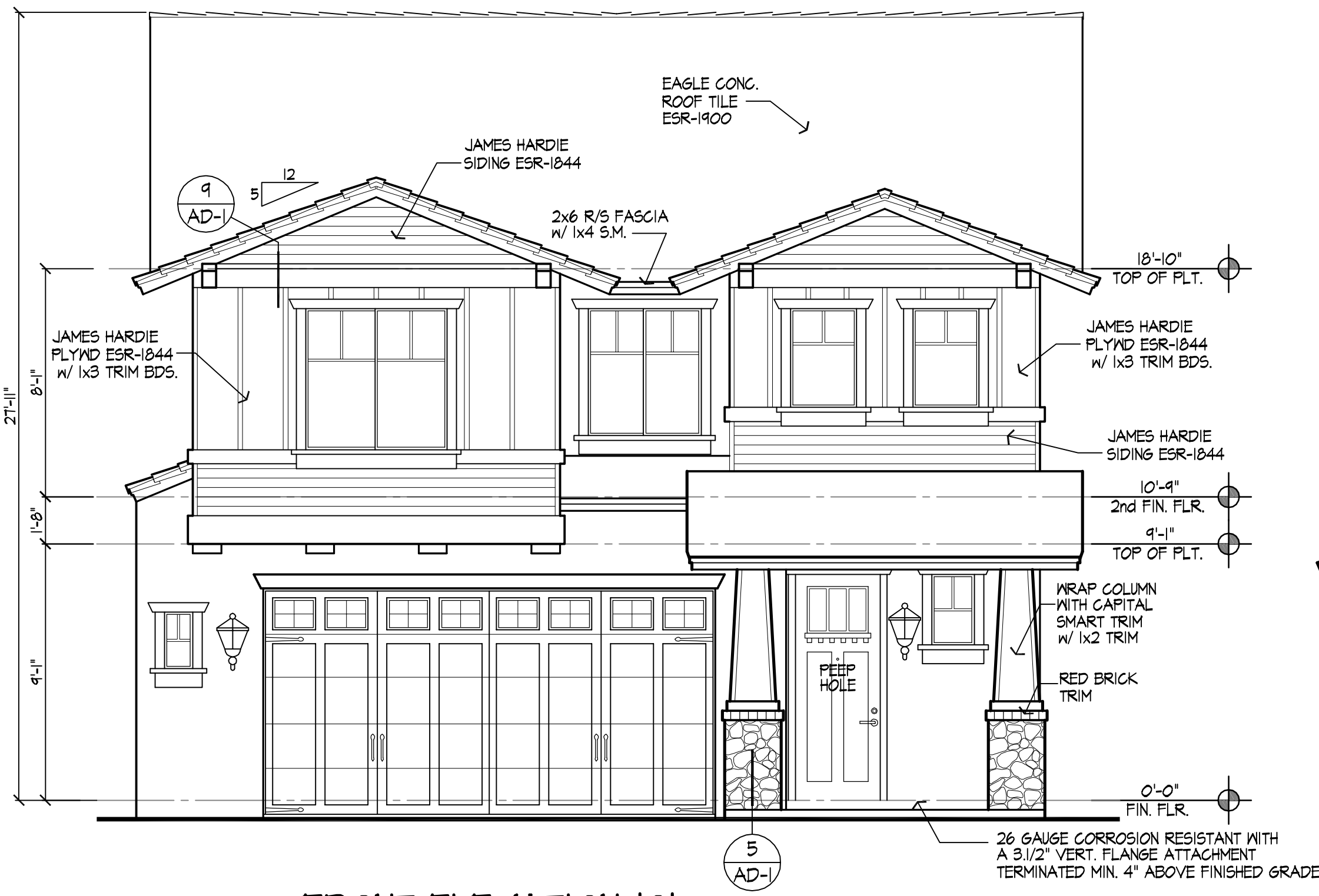
BELLASGO DEVELOPMENT LLC.
1206 NORTH LINDSAY ROAD
MESA, ARIZONA 85213
PHONE: 602-491-0535

PLAN #2035

ELEVATIONS
CRAFTSMAN

DATE: 6/3/15
SCALE: 1/4"=1'-0"
DRAWN: K.KING
JOB: BEL-2035
SHEET:

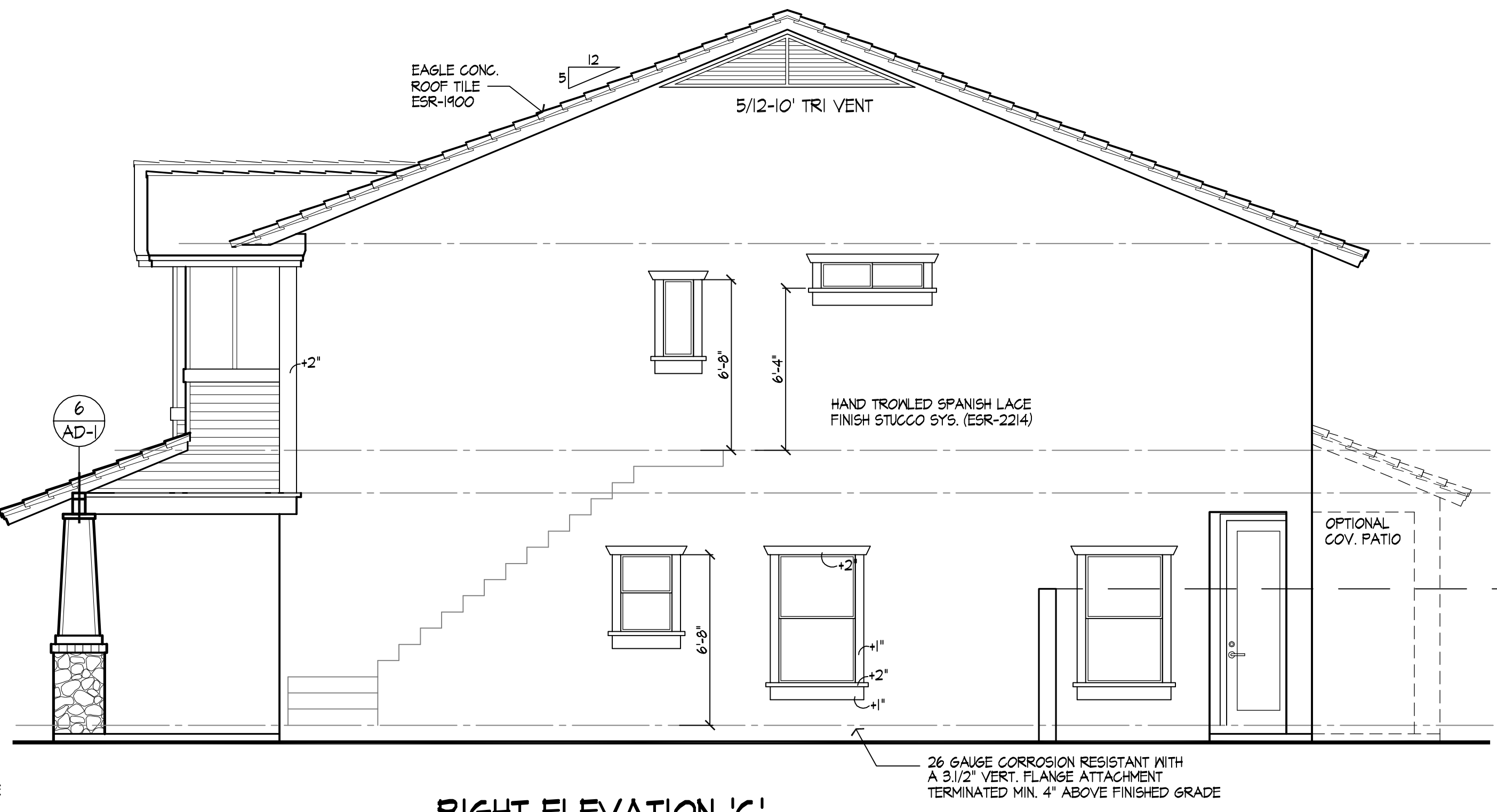
A-4c



FRONT ELEVATION 'C'
CRAFTSMAN

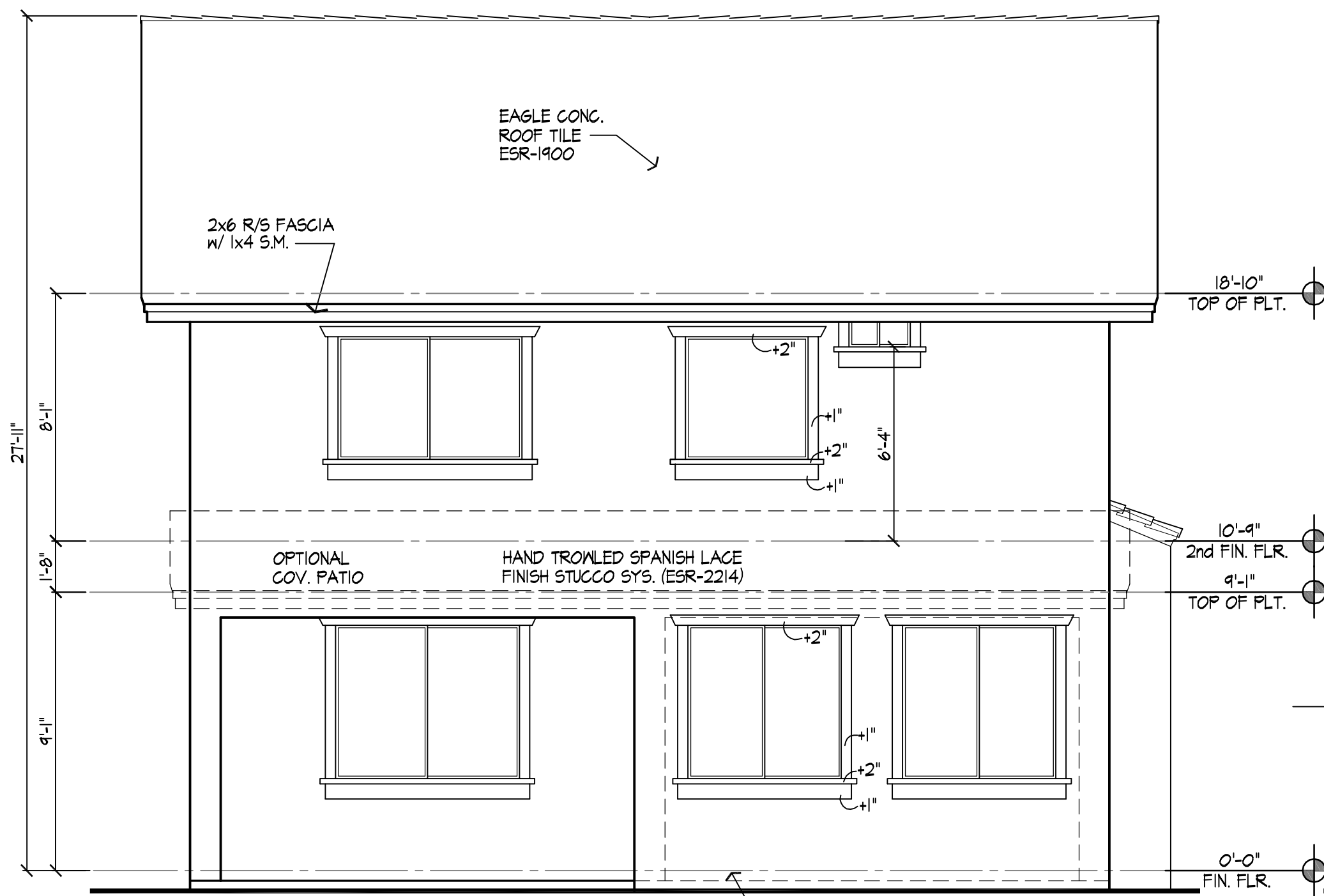
1/4"=1'-0"

ALL TRIM AROUND WINDOWS IN SIDING WALLS TO BE LP SMART TRIM
ALL TRIM AROUND WINDOWS IN STUCCO WALLS TO BE STUCCO POP-OUTS



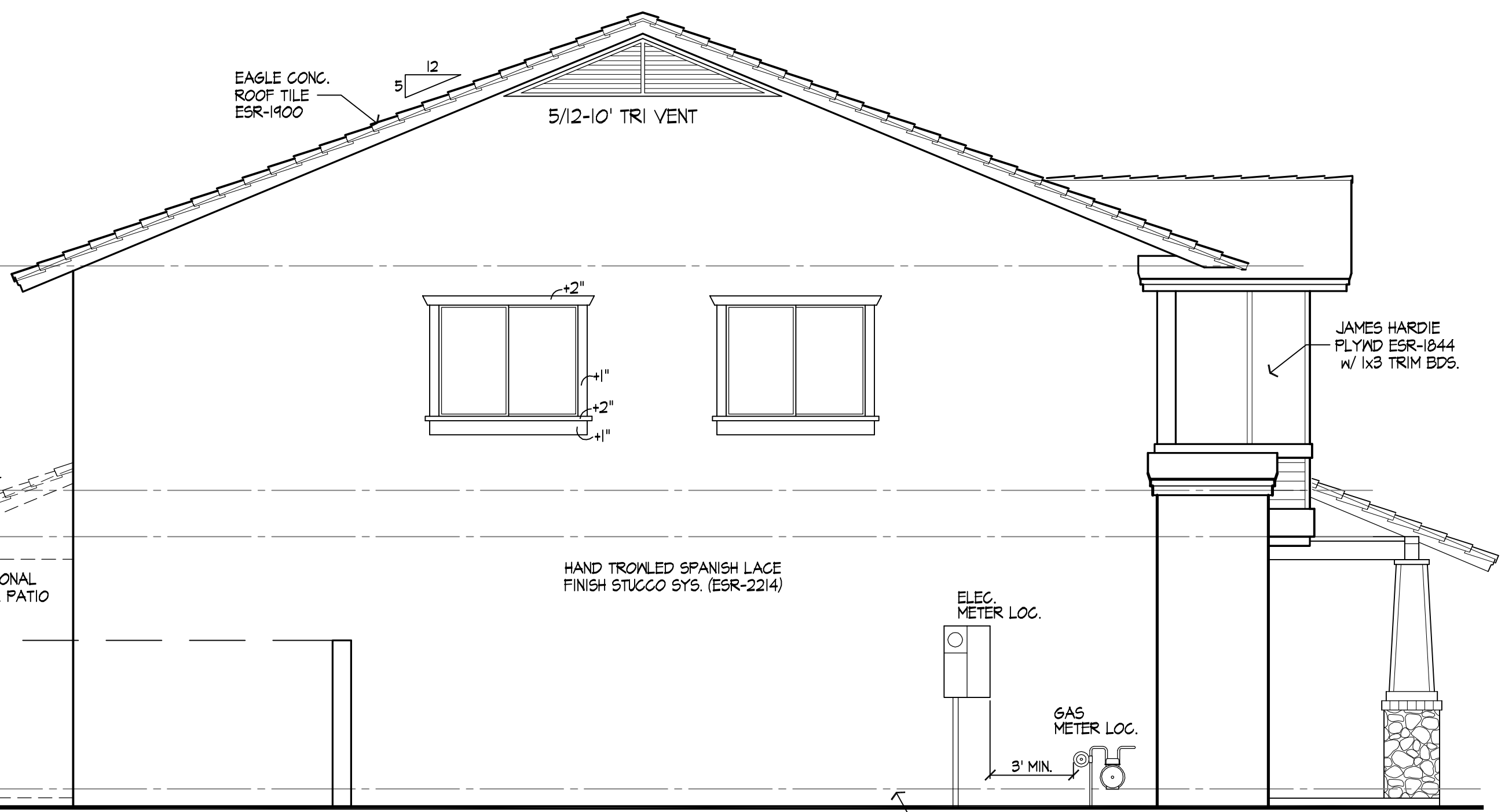
RIGHT ELEVATION 'C'

1/4"=1'-0"



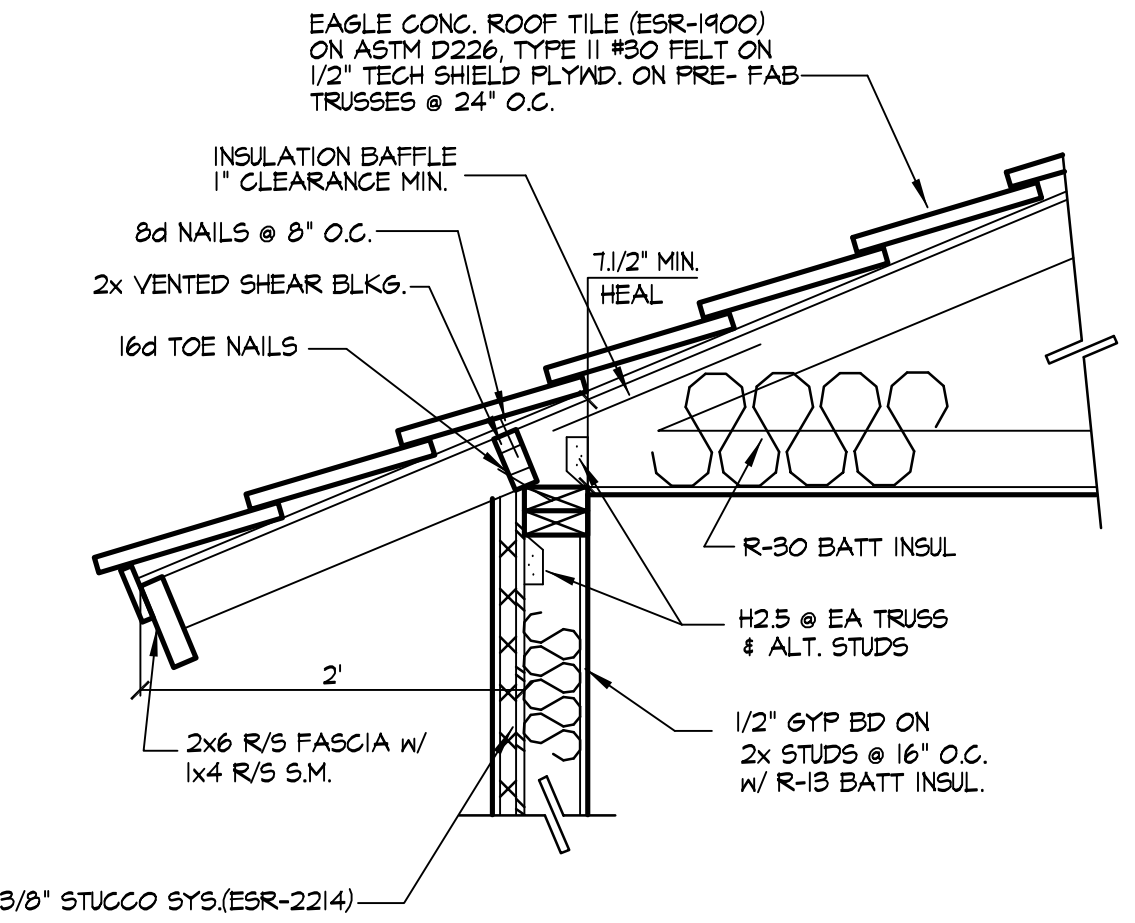
REAR ELEVATION 'C'

1/4"=1'-0"



LEFT ELEVATION 'C'

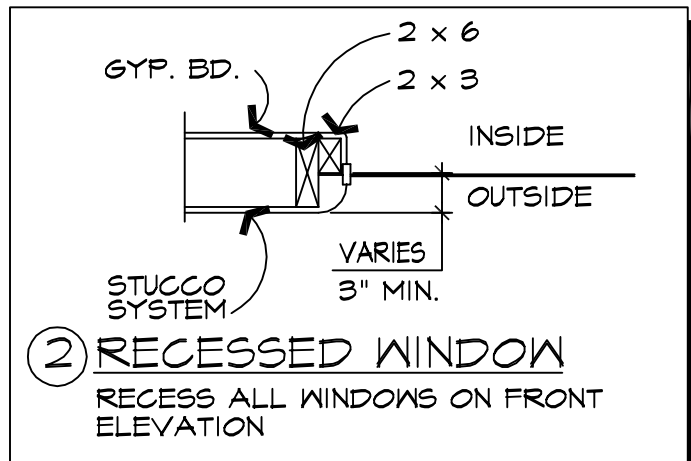
1/4"=1'-0"



③ FASCIA DETAIL

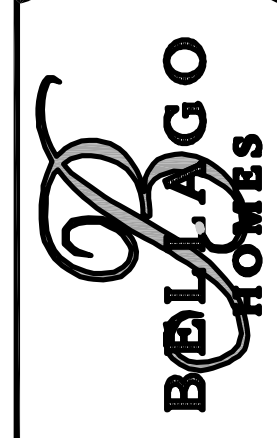
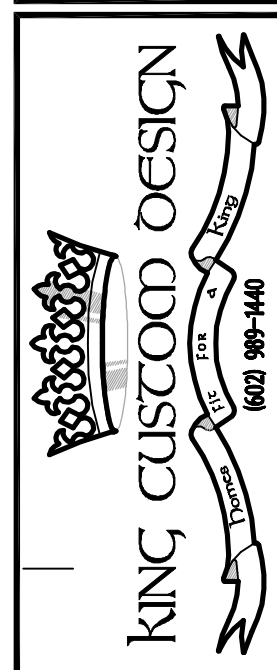
1"=1'-0"

SAND FINISH ON FRONT ELEVATION
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION
SUPERWALL STUCCO SYS.(ESR-2214)
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)
OVER A WEATHER BARRIER CONSISTING OF
(1) LAYER OF OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



REVISIONS	BY
11/18/15	KK
12/11/15	KK
3/15/16	KK

THIS DRAWING IS PROPERTY OF BELLASO DEVELOPMENT AND MAY NOT BE LOANED OR USED FOR CONSTRUCTION WITHOUT PERMISSION. COPYRIGHT 2015



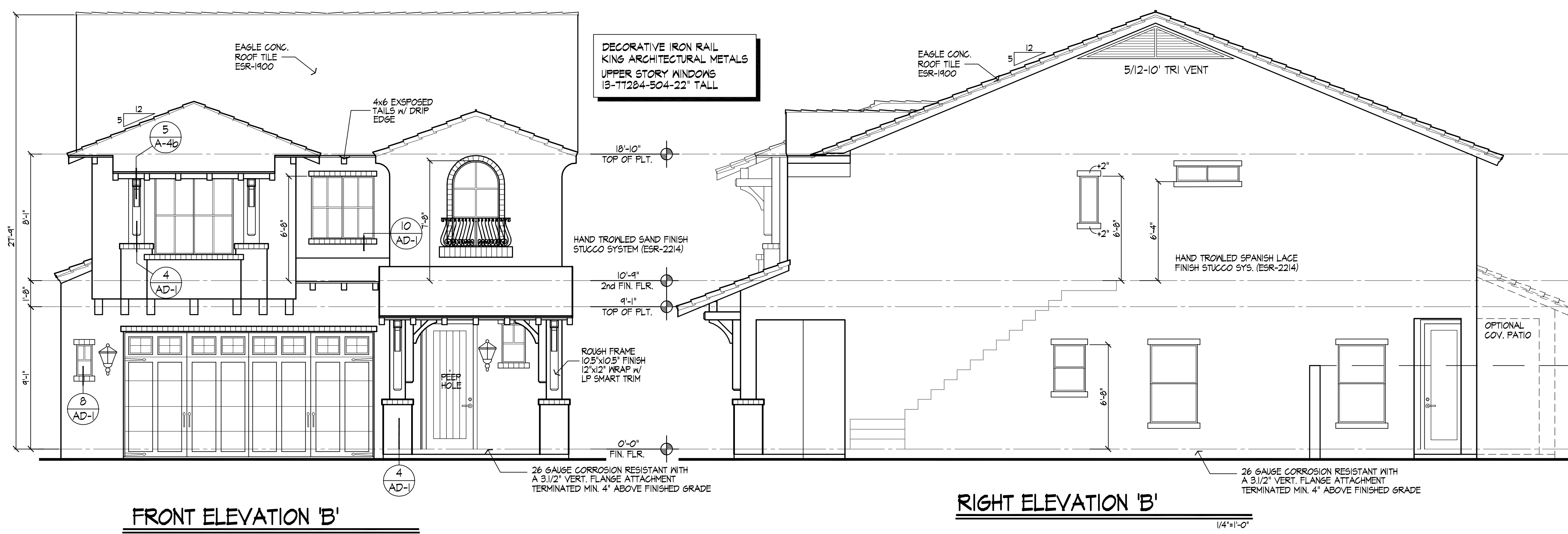
BELLASO DEVELOPMENT LLC.
1806 NORTH LINDSAY ROAD
MESA, ARIZONA 85215
PHONE: 602-491-0535

PLAN #2035

ELEVATIONS
SPANISH MONTEREY

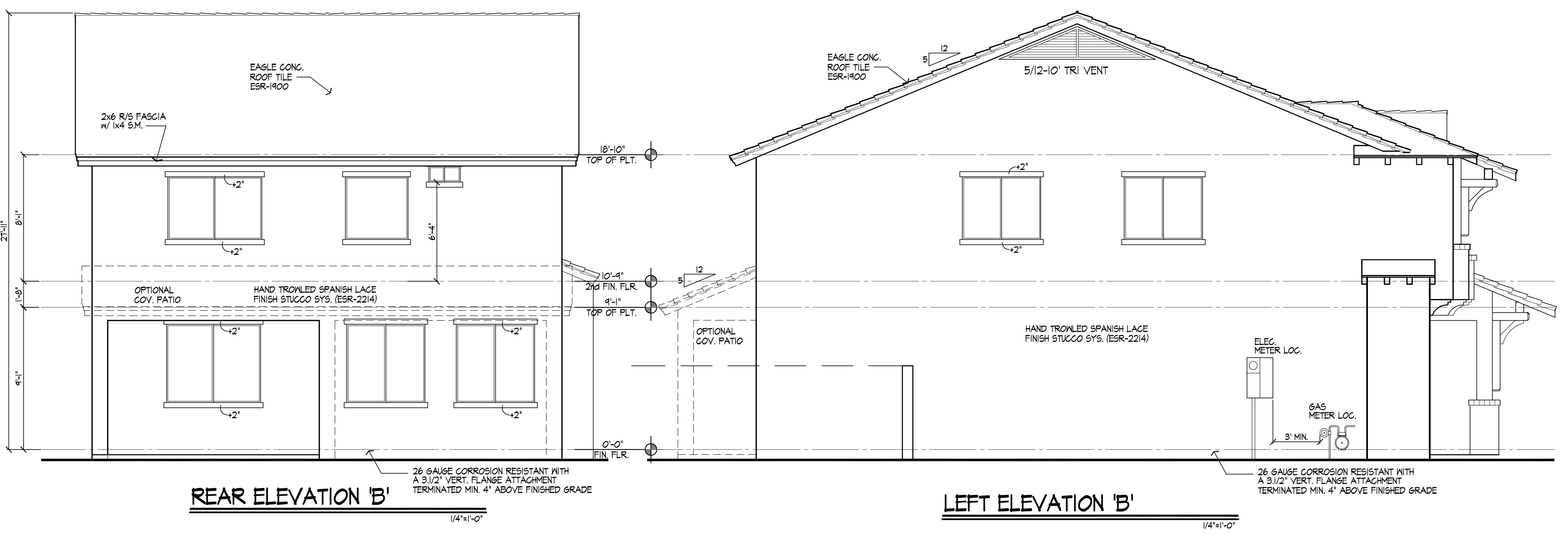
DATE: 6/3/15
SCALE: 1/4"=1'-0"
DRAWN: K.KING
JOB: BEL-2035
SHEET:

A-4b



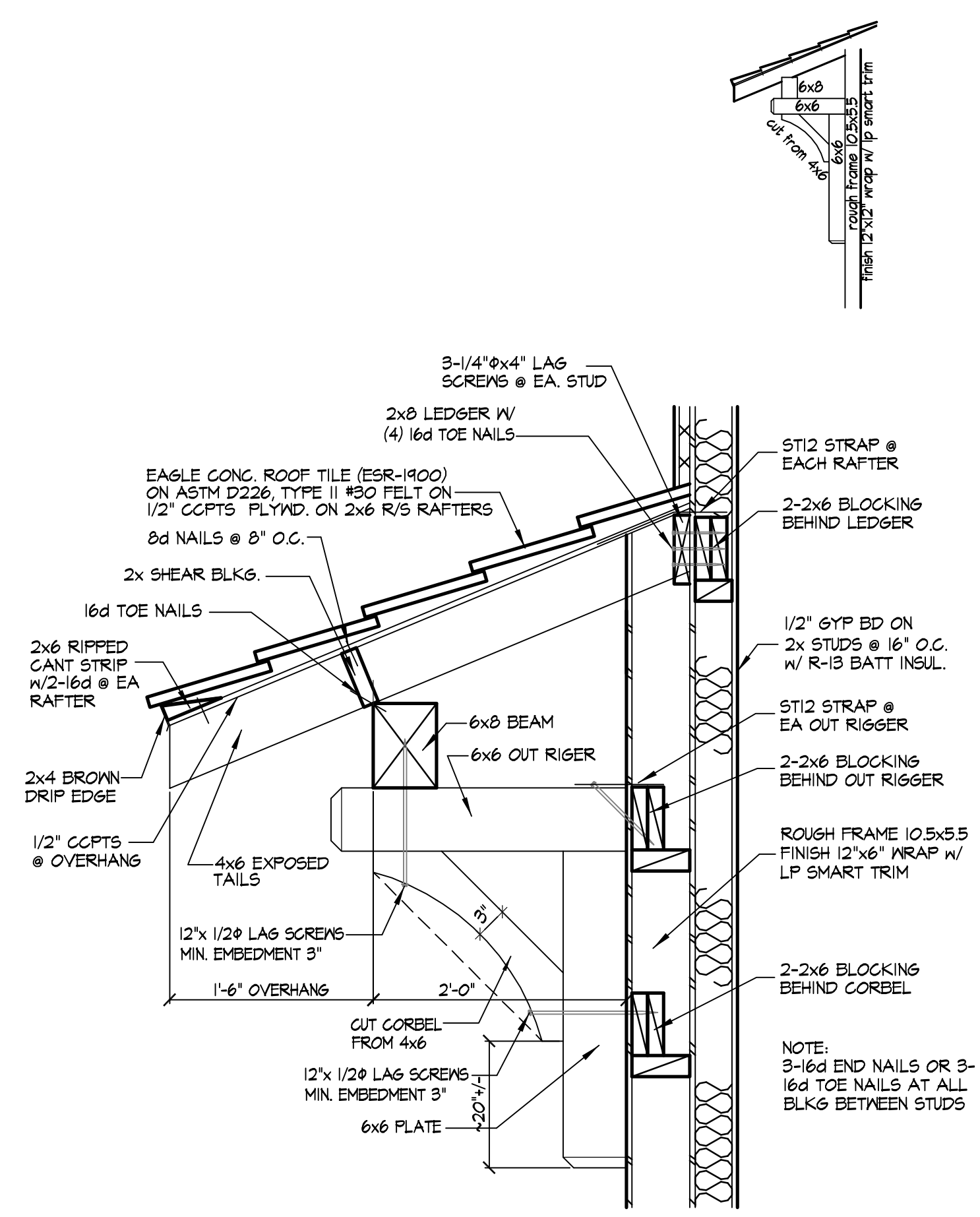
FRONT ELEVATION 'B'
SPANISH MONTEREY

RIGHT ELEVATION 'B'

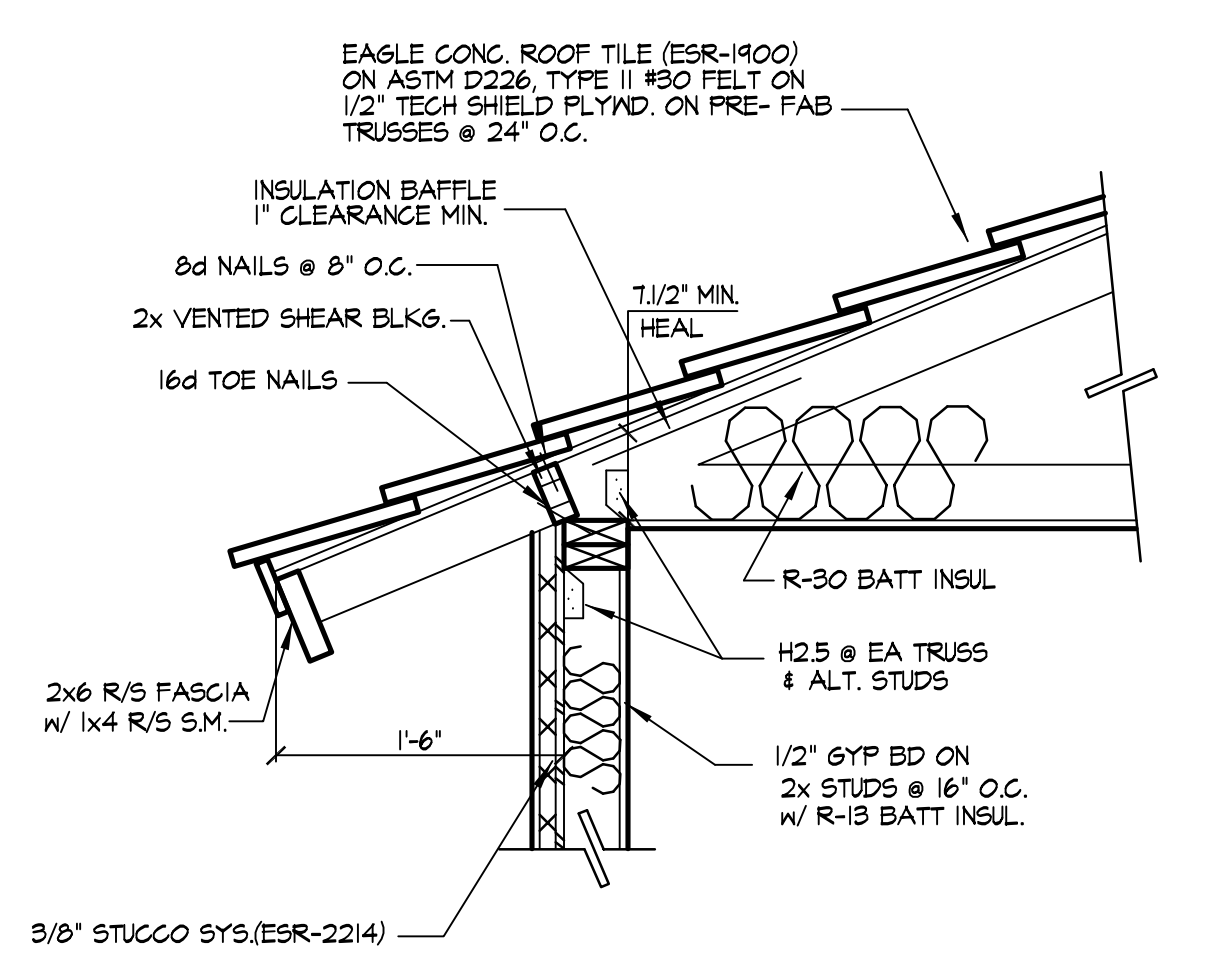


REAR ELEVATION 'B'

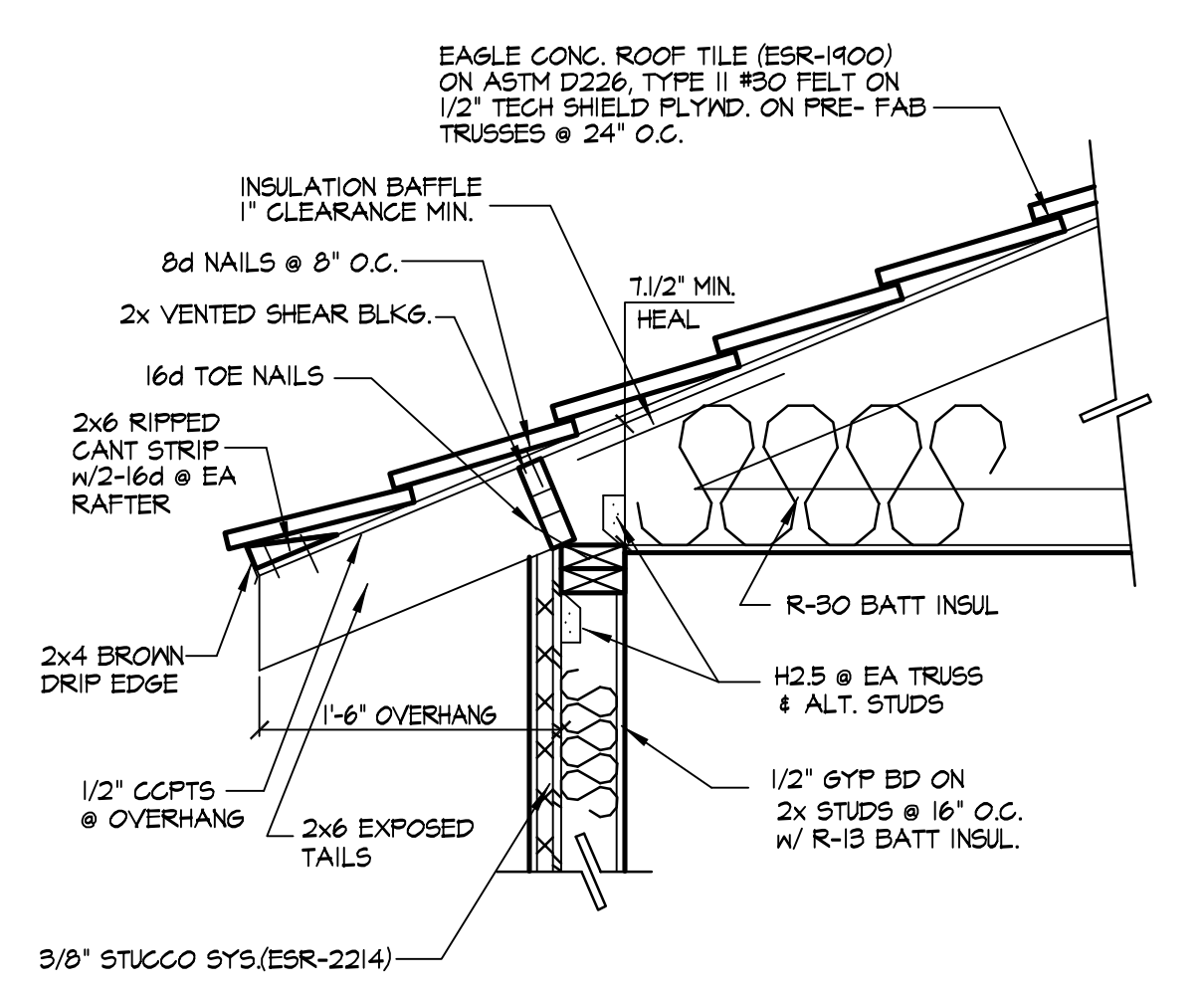
LEFT ELEVATION 'B'



5 WINDOW AWNING

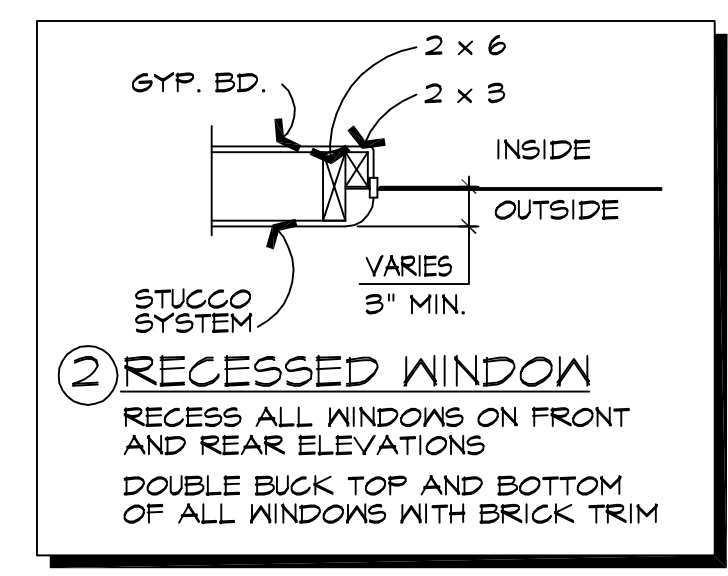


4 FASCIA DETAIL



3 FASCIA DETAIL

SAND FINISH ON FRONT ELEVATION
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION
SUPERMALL STUCCO SYS.(ESR-2214)
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4913-01)
OVER A WEATHER BARRIER CONSISTING OF (1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



2 RECESSED WINDOW
RECESS ALL WINDOWS ON FRONT AND REAR ELEVATIONS
DOUBLE BUCK TOP AND BOTTOM OF ALL WINDOWS WITH BRICK TRIM