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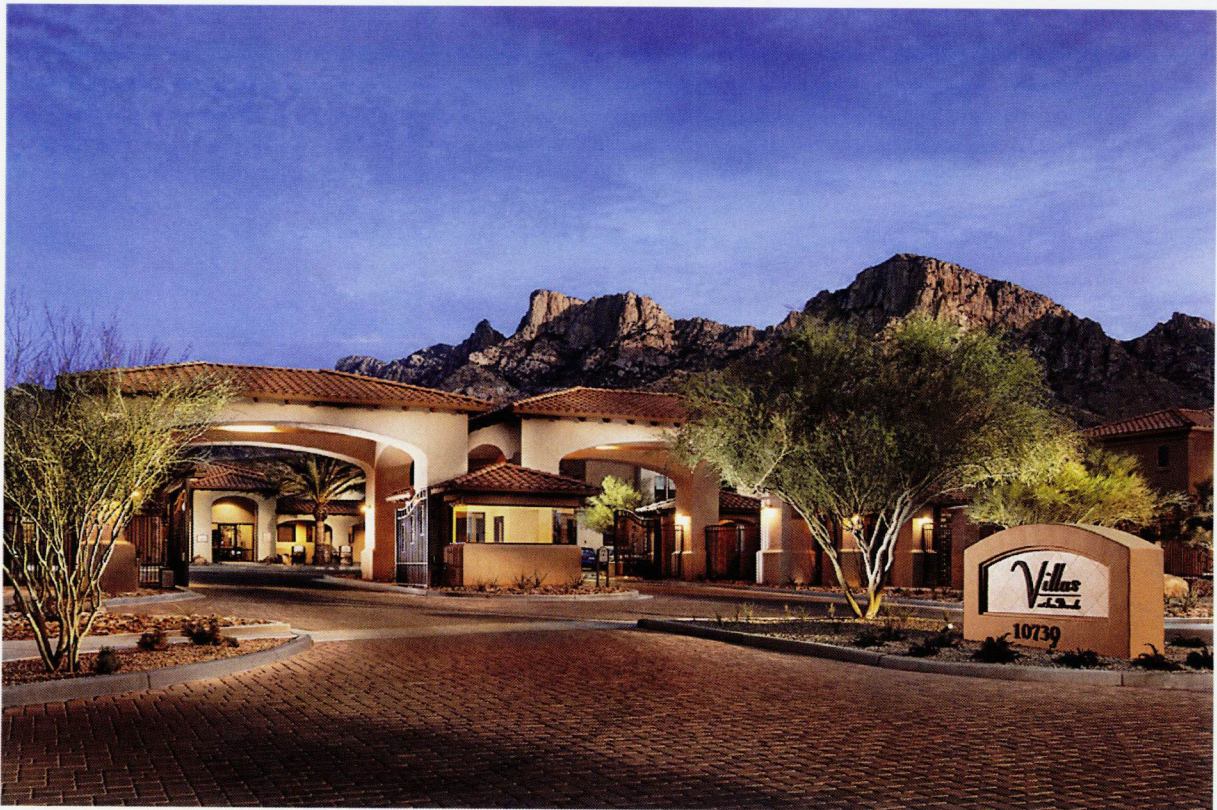
# Greenfield & U. S. 60

A Luxury Multiple-Family Community  
by



## Project Narrative

Minor General Plan Amendment, Rezoning, Site Plan Modification and Pre-Plat  
Case Nos. PLN 2015-00163



Prepared By  
Mark-Taylor & Earl, Curley and Lagarde  
Revised September 2015

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## *I. Introduction*

This is a request for approval of a Minor General Plan Amendment, a rezoning from LI PAD, C-2 and AG to RM-3 PAD and approval of a site plan and preliminary plat to develop a 20 net acre site with a high quality multi-family development of 346 units at the southeast corner of Greenfield road and U.S. 60. An aerial photograph of the property is attached as Exhibit "A1". This property has been designated for Employment uses in the General Plan for approximately 30 years, since the U.S. 60 Freeway was built but has been passed over while the surrounding area has developed. Even though the other parcels in this vicinity have for several decades already been put to productive use or are in the hands of major employers, such as Banner Health Systems, this site has remained vacant, despite heavy marketing for employment and retail uses over many years.

One of the prime reasons development of the site has not been pursued until now is the narrow frontage of this parcel on Greenfield Road (due to the diagonal alignment of the canal), the lack of left turn access to and from Greenfield Road, limited freeway accessibility and an incomplete road network to the east.

Mark-Taylor has selected this location, notwithstanding these access, frontage and configuration challenges, because it can overcome functional problems with its unique type of use and because of a built-in demand for its high-end units given the nearby medical and education campuses (and other major employers in the area), as well as the closeness to major retail and restaurant venues to the west. Indeed, Mark-Taylor has been attracted to this location because of the high concentration of jobs nearby, excellent freeway visibility (if not accessibility) and numerous nearby retail, entertainment and grocery store options.

Mark-Taylor is one of, if not, the premier developers of luxury apartment communities in Arizona as evidenced by the awards it has received both nationally and regionally over a thirty year time span. Mark-Taylor, Inc. was established in 1985 as a privately-held, Arizona-based corporation dedicated to the development, ownership, and management of luxury apartment communities.

The company's vision has always been to exceed community expectations, by delivering beautiful apartment homes that offer a true sense of livability, quality craftsmanship and a wide spectrum of resort level amenities. The designs of Mark Taylor communities have evolved over the last three decades to address the ever-changing resident lifestyle demands, which have been reflected in their market-leading performance.

In fact, many of the Mark-Taylor design features have been firsts in the Arizona market and continue to resonate with renters today, including: lagoon style pools with sand beach, prominent porte-cochere entryway, extensive fitness facilities, luxurious clubhouse and high-end interior finishes. Mark-Taylor strives to ensure that every detail that affects the apartment living experience will exceed the renter's expectations.

Mark-Taylor also offers "best in class" management services, that address even the smallest details in the apartment living experience. The Mark-Taylor team of employees enjoys longevity with the company and that means a more seasoned staff catering to the needs of each

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resident. The management teams set standards others strive to achieve and has truly taken hold of the next-generation renter through innovative technology based systems. By combining the well-recognizable Mark-Taylor design with an unequalled Mark-Taylor management team, residents truly enjoy a resort-like lifestyle unlike any other.

For this site, Mark-Taylor is proposing a development that features all of the top-of-the-market designs, architectural features, amenities and interior finishes, which should be expected in a luxury multi-family community.



## ***II. Description of Property and Relationship to Surrounding Properties***

The property is an unusually shaped five sided parcel, shown below, that is bordered by a small commercial site on the west, which has frontage on Greenfield Road, the U.S. 60 Freeway on the north, Banner Gateway Hospital campus on the east and a few large lot residential units to the south. This location has right in/right out access from Greenfield Road into the turn lane to access the eastbound on-ramp to the Freeway. This is obviously awkward access, but through this development plan, Mark-Taylor is proposing to install the missing link of public roadway to connect Banner Gateway Road at Pierpont Drive out to Greenfield Road. This will complete the critical connection between Higley Road and Greenfield Road. The property is currently zoned L1 PAD, C-2 and AG.

The site is generally level with a gentle slope to the southwest. At present, the site has been graded level over the years and is used for crop production. No other encumbrances or structures are on the property.

The General Plan Land Use designations, Land Uses, and existing Zoning for the properties surrounding the subject site are as follows:

### ***General Plan Land Use Designation:***

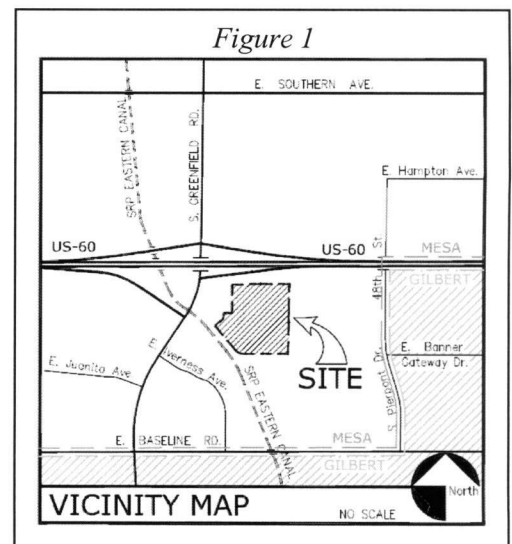
North: U.S. 60; the area further to the north beyond the US 60, is designated Neighborhoods  
South: Employment and Mixed Use Activity Center  
East: Employment  
West: Employment;  
Across Greenfield Road the designation is Mixed Use Activity Center

### ***Existing Land Use:***

North: The U.S. 60 main line, on/off ramps and a 350 ft. wide ADOT drainage control channel; Office Complex and Single-Family Neighborhood  
South: Residential Ranchettes  
East: Vacant Land Owned by Banner Health Systems for Expansion  
West: Commercial Center

### ***Existing Zoning:***

North: OC & RS-6  
South: LI & AG  
East: LI, LI PAD  
West: LI CUP



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### ***III. Minor General Plan Amendment Request and Analysis***

Mark-Taylor seeks approval of a Minor General Plan Amendment to support the companion requests to rezone the approximately 20 net acre Subject Property from LI PAD, C-2 and AG to RM-3 PAD along with approval of a site plan and preliminary plat to develop an luxury apartment community at the southeast corner of U.S. 60 and Greenfield Road and put this vacant land to productive use after decades of inactivity.

#### **A. Minor General Plan Amendment**

##### **Preface**

The Mesa General Plan has historically and currently designates the subject property as Employment. Notwithstanding intense marketing efforts over many years for employment uses, the numerous access and configuration challenges of the property have prevented any development proposal from being found. In our view, since the proposed high-end apartment development has been sited and designed in ways to compliment rather than intrude upon the adjacent Employment property to the east as noted in the General Plan, and since the property is only slightly above the threshold for requiring a General Plan Amendment and due to the benefits of connecting Banner Gateway Road between Pierpont with Greenfield Road, which will open up access to the land locked employment properties to the south and east of the site, we believe a General Plan amendment should not be necessary. However, in response to Staff's comments, the following is provided to support this request for a General Plan Amendment to re-designate the subject site from Employment to Mixed Use Activity District. This proposal provides an excellent opportunity to provide high-end rental housing in walkable distance to the Banner Gateway Medical Campus and other nearby employers. Housing is truly the missing link in this mix of employment and retail uses.

##### **Background**

This information provided herein demonstrates that the circumstances and attributes of this property have proven over the past 30 years that this particular property it is not well suited for employment uses.

Over the past four months, representatives of Mark-Taylor Inc. have met with City Staff to discuss this proposal to build 346 unit high-end multi-family units on the approximately 20 net acre site described herein. While this land is currently designated in the City's General Plan for Employment uses, the access challenges, limited frontage on Greenfield, lack of left turn access in or out of the site, configuration issues and the lack of access to the east or south have resulted in the land remaining vacant and unutilized for decades.



In preparation for, and as a result of these various City meetings, Mark-Taylor solicited professional input from numerous informed sources in the retail and industrial industries to provide market insight as to why the property has remained undeveloped.

## **1. *Site Attributes***

The subject site is flat and is currently being used for agricultural production. The subject site abuts the east side of a 4 acre (+/-) commercial site zoned C-2. The east side of the subject site abuts a parcel owned by Banner Health Systems acquired by Banner for expansion of its hospital campus. Further to the east is Banner's large campus of employment uses. To the south of the subject site is a small pocket of homestead parcels (east of the Eastern Canal) and a number of industrial parcels designated for employment uses. To the west across Greenfield Road and to the southwest are large commercial retail centers. An aerial photograph of the site and surrounding areas with the current General Plan designations is attached as Exhibit "A2". The General Plan designation on the property is shown in light magenta and the Mixed Use Activity land use designation for the nearby shopping centers is shown in light red.

This Greenfield Road freeway interchange arterial to freeway corner location was created in the mid-1980's when the Superstition Freeway was extended past Greenfield Road. This would normally have made the site desirable for retail or employment uses. Unfortunately, access to this area on the east side Greenfield Road is very limited.

The limited frontage on Greenfield Road between the Canal and the Freeway is caused by the diagonal alignment of the Eastern Canal. As a result, only right turn movements into and out of this area are possible and even that access is compromised as it is into a continuous right turn lane leading to the east bound freeway on-ramp. In addition, this area currently has no alternative access to the east or south. To address this lack of access, Mark-Taylor is proposing to dedicate and build a public road from Greenfield Road to the subject site and then beyond the subject site to the east to connect to Pierpont Drive. This new 2800 ft. long road segment will result in Greenfield Road being connected Higley Road. However, it is important to emphasize that the addition of this new road is not sufficient by itself to make the subject site sufficiently attractive for employment development. This area still suffers from very limited access due to the freeway interchange and the Eastern Canal at Greenfield Road.

## **2. *Employment Land Use Designation***

Although the City has hoped for industrial/employment or perhaps retail development of this area east of Greenfield Road on the south side of the U.S. 60 Freeway by designating it for such uses for several decades in the General Plan, the marketplace has never found the parcel suitable for such uses. In addition to the personal testimony of the property owner's broker who has been actively marketing this property to industrial and commercial users without any success for the past 10 years, the simple fact is that this particular area has been passed over while the surrounding area developed; including all of the retail commercial uses along Greenfield Road to the west and



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southwest and the Banner Gateway Hospital campus, the Kirksville Osteopathic College of Medicine campus and other major employment and smaller business park uses to the east.

So, even though the site has had the same General Plan designation since the 1980's, it has remained vacant despite its favorable interchange location. This history prompts the natural question as to whether the property might be better suited for a top quality multifamily community to support the existing retail businesses and employers in the area – the missing puzzle piece - or from a different perspective; is the property still suited for employment or retail uses given its freeway visibility. To answer those questions, Mark-Taylor consulted experts to analyze the industrial and commercial markets in the context of the site's constraints and its freeway visibility. The results of that research are summarized below and on the attached exhibits.

### Employment Market

The City has successfully created ten employment cores across the City. These locations are shown on the attached Exhibits "B1" and "B2" created by DTZ (a full service commercial real estate firm with 260 offices in 50 countries) and CBRE (the top rated real estate brokerage firm in the valley). In these 10 employment cores, the City has attracted over 100 employers with over 100,000 jobs, with the potential to double or triple these numbers at these locations with almost 16,000 more available acres ready for development. In fact, recently Mesa was successful in securing Apple's major new plant in its Gateway Employment core. In May, Apple announced it would hire as many as 500 workers at the new facility at Elliott and Signal Butte Roads. The news article from the Phoenix Business Journal, dated May 19, 2015, and an aerial photograph of the Apple plant are attached as Exhibits "C1" and "C2".

The exhibit prepared by CBRE illustrates that while major employers have located in many of the City's designated employment cores, not every parcel in these areas is best used for employment. Complimentary support uses are also critical to the success of these cores. The subject property is an example of this. And, employers also locate on property other than Employment designated properties. For example, the parcels east and west of Higley Road south of the freeway are owned by UPS and Kirksville Osteopathic College of Medicine for expansion of their campuses, but are labeled as Specialty Uses on the General Plan.

In addition to the employment cores shown on CBRE's exhibit in Mesa, the narrow notch of land between the U.S. 60 and Baseline Road in the Town of Gilbert has the following employment related elements at Banner Gateway Hospital and the Anderson Medical Center:

#### Banner Gateway Hospital

- Number of patient beds: 176
- Number of admissions: 14,129 (2012)
- Number of Emergency department visits: 48,869 (2012)
- Number of babies delivered: 4, 226 (2012)

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- Number of employees: 1,390 (2013)
  - Number of physicians on medical staff: 612 (2012)
  - Number of volunteers: 442 (2013)

Banner Anderson Medical Center

- Estimated number of employees: 275
- Estimated number of physicians: 70
- Estimated number of volunteers: 150
- Size of Outpatient Center: 133,000 square feet
- Inpatient rooms in Banner Gateway dedicated to cancer care: 76
- Radiation Oncology exam rooms: 9
- Specialty clinic exam rooms: 30
- Infusion therapy stations: 40 (12 private, 28 semi-private)

Another concern expressed during the preliminary meetings at the City was that developing the subject property as a high-end multifamily community by Mark-Taylor might adversely affect Banner's plans to expand their medical campus. Actually, the opposite is true. Banner and Mark-Taylor have, for many years, shared a unique informal partnership with mutually compatible uses. Banner sees the direct beneficial value of Mark-Taylor's unique type of resort style rental communities near their health facilities, providing their employees (and even long term care patients) with quality housing options – as well as to provide convenient and well-appointed lifestyle units for visiting doctors and nurses. In fact, Mark-Taylor just completed one of its luxury rental communities adjacent to a Banner facility at the SanTan Freeway and Alma School Road in Chandler. And specifically as to this site, Mark-Taylor has obtained a letter of unqualified support from Banner for another one of Mark-Taylor's signature projects; see Banner's Letter attached as Exhibit "D".

Finally, the new connection road (Banner Gateway Drive) that Mark-Taylor is proposing to build as part of its development, will finally link Greenfield Road to Higley Road, which again will open up circulation in the area to benefit Banner's medical campus as well as other existing and future employment uses adjacent to the U.S. 60 and to the south of the subject site. Without this new road segment, the chances of putting the industrial land to the south (east of the Greenfield estate lots) into productive use is remote for the same reason that the subject site has not developed in nearly 30 plus years of being designated and reserved for employment uses – limited access.

*Feasibility of Alternate Land Use - Retail*

In response to the City's initial comments, Mark-Taylor also requested specific retail data from DTZ as to Mesa's retail market generally and this quadrant specifically. DTZ's summary is attached as Exhibit "E1". A map prepared by CBRE showing retail vacancy rates in the vicinity of Val Vista to Sossaman north and south of the U.S. 60 Freeway is attached as Exhibit "E2". A third exhibit is attached showing vacancies at the four

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corners of Baseline and Greenfield Roads; see Exhibit "E3". A summary of the key points from these documents is set forth below:

- Retail vacancy rates in Mesa overall are the highest in the Valley at 16.2%. Chandler/Gilbert is 11.2% and Tempe is 9.3%. Pinal County is 11.9%.
- Except for Pinal County, Mesa has the lowest asking rate for retail space at \$12.00/ft./ vs Pinal County at \$11.90/ft. Chandler/Gilbert is at \$14.63/ft. and Tempe is at \$13.67/ft.
- Retail vacancy rates vary in the nearby shopping centers. On Exhibit "E2", in the area south of the freeway labeled Val Vista Greenfield South, the vacancy rate in this quadrant is 10.8%. To the north of the freeway, the vacancy rate is 14.5%. In the Superstition Mall area north of the freeway, the vacancy rate is only 1.9%, but south of the freeway, the rate is 19.8%.
- Exhibit "E3" shows there is a significant amount of vacant, undeveloped tenant space for additional retailers within all of the existing retail shopping centers at the four corners of Baseline and Greenfield Roads.

Again, the obvious missing ingredient for this area is quality residential housing to support the existing and proposed employment and retail centers. Mark Taylor's project is a perfect fit to supply that needed housing. In addition, the current owner of the property has a hotel interested in the hard corner of the site at the freeway, which is already zoned commercial. That corner parcel (which abuts the subject site on the west) is being reserved for the hotel and will enjoy joint access with the Mark-Taylor project to the new connecting road from Greenfield to Pierpont Drive being constructed by Mark-Taylor as part of its project. In addition, Mark-Taylor has created joint pedestrian access and workable routes between the proposed apartments, the future hotel, retail venues to the west and the Banner Gateway Medical Campus to the east.

Again, the conclusion is that the area's challenging access, narrow window onto Greenfield Road and odd configuration due to the Eastern Canal, have caused this area on the east side of Greenfield Road to be skipped over by retail and employment opportunities, notwithstanding its Freeway interchange location. Those challenges will be overcome with Mark-Taylor's plan that will in turn benefit both the retail and employment uses nearby.

### **3. *Economic Value to the City from Mark-Taylor's Style of Luxury Rental Housing***

Mark-Taylor has been building, owning and managing its unique brand of award winning rental communities across the valley (including Mesa) since the 1980's. In fact, they currently own and manage over 12,000 resort style apartment units in the valley. We are sure the City is frequently told by developers that they are planning to build "high end" or "luxury" apartments, but fail to deliver on those promises. By contrast, Mark-



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Taylor has consistently built, owned and managed only the best and highest level of apartment communities. They don't build anything else. And every community they build maintains its prestigious image and value over decades. (Please refer to the Mark-Taylor website [www.mark-taylor.com](http://www.mark-taylor.com) and Exhibit "F" for a listing of Mark-Taylor communities, so you can personally verify this information.

Mark-Taylor has selected this site, notwithstanding its challenges, because they firmly believe it is perfect for a unique style of use with the planned access improvements and given the built-in demand for their units with the medical and education campuses and other major employers in the area. New customers for the nearby retail, entertainment, restaurant and grocery venues to the west will also improve their sales.

Thus, Mark Taylor estimates the project will generate the following economic and tax benefits for the City:

- The project will generate approximately \$500,000 in new annual property tax revenue.
- The construction of the units will generate approximately \$1,350,000 in sales tax revenue to Arizona (part of which comes back to the City as State Shared Revenues) and \$525,000 in direct sales tax revenue to Mesa.

The community will have a total population of approximately 626 people (1.8/household); roughly 18% will be children. The average household income will be approximately \$72,000-\$75,000. Average resident age will be approximately 37. The highest projected rent will be \$1,650 for a three-bedroom unit, which is 1,495 interior sq. feet, which exceeds the size of some single family houses. The average projected rent will be \$1,220, with an average unit size of 1,184 interior sq. feet. These tenants will be spending their disposable income in the nearby retail centers.

A copy of the site plan is attached as Exhibit "G1" and photos of Mark-Taylor's award winning communities is attached as Exhibit "G2".

#### **4. Proposed Mixed Use Activity District General Plan Designation**

The Mixed Use Activity District land use designation was created for areas where the City envisions significant community and regional retail activity taking place and on sites that are typically over 25 acres in size. These developments would include: *"malls, power centers, or lifestyle centers that are designed and developed to attract customers from a large radius. These districts often include other uses such as office, entertainment and residential.* These types of developments would typically feature Big Box development (individual retail spaces in excess of 80,000 sq. ft.), but a mix of uses is encouraged so as to be *"strong and viable centers of commercial activity that attract people to unique shopping and entertainment experiences."*



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In light of these statements in the General Plan and given the fact that the Mixed Use Activity (MUA) District abuts the subject site on the southwest, it is a very appropriate choice to expand the designation up and onto the subject site. And clearly, the form of the commercial centers to the south and southwest are very consistent with the suggested guidelines for MUA which are as follows from the General Plan:

- *Building heights typically ranging from one to three stories;*
- *Lot coverage is typically under 30% but could increase with infill development;*
- *Usually have one or more anchor buildings, which typically have a large building mass with associated shops and pad sites;*
- *Building and parking fields should be located on the property to establish a connection to the street and promote walkability between buildings;*
- *Size and scale of parking fields is broken up to improve visual appearance, reduce heat islands, and improve walkability;*
- *Highest densities and intensities when in conjunction with transit district;*
- *Usually more suburban in design and form with auto dominant characteristics, but more urban forms that balance autos with pedestrians are encouraged for new development and redevelopment."*

A complimentary component of any of these Mixed Use Activity Districts is high density housing to support the retail and provide walkable housing options for employers. Had this site had true viability for more retail or employment, it would not have been passed over for so many years as the adjacent sites developed. A housing component at the caliber Mark-Taylor builds is appropriate here.



Figure 2  
**EXISTING GENERAL PLAN**  
 Land Use Map

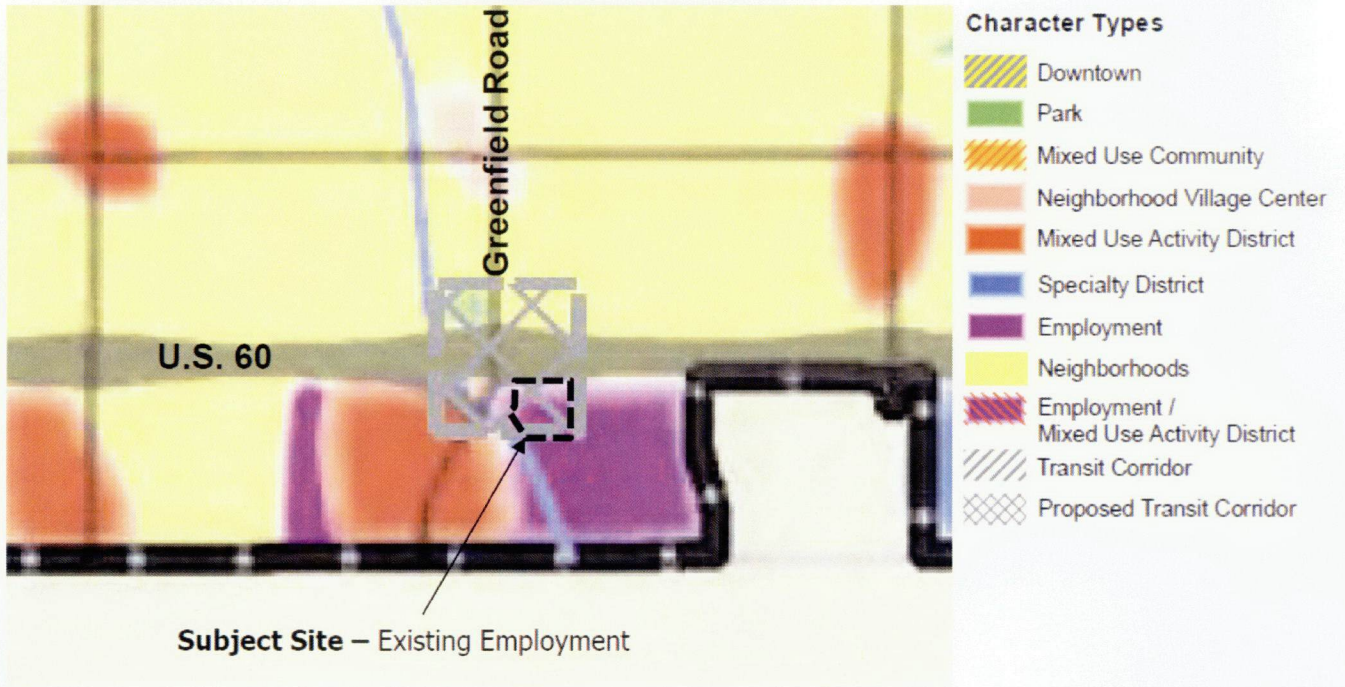
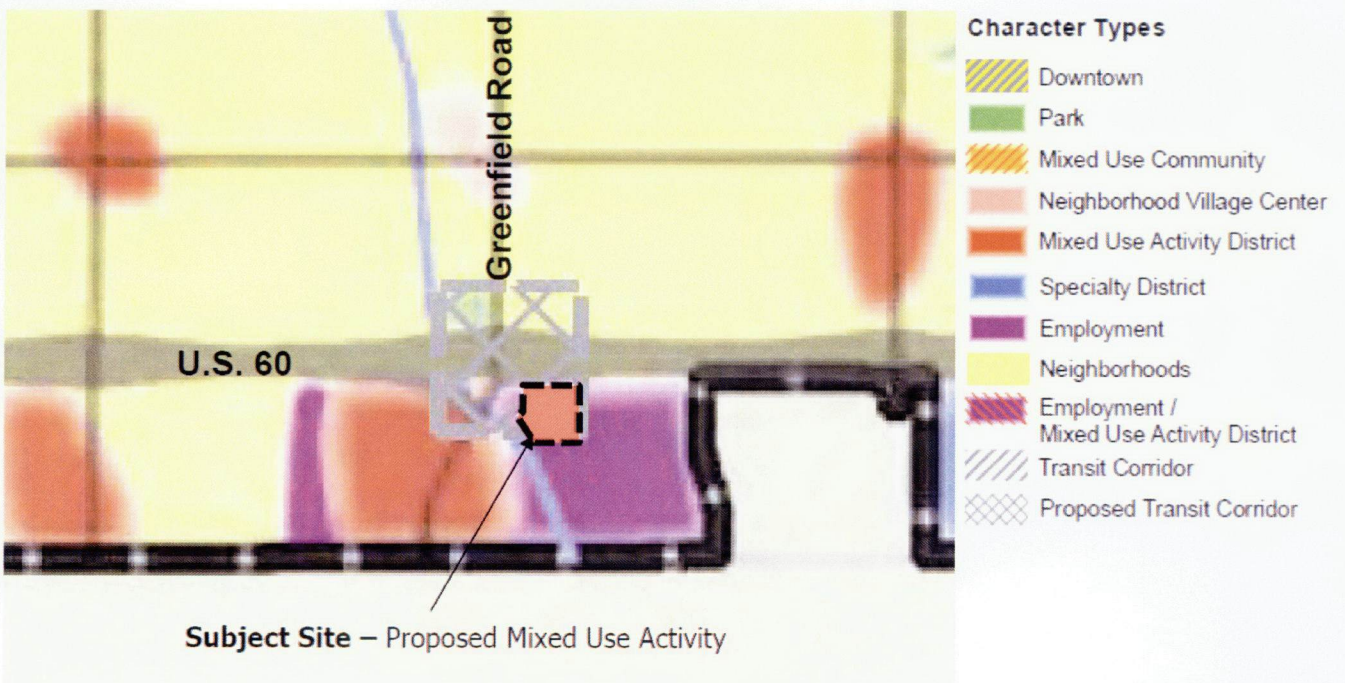


Figure 3  
**PROPOSED GENERAL PLAN**  
 Land Use Map





A key consideration in the City's evaluation of a General Plan amendment is the importance of connectivity between uses. This is a departure from past General Plans and Zoning Ordinances, which embraced the suburban style of development. To address that point, we have enhanced the pedestrian and bicycle linkages between the property and retail venues to the south and employment to the east.

At this point in this larger area's suburban style of development, the distances to be walked can be significant. The northeast corner of Banner Gateway Drive and Pierpont has a very deep landscaped setback and the commercial centers along Greenfield Road also have a number of very deep landscape and building setbacks. All of these developments were built at a different time when the City's vision for this area was different. It will take time to incorporate the new vision and unique solutions will need to be constantly considered as the City implements a different philosophy while taking into account existing conditions. So while the area has an established suburban development pattern that is compatible with vehicular access, we understand that it is still important to create an environment where people will be encouraged to walk, or when the distances are significant, be encouraged to ride a bicycle or other alternate forms of transportation.

In that regard, we have created a strong landscaped and gated pedestrian access through a portico in the southeast portion of the site that connects the living units to what will become Banner Gateway Drive and then on pedestrian sidewalks to the east towards the medical campus and commerce park development to the southeast as well as one at the entrance to the hotel development parcel on the west. This sidewalk from the living units will meander for interest and be lined with shade trees to enhance the pedestrian experience. As the City implements a more walkable environment, care must be taken to analyze the area around each development request. We believe this proposal assesses the City's goal to enhance pedestrian activity ("walkability") and "bikeability", while working within the parameters established by the existing types of suburban development already in the area.

### **Conclusions of Minor General Plan Amendment Analysis**

- *Does the proposed amendment constitute an overall improvement to the Mesa 2040 General Plan?*

Yes. Mesa's General Plan has made it very clear in Goal 5 of the Economic Development Element that requests to change land with an employment designation to a residential designation will be reviewed very carefully. We have shown in great detail that the subject property is not suited for either employment or commercial land uses. On page 4-11 of the 2040 General Plan, it states that new multi-residence housing "should be thought of and designed with the goal of providing quality, long-term housing for those who choose this form of housing rather than simply cheap transient housing for those who cannot afford anything else." That is precisely the type of development proposed in this application. Mark Taylor builds only high-quality housing for discerning tenants who choose this resort style, highly appointed and amenitized rental community. And Mark-Taylor has a built-in relationship with Banner to address their specific employee and patient needs.



Almost 30 years of history have demonstrated that the challenges of this property are inconsistent with an employment or commercial designation. As such, and in light of all of the information presented herein, approval of this request is a thoroughly vetted and reasonable action and adding in a high-end rental housing component into the fabric of employment and retail uses fits naturally.

- *Is the proposed amendment consistent with the intent of the Mesa 2040 General Plan and other adopted plans, policies and ordinances?*

Yes. It is not the intent of the General Plan to stifle development of land in the City, but to guide quality, well balanced uses. Thus, after 30 years of changing circumstances, it is worthwhile to consider alternatives for this long vacant site. For all of the reasons set forth herein, this application supports the following Policies and Strategies of the 2040 General Plan:

Economic Development Goal S3: *Create interesting and exciting neighborhoods and commercial, educational, and cultural amenities that attract and retain executives and professionals.*

Land Use S1: *"Update and adjust land use tools as necessary to respond to changing community needs and implement the General Plan."*

Character Areas P4: *"In areas with the Mixed Use Activity District, character development will be reviewed for the opportunity to enhance the vitality of these districts by providing the right mix of uses to meet community and regional needs, and for compliance with any approved sub-area or neighborhood plan for the specific area."*

Character Areas P6: *"In areas with the Employment District character, development will be reviewed for the opportunity to maintain and enhance employment options within the City of Mesa; areas with this character type are important to the long term vitality of the community and need to be protected from incompatible development types. Review shall also consider compliance with any approved sub-area or neighborhood plan for the specific area."*

Land Use S1: *"Update and adjust land use tools as necessary to respond to changing community needs and implement the General Plan."*

As noted earlier, Mark-Taylor has selected this site, notwithstanding its challenges, because they firmly believe it is a perfect fit for a unique style of residential use with the planned access improvements and given the built-in demand for their units with the nearby medical and education campuses and other major employers in the area. New customers for the nearby retail, entertainment, restaurant and grocery venues to the west will also improve their sales.

- *Is the proposed amendment significantly altering existing land use patterns?*

No. Approval of this request will not by itself significantly alter land use patterns. The land immediately west of the subject site is already zoned commercial and is planned for a hotel. The land to the east of the subject site is owned by Banner Health Systems and is planned for an expansion of their campus. A letter from Banner indicating their support for high quality



housing that supports their campus and its employees and related support Staff has been submitted. (The Mesa 2040 Mesa Transportation Plan states that there are 8,287 Mesa based Banner employees.) The industrial land to the south and east will likewise receive a boost from the new access being proposed and housing alternative.

- *Is the proposed amendment causing significant increased traffic on the existing roadway network?*

No. A new roadway is proposed to link up Greenfield with Pierpont which will result in Greenfield finally being connected to Higley Road – long a City goal. Traffic generated by a multi-family development is less than retail or employment uses. The projected average daily trips from a business park development as compared to this 346 unit multiple-family apartment complex would be slightly higher. A business park would be projected to generate approximately 2,352 trips per day, where this proposed development is projected to generate approximately 2,076 trips per day.

- *Will the proposed amendment degrade the health and safety of the residents?*

The general plan shows this area for industrial and mixed use. There are only a few ranchettes to the south and they have been their own enclave. The new connecting roadway will also benefit these residents to have alternative access.

- Is there a significant impact on public infrastructure (e.g. parks, schools, drainage, utilities, etc.)?

This amendment would have no adverse impact on public infrastructure over the current designation.

#### Parks

There are two public parks and an Aquatic center within 2 miles of the site. However, due to the renter profile for this type of facility, virtually all of the open space amenities, fitness and recreation needs of the residents in this development will be provided on-site. The Mesa Code requires 1.39 acres of open space, where this plan provides a very generous 4.3 acres of open space. As earlier noted, open space amenities will include a large resort sized pool, numerous ramadas, a sand volleyball court, playground equipment, informal and formal gathering areas with several barbeques, state-of-the art fitness center and luxurious 1,900 sq. foot clubhouse. (See photographs of these amenities in several existing Mark-Taylor Communities attached as Exhibit "H1", "H2", and "H3")

The benefits of living in this community will extend beyond the luxuries of the individual apartment units to the attractively landscaped and meticulously maintained grounds and other earlier noted resort style amenities.



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Grading and Drainage

In accordance with the City of Mesa requirements, on-site retention for the 100-year, 2-hour frequency storm event will be provided. All grading and drainage will be handled on-site with no impact on any surrounding property.

Domestic water

There is a 12" waterline in Greenfield Road with sufficient capacity to provide water service to this project. A design report including projected average and peak water demands, required fire hydrant flows and a hydraulic analysis demonstrating sufficient capacity in the planned water system will be provided at the time the water system design is submitted for review.

Sanitary Sewer

There is a City sewer stub-out at Greenfield and Eastern Canal, which is available to serve this development.

This is an appropriate location for high density residential uses given the context of the current uses in the area, the lack of real development activity on the property and its location on a state highway.

Although this request seeks a multifamily land use in an Employment area, high-quality multifamily uses in employment areas is not unusual or unwelcome. Again, we believe a high-end multifamily community at this location would benefit and enhance the nearby existing and designated employment and retail land uses. This use as designed fits into the fabric of the area and latitude of the General Plan. The remaining undeveloped parcels in the area will – through this action – become more viable and are therefore more likely to be developed consistent with the Employment designation. Should Staff reach the same conclusions we have after reviewing the above, we would withdraw this Minor GPA request.

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## ***IV. Description of Rezoning, Site Plan and Preliminary Plat Requests***

### **A. Rezoning and Site Plan**

High density residential land uses (15.0 + du/ac) are appropriate in locations that offer direct arterial road access, connections to potable water and sanitary sewer, and proximity to public safety services; all of which are attributes of this site. High Density Residential areas can serve as buffers between principal/arterial roadways and other lower density residential areas or to support existing and planned employment or commercial service areas. In this case, the development of this property will help support the commercial and office uses east and west of Greenfield Road from Baseline Road to US 60, as well as and the planned expansion by Banner Health Systems of its hospital campus on its land adjoining the subject site. It will also benefit and service the Kirksville Osteopathic College of Medicine and other small and large employers nearby.

#### Community Details

Mark-Taylor is proposing to build a multi-family community of 346 resort-style rental units (a density of approximately 17.3 du/gross ac.) for residents of Mesa and the surrounding neighborhoods. This area is an ideal location for a new Mark-Taylor community for several reasons. First, is the high concentration of quality jobs nearby, excellent freeway accessibility, the proximity to Banner Gateway Medical Campus and the Anderson Cancer Treatment Center, the Kirksville Osteopathic College of Medicine campus and a wide variety of nearby retail, entertainment, restaurant and grocery options.

Second, this submarket lacks sufficient high-end rental options – a problem aggravated by the general aging of the existing apartment inventory within Mesa. The recession stifled new development throughout the greater Phoenix area over the last seven years, causing a serious gap within existing development. Yesterday's class-A rental options built in the mid 1990's have aged and due to advances in technology, these rental units have become outdated (and in some cases obsolete) for today's sophisticated renter. The result is a lack of attractive options for the 'discretionary renter,' who is seeking a rental environment due not only to its convenience, but also wants top-of-the-market designs, features, interior finishes, and luxury amenities. This proposed Mark-Taylor project will be a product of their 27-year design evolution and will be built to the highest specifications of any apartment community within the greater Phoenix area.

Third, Banner and Mark-Taylor have, for many years, shared a unique informal partnership with mutually compatible uses. Banner sees the direct beneficial value of Mark-Taylor's unique type of resort style rental communities near their health facilities, providing their employees (and even long care patients) with quality housing options – as well as to provide convenient and well-appointed lifestyle units for visiting doctors and nurses.



The community will have enhanced exterior appointments as well as new floor plans that cater to the desires of today's demanding renter. There will be six (6) unique floor plans with four (4) variations all having from one to three bedrooms; with an average size of 1184 s.f. (approximately 250 s.f. larger than the average new apartment community being built today) in buildings that are two and three stories tall.

Perhaps the most immediately recognizable feature will again be the guard-housed grand portecochere entrance, which greets residents and evokes a sense of 'arrival.' The entire community will be gated in an extensively landscaped setting with wrought-iron fencing, accent block and color coordinated masonry walls. The exterior elevations evoke a Spanish Colonial theme with varied and interesting elevations, including: arched openings, round columns, exposed rafter tails and wrought iron detailing. Photographs of comparable Mark-Taylor communities have been included with this application in Exhibit "H1-H3" to illustrate these enhanced architectural, landscaping and resort amenity features.

Spacious floor plans will include state-of-the-art interior amenities, such as: stainless steel kitchen appliances, kitchen islands, granite countertops, custom cabinets, pendant lighting, distressed wood plank flooring, granite bathroom vanities, rounded wall corners and arched hallway entries are included. Other practical features include: full-size washers & dryers, frost-free refrigerators with icemakers, dishwashers, microwaves, linen closets, ceiling fans in most rooms, private balconies with built-in storage areas and optional intrusion alarm systems.

The benefits of living in this community will extend beyond the luxuries of the individual apartment units to the beauty of the overall community. In terms of amenities, the community will offer residents the opportunity to work out at the industry-leading fitness center, lounge at the over-sized lagoon pool or relax under spacious ramadas to enjoy the sound of a splashing waterfall or unwind in the whirlpool spa. The community will also have a 1,900 square foot clubhouse area for parties and special events, where guests can take advantage of the large plasma screen TV, lounge and a fireplace- centered living room. The clubhouse is equipped with a complete kitchen, granite-topped bar, fireplace, restrooms and dual living room areas.

The overall open space in the community is very generous. The site plan is divided into two clusters of buildings which are centered around large open space amenities that are 90,000 and 97,000 sq. ft. in area; the size of small parks in other developments. Mesa requires 1.39 acres of open space for a site of this size and density but this plan provides a total of 4.3 acres of open space.

To address the limited access off Greenfield Road, Mark-Taylor will be installing a connecting public street to the east to tie into Banner Gateway Boulevard that will give the project convenient access to Higley Road on the east and via Pierpont Drive to Baseline Road on the south. While these additional access routes may be somewhat circuitous and lack the convenience and visibility desired by retailers and other businesses, they work well for renters.



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## PAD Overlay

The purpose of the PAD overlay is to:

1. Slightly reduce the amount of required parking. City Code currently requires a parking ratio of 2.10 per unit. Mark-Taylor is in a unique position to analyze actual parking demands for their style of apartments, since they have been building, owning and managing apartment communities for almost 30 years and currently manages over 12,000 units around the valley.
2. Seek relief from 11-5-5(D)3b which requires that: "All units located along public rights-of-way must have the primary building entrance or individual unit entrances facing this right of way."
3. Seek partial relief from Sec. 11-30-4: Fences and Freestanding Walls to allow an 8 ft. tall wall in combination with steel fencing to be located in the required street/front yard setback.

### **Parking Reduction Request**

Based upon this extensive current experience, Mark-Taylor is proposing a ratio of 2.0 spaces, or a reduction of only 5.8% for the project to correspond to the proposed mix of units: 30% 1 bedroom (102 units), 54% 2 bedrooms (186 units) and 18% 3 bedrooms (58 units). A ratio of 1.8-1.9 spaces per unit has repeatedly proven to be ideal to meet, and actually exceed the actual parking need at their projects, and reduce the amount of asphalt surface area – an objective of the City. On pages 3-4 and 3-5, of the Mesa 2040 General Plan it says:

*"The Salt River valley is known for its long, hot summers. Data collected over the years shows that the average temperatures are rising, particularly in the urban areas due to heat gain from the built structures (the heat island effect). That is why, in a desert environment such as ours, trees and shade are a vital design element in urban design for the creation of place, improving walkability and providing a connection of spaces and activities. Shade can be provided by both manmade structures and trees, but trees have the added advantage of helping improve air quality and to reduce temperatures."*

On page 7-18 it says:

*"Size and scale of parking fields is broken up to improve visual appearance, reduce heat islands, and improve walkability"*

Finally, on page 9-5 it says:

*"Land use designations incorporate several basic planning concepts relating to energy consumption. An example would be to locate higher density residential neighborhoods near employment centers reducing the distance and amount of energy needed to move between the uses during a daily commute."*

As noted earlier, the amount of open space provided on site is extensive. Approximately 15,000 sq. ft. of open space would have to be removed and replaced with asphalt to provide another



double bay of parking for 43 parking spaces. This not only reduces open space but increases the amount of asphalt on the property; a swing of over 30,000 sq. ft. when the currently proposed amount of parking is sufficient.

By allowing this higher density multi-family development in close proximity to the employment center to the east, and by only requiring as much asphalt as is necessary to provide sufficient parking for this development based on Mark-Taylor's years of experience, we believe reducing the number of required spaces in this case is being responsive to the Mesa General Plan.

As noted earlier, a key consideration by the City when reviewing new development is the level of connectivity to a larger area. However, this area has an established suburban development pattern with developments having large building and landscaped setbacks. The objective here is therefore to create a friendly environment that will encourage people to walk to jobs and retail. In that regard, we have created a landscaped and gated pedestrian portico in the southeast portion of the site that connects the development to the future Banner Gateway Drive for tenants in the complex to walk to the east toward the Banner Gateway medical complex and west to the future hotel and retail to the southeast as well as one at the entrance to the development on the west. The sidewalk from the subject site will be curvilinear with shade trees to enhance the pedestrian experience to the hotel/retail to the west and employment venues to the east. People living in the complex and working in the nearby employment businesses can easily walk to work.

Also in support of the parking variance is the fact that residents can function without a car in this area. The adjacent hotel and large retail complexes to the west and east are a short walk or bicycle commute. For daily shopping needs, many of our daily, weekly or monthly needs can be met through on-line retailers who deliver.

A resident can indeed live at this location without having a car. We have inventoried the uses and find all types of commercial retail and service businesses that support daily and weekly needs. Wal-Mart alone can satisfy all of these needs and it is easily accessed by bike and has bike racks for securing a bicycle. LA Fitness, Starbucks, Hobby Lobby, barbers, dentists, restaurants, both fast food and sit down, banking, Sportsman's, Game Stop, home furnishings, cellular phone providers are all in this area.

#### **Building Entrances Must Face Right-of-Way**

Section 11-5-5(D)3b of the Zoning Ordinance that: "All units located along public rights-of-way must have the primary building entrance or individual unit entrances facing this right of way." Were this standard to be applied to this particular situation, we believe several unforeseen and unintended consequences would arise.

First, the new local commercial street, the extension of Banner Gateway Drive is planned as an 80 ft. right-of-way with three (3) lanes; a center turning lane, two travel lanes and two (2) bicycle lanes and no parking. The fronts of these units would therefore face onto a street, where no on-street parking is allowed. The parking for these units would not be convenient and would reduce the marketability of these units as they are no longer connected to the rest of the complex. They will orient onto a street with industrial planned on the other side. Industrial uses typically have some truck traffic, which is fine on the perimeter of this complex,



but not at the front door of units. The benefits this Code Section was designed to achieve would not be achieved here and would, unfortunately, hurt the quality of this community's living environment. There just isn't any advantage to have units in this proposed complex front onto a local commercial street. The residents of units fronting on this street would have to go outside of the community to get into their unit. However, to address this goal, Mark-Taylor has significantly enhanced the street elevation of the carriage units.

### **Visible Parking**

In Staff's comments, it was suggested that this site plan layout would require relief from Sec. 11-5-5(D)1 of the Zoning Ordinance, which requires that the total amount of property frontage on which on-site parking is visible from the street shall not exceed 30% of the lot frontage and it was thought that the parking on the south frontage exceeded that requirement. We understand how this conclusion might be reached when viewing the Theme Wall section in the submitted plans. However, in the revised plans submitted with this narrative, the wall height and openings have been varied to comply with this standard.

The perimeter wall is exceptionally attractive due to the integration of the Carriage Units, materials used, the selective use of iron fencing, and the undulation of the wall plane in and out by approximately 7 ft. At this point, we believe the visibility of any parking from future Banner Gateway Drive is well below 30%.

### **8 ft. Tall Perimeter Fence**

Sec. 11-30-4: Fences and Freestanding Walls limits walls and fencing in a street or front yard to 3.5 ft. 4.5 ft. if topmost 1.5 feet is visually transparent and not opaque. This is a gated community. The average household income will be approximately \$72,000-\$75,000. Average resident age will be approximately 37. The highest projected rent will be \$1,650 for a three-bedroom unit, which is 1,495 interior sq. feet, which exceeds the size of some single family houses. A secure community attracts the types of professionals who work at Banner and other employment types of uses the City seeks in this area. The perimeter of this gated community is proposed to be secured with a combination of 8 ft. tall wall and wrought iron fencing. We are requesting that the wall/fence be allowed in the required setback for approximately 400 ft. of the 795 ft. length of the wall/fencing. The purpose is to meander the wall for architectural and pedestrian interest. The architecture of the carriage units facing the collector street has also been enhanced to essentially have the appearance of dual fronts.

## **B. Preliminary Plat**

As part of this application, we are requesting approval of a two (2) preliminary plat. This plat creates the subject lot and defines the remaining commercial site to the west. This plat also dedicates the extension of Banner Gateway Drive along the site and commercial lot out to Greenfield Road. A separate Map of Dedication prepared and submitted by Mark-Taylor and signed by Banner will be necessary to dedicate the balance of Banner Gateway Drive east to Pirpont.

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## V. Conclusion

In our view, this request is consistent with the intent of the General Plan. The General Plan states that the elements of a strong economy include:

1. A favorable business climate;
2. Having skilled and knowledgeable human capital;
3. Quality employment centers having a sense of place;
4. Regional collaboration;
5. The necessary infrastructure to support business or planned uses;
6. Retail redevelopment and revitalization.

In the simplest of terms, the subject site does not have the physical characteristics to be able to contribute these elements directly into Mesa's economy. However, what this site can do is support these elements by providing housing of a quality level desired by the high paying jobs the City desires to attract and maintain in its employment cores. We have previously demonstrated that this site is not physically suited for either employment or retail development, but its role as a complimentary component of a larger employment area is important and achievable.

Economic Development strategy S3 states; *"Create interesting and exciting neighborhoods and commercial, educational, and cultural amenities that attract and retain executives and professionals."* High quality housing close to job cores has proven that it will aid the City in both supporting existing employers in this area, as well as attracting new and/or expanded employers that in turn contribute to Mesa's overall economy and quality of life.

Based upon the analysis and information provided herein, we believe this proposed new development is consistent with the overall intent and goals of the Mesa General Plan 2040, is an appropriate rezoning request and will be an asset to the City, residents and area employers.

O:\INDEX\MARK-TAYLOR\US 60 & Greenfield\Docs\Rezoning\2nd Submittal\Rezoning Narrative Final with Changes Highlighted 9-15-15 w GPA .doc



15' PARKING STRUCTURE SETBACK (FWY)  
30' BUILDING SETBACK (FWY)  
REFUSE ENCLOSURE  
45' 3-STORY BUILD SETBACK (TYP.)  
30' 2-STORY BUILD SETBACK (TYP.)  
PROPERTY LINE (TYP.)  
20' 1-STORY BUILD SETBACK (TYP.)  
NOT A PART  
GREENFIELD RD  
SRP EASTERN CANAL  
OLD GREENFIELD RD  
VEHICULAR GATES (TYP.)  
UNDERGROUND RETENTION  
PORTE-COCHERE  
CURRENT PROPERTY LINE (TYP.)  
PROPOSED 80' R.O.W.  
PERIMETER WALL (TYP.)  
PROPOSED PUE  
20' FRONT BUILDING SETBACK  
20' BUILDING SETBACK  
CURRENT PROPERTY LINE (TYP.)  
CURVE SIGHTLINE  
UNDERGROUND RETENTION  
POOL  
CABANA  
LEASING/AMENITY BUILDING  
MAILBOX  
PLAY STRUCTURE  
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### CONCEPTUAL GENERAL NOTES

1. CONCEPTUAL LANDSCAPE PLAN IS SCHEMATIC IN NATURE. AT THE TIME OF LANDSCAPE CONSTRUCTION DRAWINGS ACTUAL LOCATIONS, QUANTITIES, SIZES, AND SPECIES SHALL BE DETERMINED AND WILL BE PER CITY CODES.
2. ALL TREES USED WITHIN THIS PROJECT SHALL BE NURSERY GROWN. EXACT LOCATIONS AND QUANTITIES SHALL BE DETERMINED ON LANDSCAPE CONSTRUCTION DRAWINGS. ALL EXISTING TREES SHALL BE PROTECTED DURING CONSTRUCTION.
3. ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
4. ALL PLANT MATERIAL SHALL BE INSTALLED PER CITY REQUIREMENTS. PLANT MATERIAL INSTALLED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE OF A SPECIES THAT DOES NOT GROW TO A HEIGHT OF MORE THAN 30" AND SHALL BE MAINTAINED PER CITY REQUIREMENTS.
5. ALL NON-TURF AREAS SHALL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
6. THE RETENTION SHOWN ON THE PLANS IS CONCEPTUAL IN NATURE. REFER TO THE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONFIGURATIONS.

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9. ADDITIONAL PLANT MATERIAL MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THIS PROJECT.

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Mark - Taylor Development  
Greenfield Rd. & US-60  
SEC Greenfield Rd. & US-60 — Mesa, AZ

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2015 September 14

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**LS-1**

COLLABORATIVE V  
DESIGN STUDIO INC.  
7116 EAST 1ST AVE.,  
SUITE 103  
SCOTTSDALE, ARIZONA  
85251  
OFFICE: 480-347-0590  
FAX: 480-656-6012





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MISCELLANEOUS	
	Decomposed Granite 2" depth in all planting areas (Typ.)
TURF	Hybrid Bermuda Sod w/ 4" Extruded Concrete Header (Typ.)

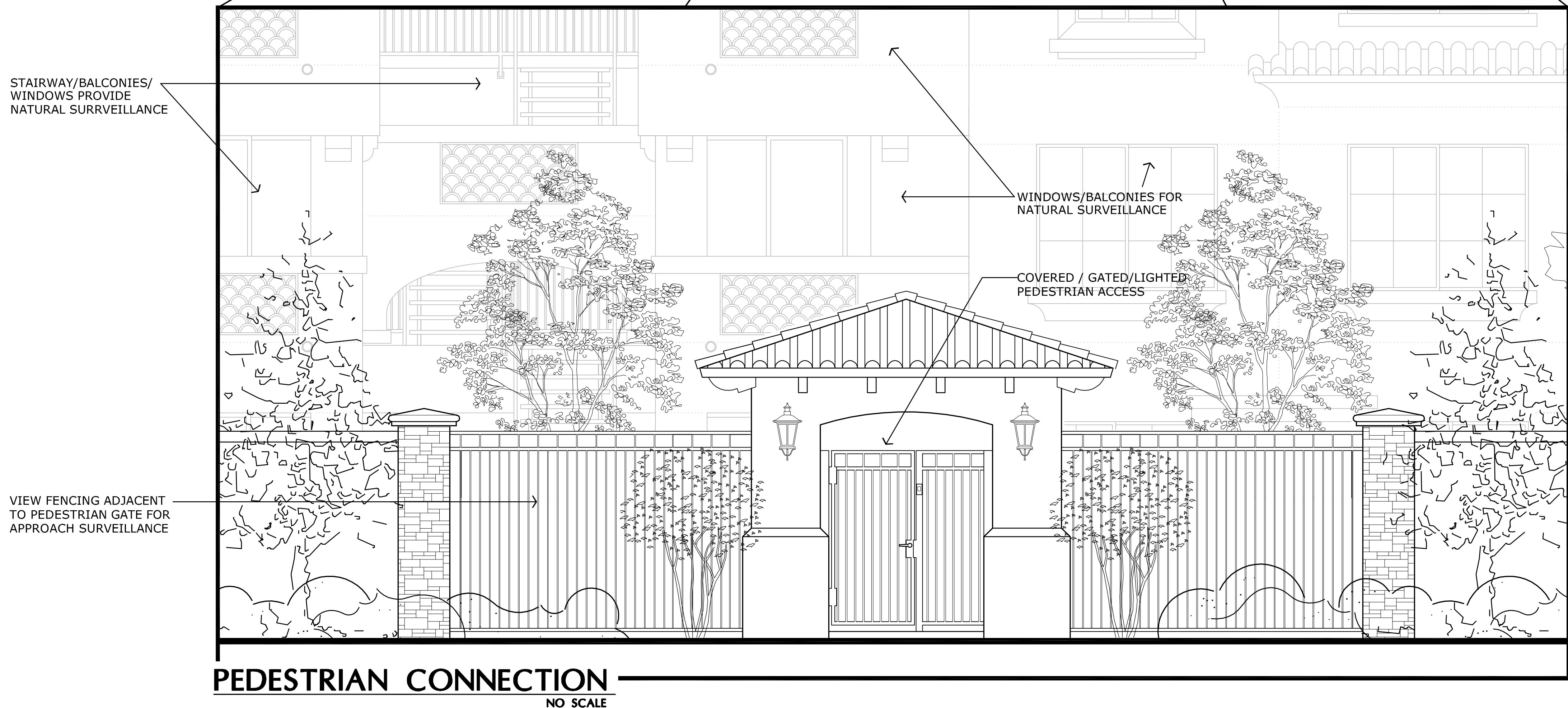
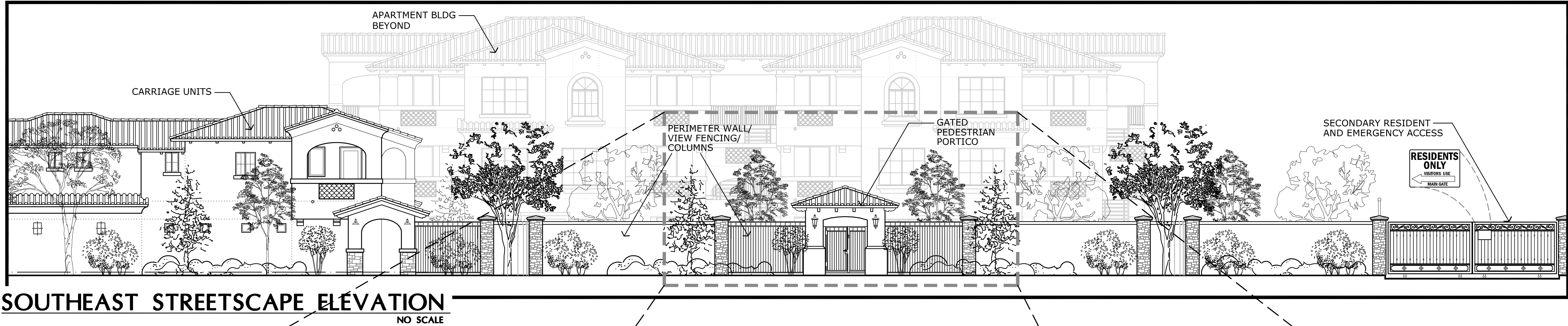
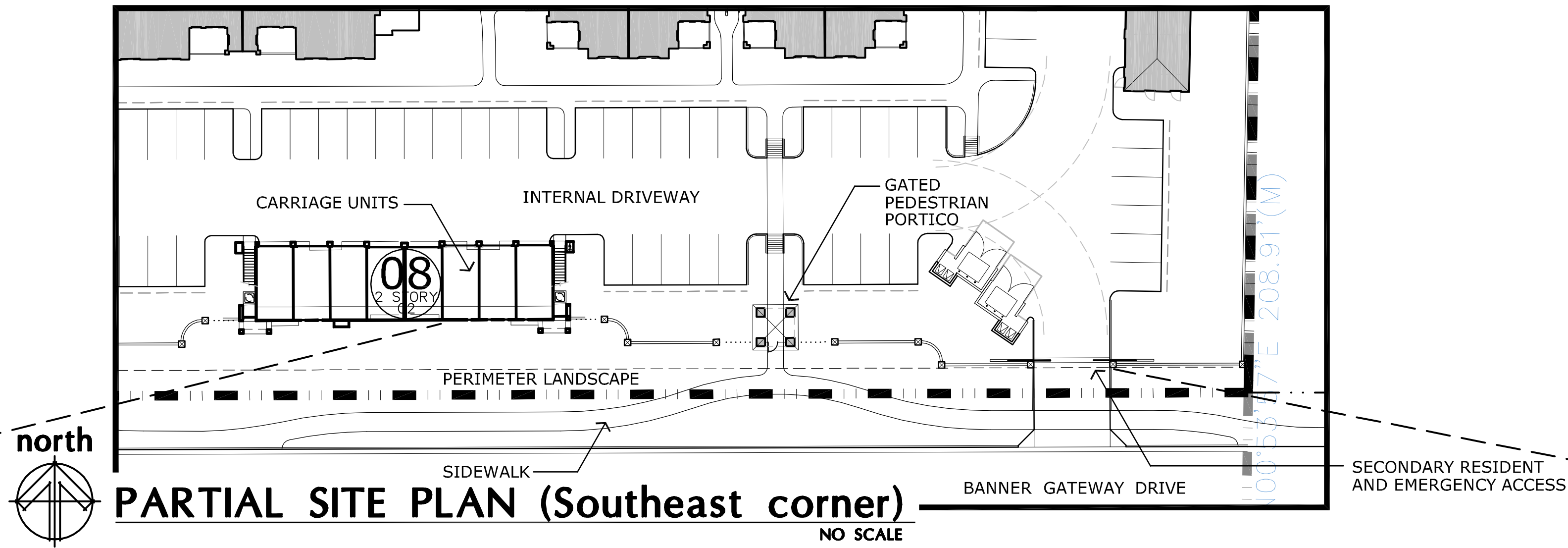
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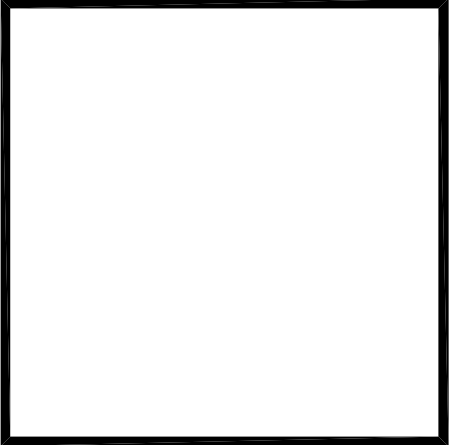


ARCHITECTURAL  
DESIGN GROUP  
6623 North Scottsdale Road  
Scottsdale, Az. 85250  
480-991-9111



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Mark - Taylor Development  
*Greenfield Rd. & US-60*  
SEC Greenfield Rd. & US-60 Mesa, AZ



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Plan Check No: -

Preliminary - Rezoning

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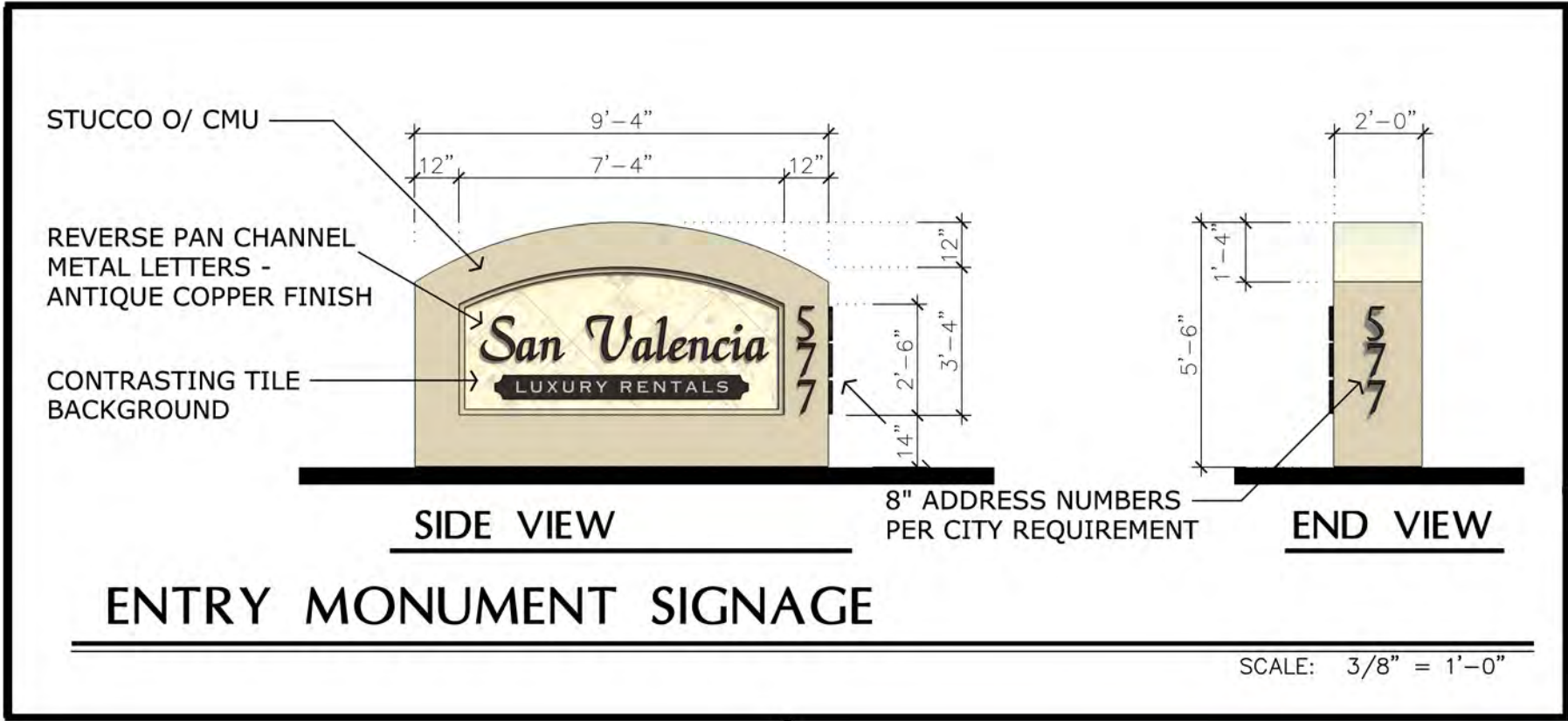


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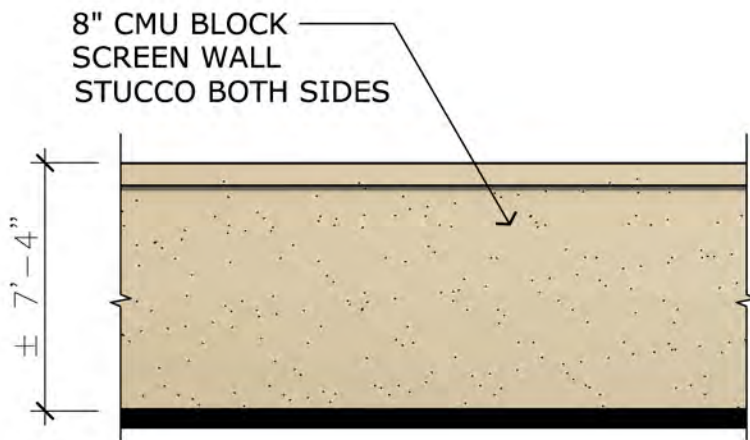


ENTRY DRIVE / PORTE COCHERE

SCALE: 3/16" = 1'-0"



THEME WALL / ENTRY / FENCING / SIGNAGE



PERIMETER WALL

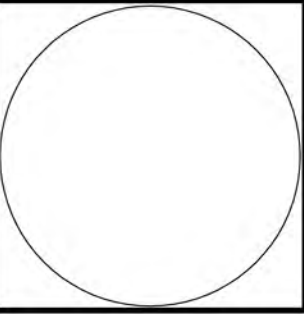
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WALL / FENCING

SCALE: 1/4" = 1'-0"

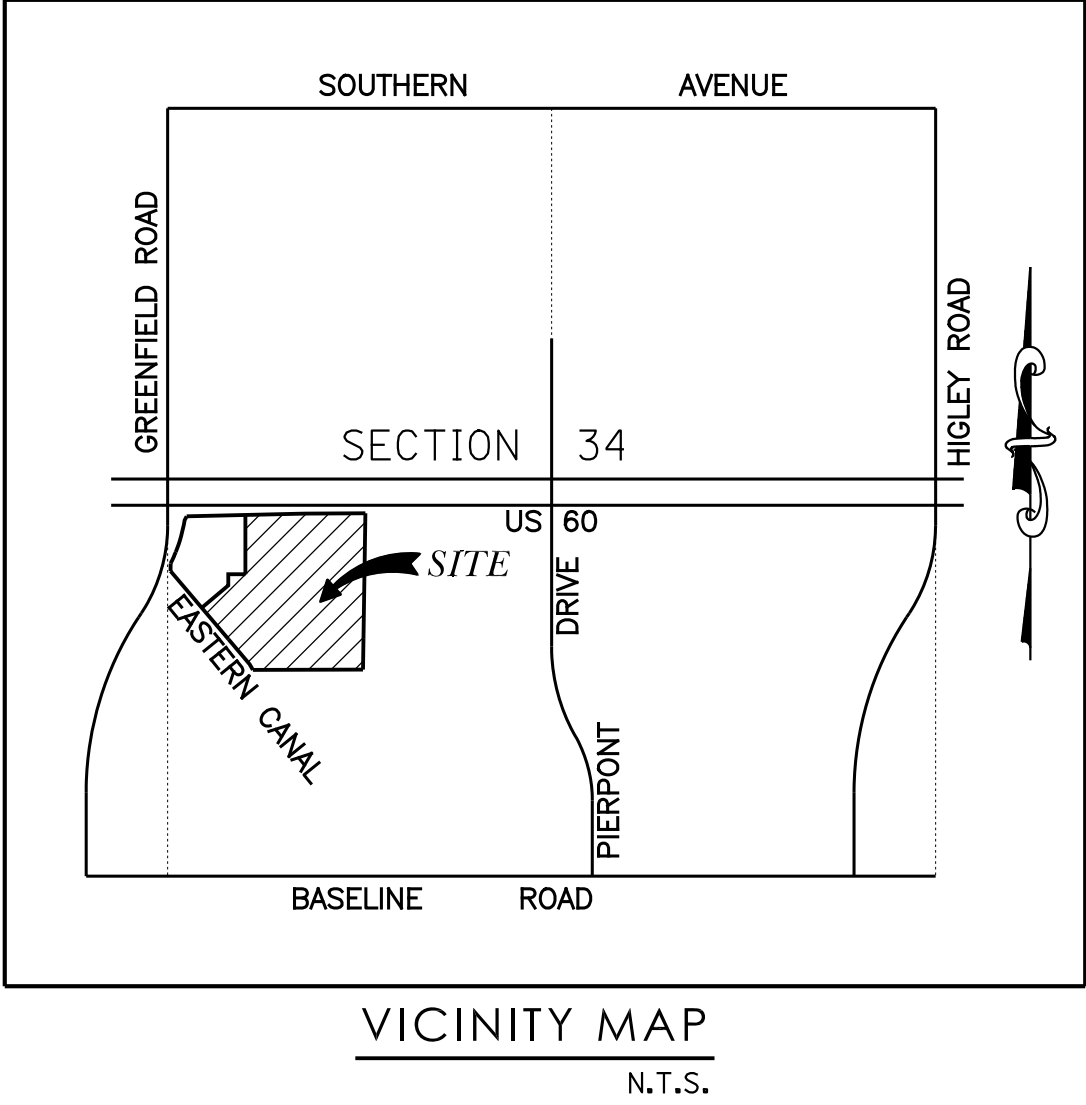
Mark Taylor  
6623 North Scottsdale Road  
Scottsdale, Arizona 85250  
(480) 991-9111



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PRELIMINARY GRADING & DRAINAGE PLAN  
FOR  
MARK-TAYLOR APARTMENTS  
SEC GREENFIELD ROAD & US 60, MESA, AZ  
LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 EAST  
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



RETENTION CALCULATIONS

100-YR 2-HOUR STORM EVENT

REQUIRED VOLUME

$V_R$  = REQUIRED RETENTION VOLUME, CF

D = DEPTH OF WATER TO RETAIN, 2.2 INCHES

A = TOTAL SITE AREA, 951,612 SF OR 21.85 ACRES

C = RUNOFF COEFFICIENT, 0.80

$$V_R = \left( \frac{D}{12} \right) \times A \times C$$

$$V_R = \left( \frac{2.2}{12} \right) \times 951,612 \times 0.80$$

$$V_R = 139,570 \text{ CF}$$

PROVIDED VOLUME

SURFACE VOLUME = 88,576 CF

UNDERGROUND VOLUME (10" DIA.) = 53,721 CF

TOTAL VOLUME PROVIDED = 142,297 CF

LEGEND

- INDICATES PROPERTY / BOUNDARY LINE  
-1095- INDICATES EXISTING CONTOUR ELEVATION  
-90- INDICATES PROPOSED CONTOUR ELEVATION  
-TC:90.90  
G:90.42- INDICATES EXISTING TOP OF CURB ELEVATION  
-90.5- INDICATES EXISTING GUTTER ELEVATION  
-90.7- INDICATES EXISTING GROUND ELEVATION  
-P:91.34 INDICATES EXISTING PAVEMENT ELEVATION  
-C:91.28 INDICATES EXISTING CONCRETE ELEVATION  
-8"W- INDICATES EXISTING WATER LINE, VALVE & SIZE  
-8"S- INDICATES EXISTING SEWER LINE & SIZE  
-LPX- INDICATES EXISTING LIGHT POLE  
-T- INDICATES EXISTING BURIED TELEPHONE CONDUIT  
-ET- INDICATES EXISTING BURIED ELECTRIC TRANSFORMER  
-E- INDICATES EXISTING BURIED ELECTRIC CONDUIT  
-ICV- INDICATES EXISTING IRRIGATION CONTROL VALVE  
-EB- INDICATES EXISTING ELECTRIC BOX  
-WM- INDICATES EXISTING WATER METER

- BMW/POG INDICATES EXISTING BACKFLOW PREVENTER VALVE  
FH INDICATES EXISTING FIRE HYDRANT  
PP INDICATES EXISTING POWER POLE  
X90.5 INDICATES PROPOSED GROUND ELEVATION  
1% INDICATES DIRECTION OF FLOW & SLOPE  
GB INDICATES GRADE BREAK  
TC= INDICATES PROPOSED TOP OF CURB & GUTTER ELEV.  
G= INDICATES PROPOSED TOP OF CONC. ELEVATION  
P= INDICATES PROPOSED PAVEMENT ELEVATION  
C= INDICATES PROPOSED TOP OF CONC. ELEVATION  
FF= INDICATES PROPOSED FINISH FLOOR ELEVATION  
PAD= INDICATES PROPOSED PAD ELEVATION  
INDICATES PROPOSED CATCH BASIN  
INDICATES PROPOSED STORM DRAIN PIPE  
O-O INDICATES PROPOSED DRYWELL  
INDICATES PROPOSED UNDERGROUND RETENTION

OWNER:

MARK-TAYLOR, INC.  
6623 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85250

CONTACT: ROB ORME

PHONE: (480) 281-5549

ENGINEER:

3 ENGINEERING  
2929 E. CAMELBACK ROAD, SUITE 116  
PHOENIX, ARIZONA 85016

CONTACT: DANIEL G. MANN, P.E.

PHONE: (602) 334-4387

EMAIL: DAN@3ENGINEERING.COM

ARCHITECT:

ARCHITECTURE DESIGN GROUP  
6623 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85250

CONTACT: ROB ORME

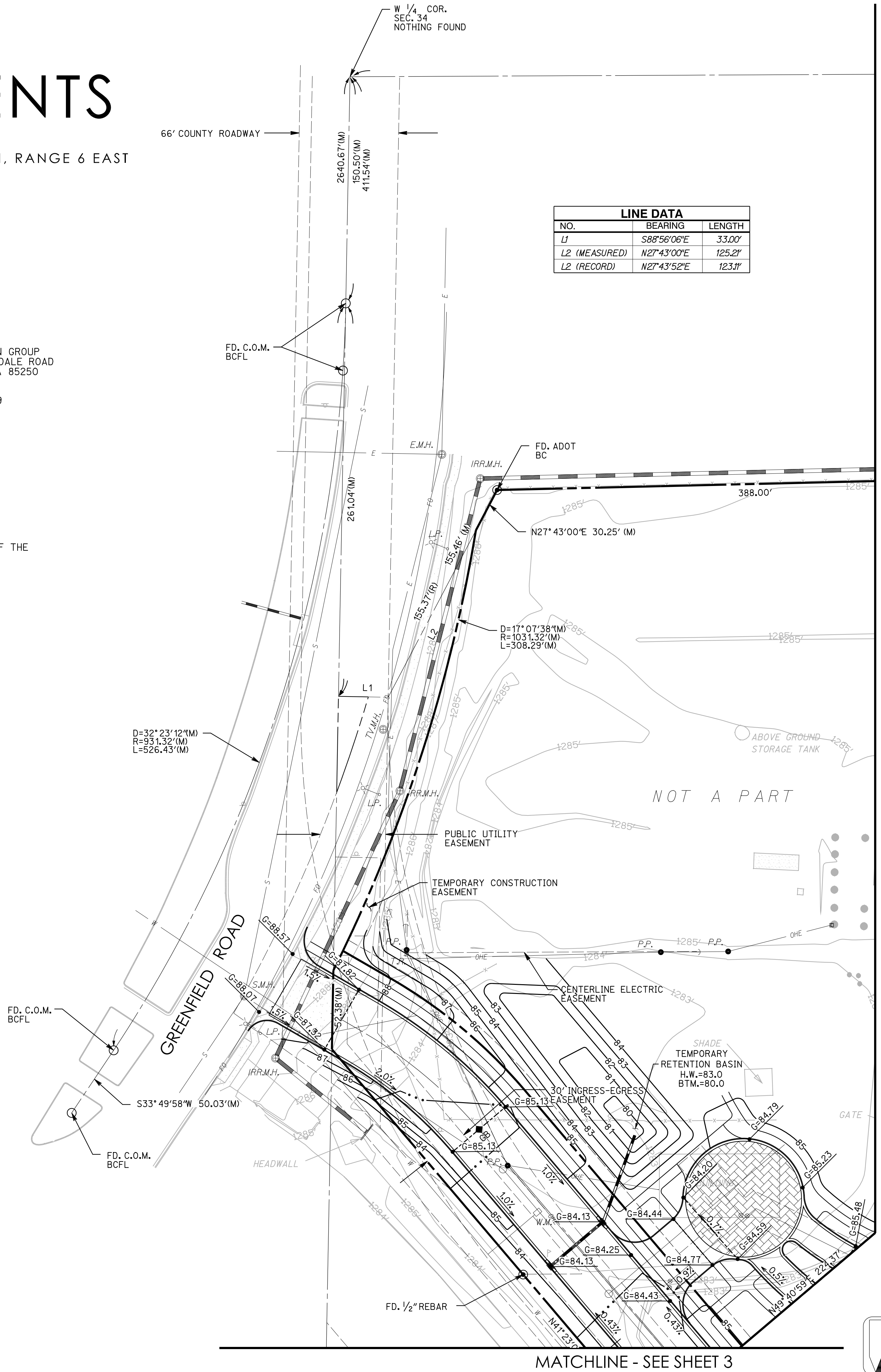
PHONE: (480) 281-5549

BENCHMARK:

CITY OF MESA BENCHMARK:  
BRASS TAG ON TOP OF CURB AT THE NORTHEAST CORNER OF THE  
INTERSECTION OF GREENFIELD ROAD AND SOUTHERN AVENUE.

ELEVATION: 1291.78 NAVD88

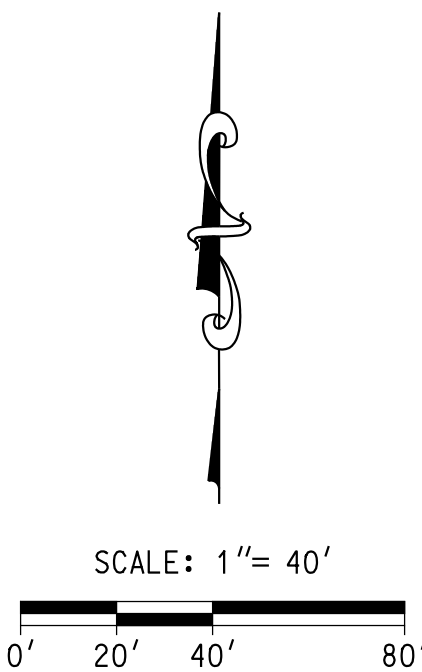
CITY OF MESA DATUM



LINE DATA		
NO.	BEARING	LENGTH
L1	S88°56'06"E	33.00'
L2 (MEASURED)	N27°43'00"E	125.21'
L2 (RECORD)	N27°43'52"E	123.11'

MATCHLINE - SEE SHEET 2

MATCHLINE - SEE SHEET 3



CALL TWO WORKING DAYS  
BEFORE YOU DIG  
(602) 263-1100  
1-800-STAKE-IT  
OUTSIDE MARICOPA COUNTY

MARK-TAYLOR APARTMENTS  
SEC GREENFIELD ROAD & US 60, MESA, AZ  
PRELIMINARY GRADING & DRAINAGE PLAN



EXPIRES: 9/30/2016

300engineering  
civil engineering  
planning  
surveying

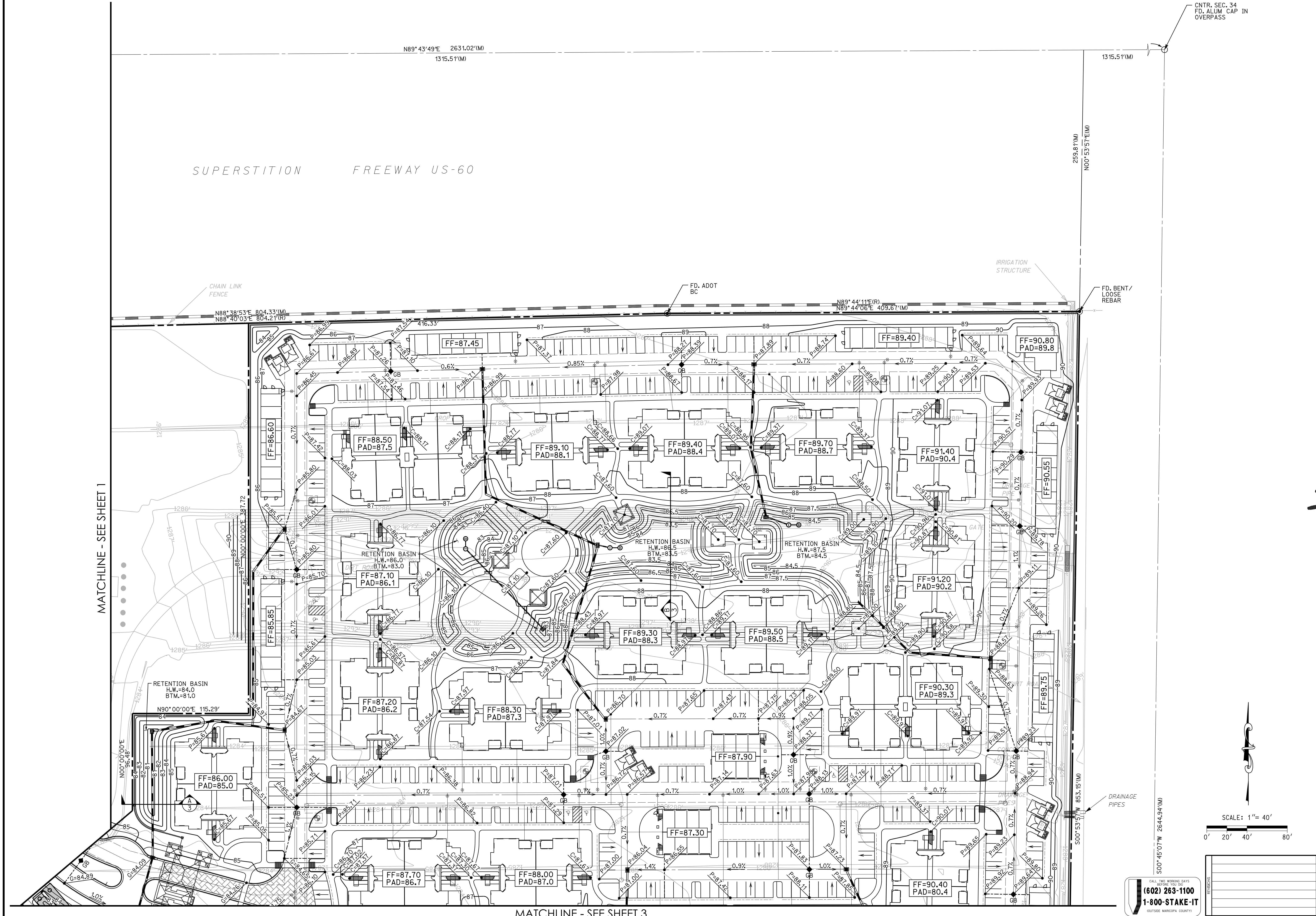
3 ENGINEERING, LLC  
2929 E. CAMELBACK ROAD  
SUITE # 116  
PHOENIX, ARIZONA 85016  
PHONE: (602) 334-4387  
FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE: 09/14/15

PROJECT NO.  
1085

ENGINEER: D. MANN  
DESIGNER: D. MANN  
CAD TECH: D. MANN

SHEET NO.  
PGD01  
1 of 3



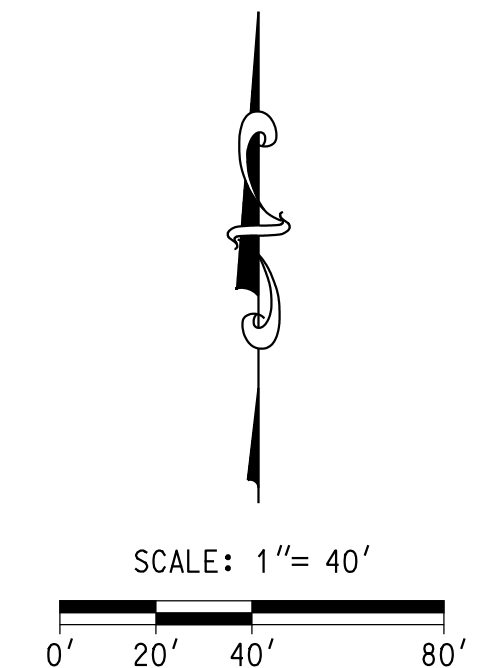
CNTR. SEC. 34  
FD. ALUM. CAP. IN  
OVERPASS

SUPERSTITION FREEWAY US-60

CHAIN LINK  
FENCE

IRRIGATION  
STRUCTURE

FD. BENT/  
LOOSE  
REBAR



SCALE: 1"= 40'

RETURNS

CALL TWO WORKING DAYS  
BEFORE YOU DIG  
**(602) 263-1100**  
**1-800-STAKE-IT**  
OUTSIDE MARICOPA COUNTY

MARK-TAYLOR APARTMENTS  
SEC GREENFIELD ROAD & US 60, MESA, AZ

PRELIMINARY GRADING & DRAINAGE PLAN

Professional Engineer  
46857  
DANIEL G. MANN  
ARIZONA, USA

EXPIRES: 9/30/2016

300engineering  
planning  
civil engineering  
surveying

3 ENGINEERING, LLC  
2929 E. CAMERLANCE ROAD  
SUITE # 118  
PHOENIX, ARIZONA 85016  
PHONE: (602) 334-4387  
FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE: 09/14/15

PROJECT NO:  
1085

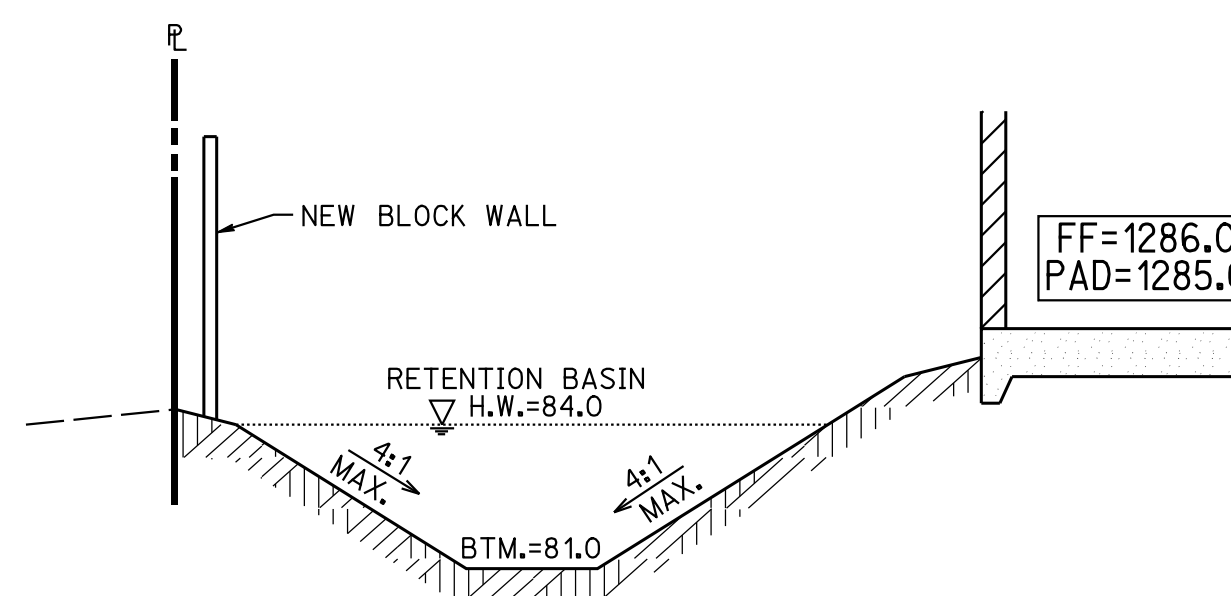
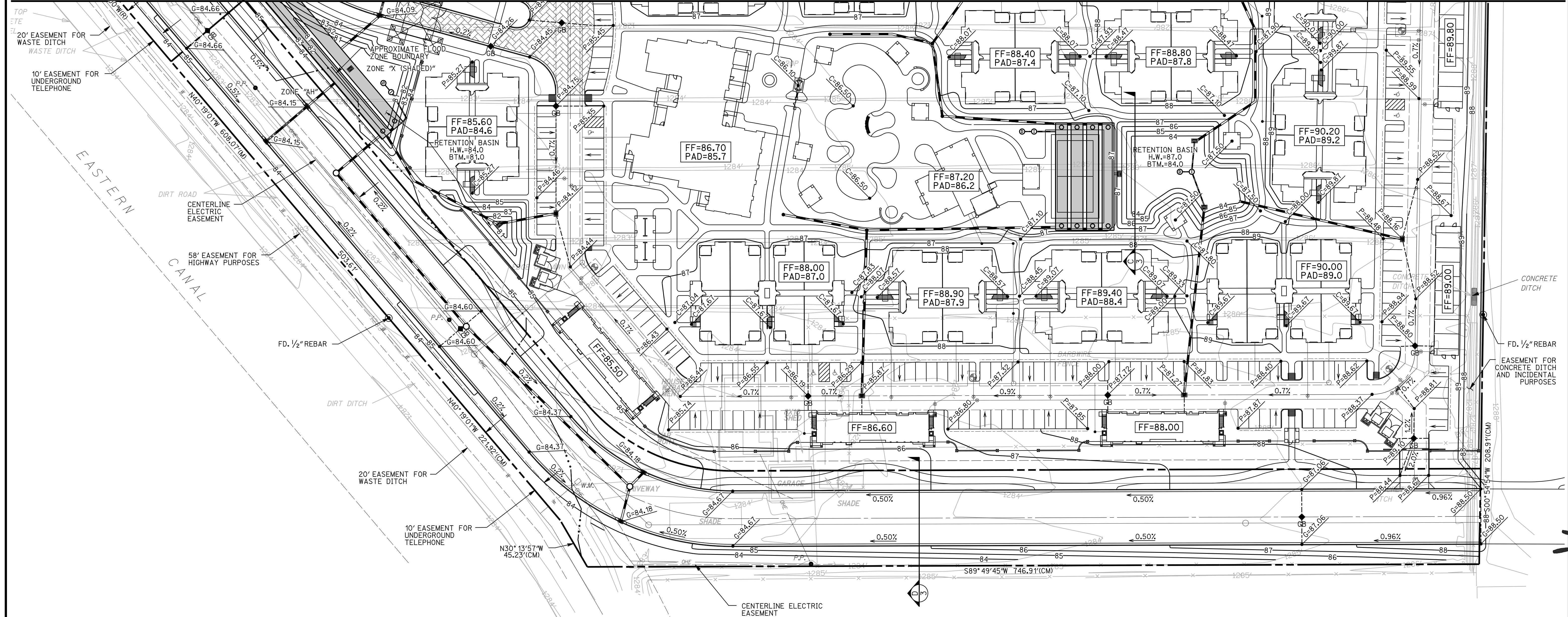
ENGINEER: D. MANN  
DESIGNER: D. MANN  
CAD TECH: D. MANN

SHEET NO:  
PGD02  
2 of 3

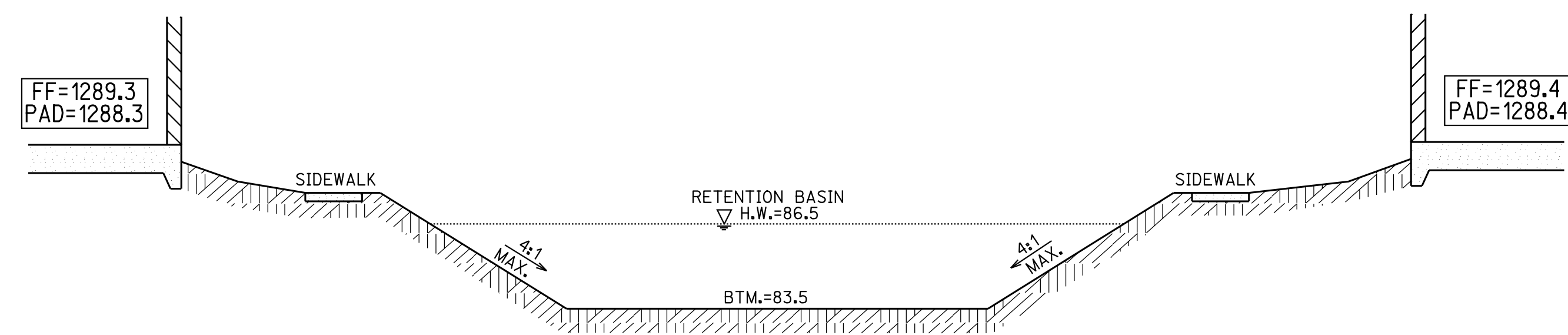


MATCHLINE - SEE SHEET 1

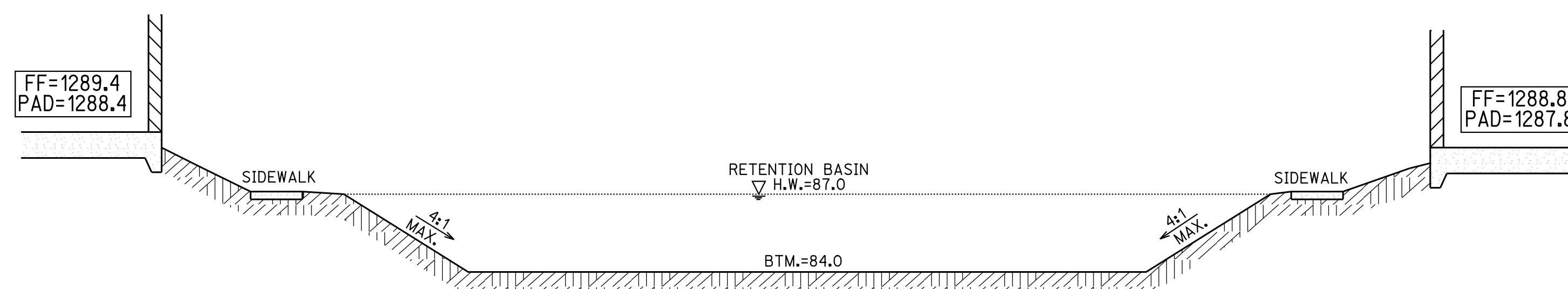
MATCHLINE - SEE SHEET 2



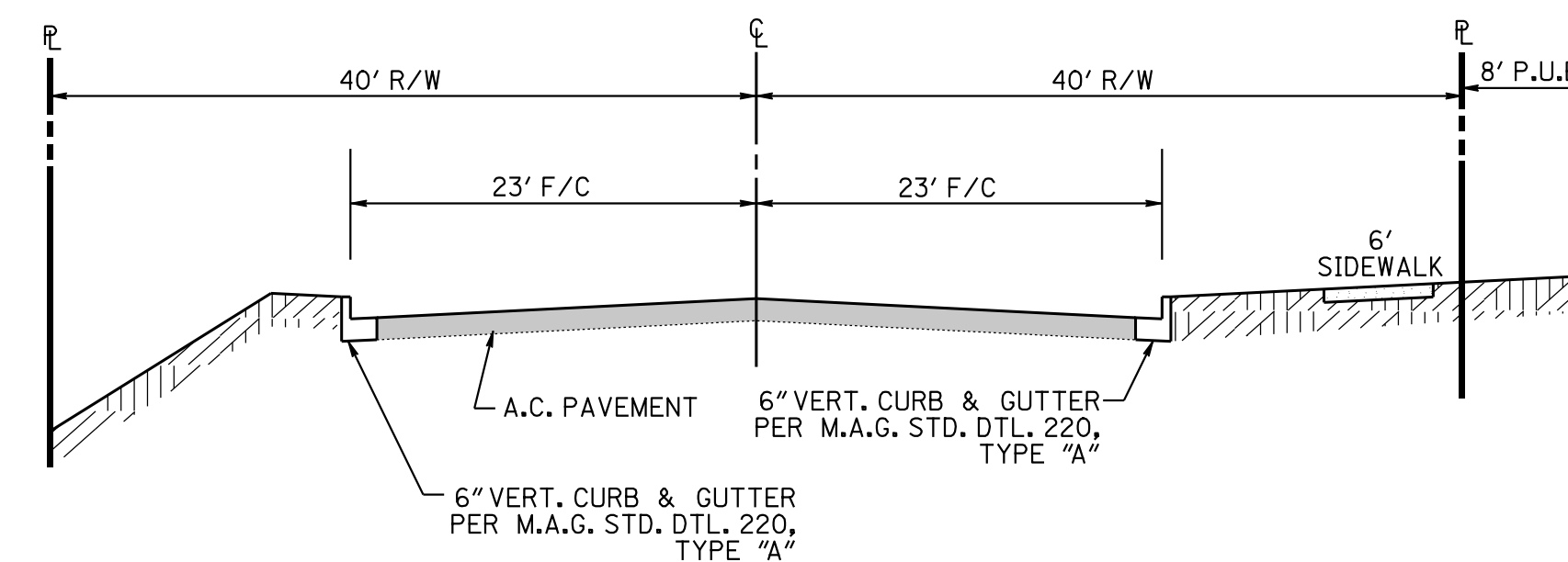
A TYPICAL SECTION  
N.T.S.



B TYPICAL SECTION  
N.T.S.



C TYPICAL SECTION  
N.T.S.



D TYPICAL SECTION  
N.T.S.

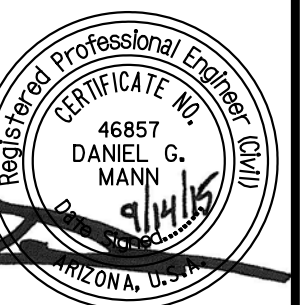
SCALE: 1" = 40'

REVISIONS

# MARK-TAYLOR APARTMENTS

SEC GREENFIELD ROAD & US 60, MESA, AZ

## PRELIMINARY GRADING & DRAINAGE PLAN



EXPIRES: 9/30/2016

**300engineering**  
civil engineering  
planning  
surveying

3 ENGINEERING, LLC  
2929 E. CAMELBACK ROAD  
SUITE # 118  
PHOENIX, ARIZONA 85016  
PHONE: (602) 334-4387  
FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

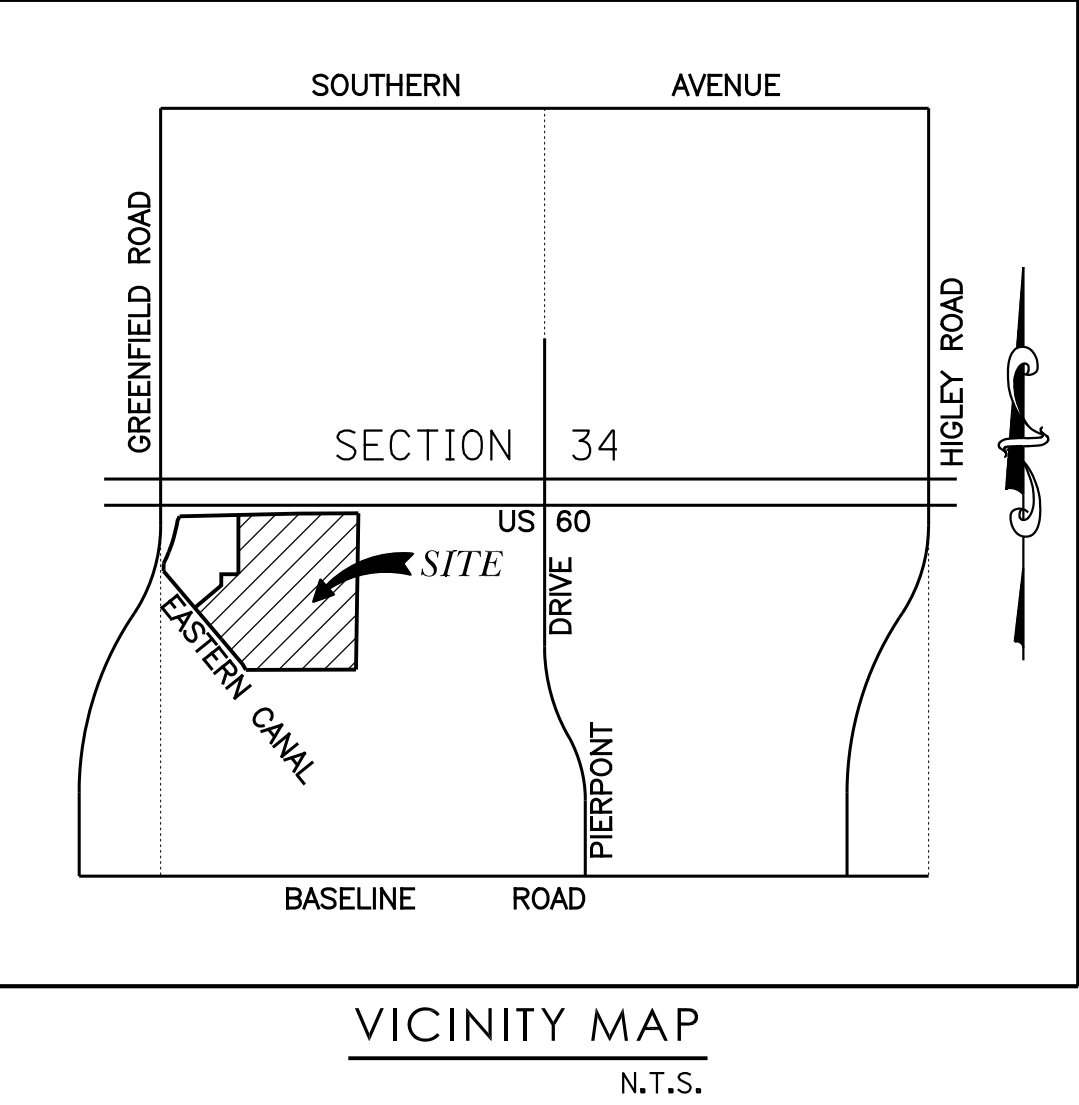
DATE: 09/14/15

PROJECT NO.  
**1085**

ENGINEER: D. MANN  
DESIGNER: D. MANN  
CAD TECH: D. MANN

SHEET NO.  
**PGD03**  
3 of 3

PRELIMINARY UTILITY PLAN  
FOR  
MARK-TAYLOR APARTMENTS  
SEC GREENFIELD ROAD & US 60, MESA, AZ  
LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 EAST  
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**OWNER:**  
MARK-TAYLOR, INC.  
6623 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85250

**ARCHITECT:**  
ARCHITECTURE DESIGN GROUP  
6623 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85250

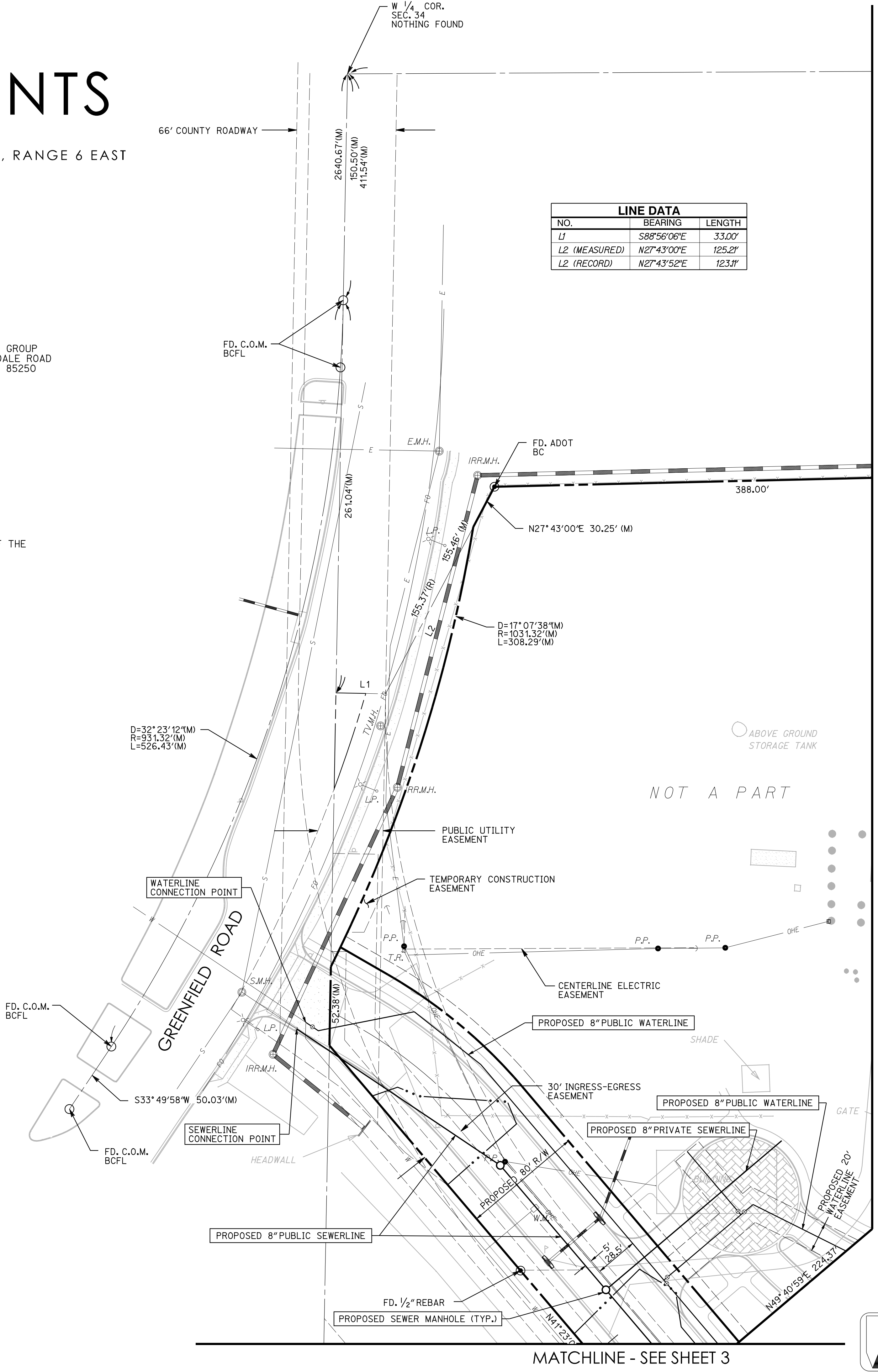
**CONTACT:** ROB ORME  
PHONE: (480) 281-5549

**ENGINEER:**  
3 ENGINEERING  
2929 E. CAMELBACK ROAD, SUITE 116  
PHOENIX, ARIZONA 85016

**CONTACT:** DANIEL G. MANN, P.E.  
PHONE: (602) 334-4387  
EMAIL: DAN@3ENGINEERING.COM

**BENCHMARK:**  
CITY OF MESA BENCHMARK:  
BRASS TAG ON TOP OF CURB AT THE NORTHEAST CORNER OF THE  
INTERSECTION OF GREENFIELD ROAD AND SOUTHERN AVENUE.

ELEVATION: 1291.78 NAVD88  
CITY OF MESA DATUM



LINE DATA		
NO.	BEARING	LENGTH
L1	S88°56'06"E	33.00'
L2 (MEASURED)	N27°43'00"E	125.21'
L2 (RECORD)	N27°43'52"E	123.11'

LEGEND

- INDICATES PROPERTY / BOUNDARY LINE
- 8" W

INDICATES EXISTING A.C.P. WATER LINE & SIZE
- 8" S

INDICATES EXISTING SEWER LINE & SIZE
- FH

INDICATES EXISTING FIRE HYDRANT
- INDICATES PROPOSED FIRE HYDRANT
- LP

INDICATES WATER SERVICE - SIZE PER PLAN
- T

INDICATES EXISTING BURIED TELEPHONE CONDUIT
- ET

INDICATES EXISTING ELECTRIC TRANSFORMER

E

INDICATES EXISTING BURIED ELECTRIC CONDUIT

OHL

INDICATES EXISTING OVERHEAD LINE

ICV

INDICATES EXISTING IRRIGATION CONTROL VALVE

EB

INDICATES EXISTING ELECTRIC BOX

WM

INDICATES EXISTING WATER METER

BWV

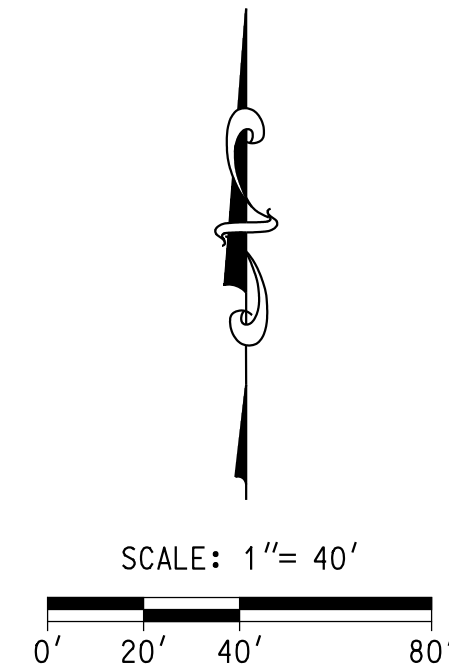
INDICATES EXISTING BACKFLOW PREVENTER VALVE

PP

INDICATES EXISTING POWER POLEINDICATES PROPOSED WATER LINE & V.B.&C.INDICATES PROPOSED SEWER PIPEINDICATES PROPOSED SEWER MANHOLEINDICATES PROPOSED SEWER CLEANOUT

MATCHLINE - SEE SHEET 2

MATCHLINE - SEE SHEET 3



CALL TWO WORKING DAYS  
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1-800-STAKE-IT  
OUTSIDE MARICOPA COUNTY

3 ENGINEERING, LLC  
2929 E. CAMELBACK ROAD  
SUITE # 116  
PHOENIX, ARIZONA 85016  
PHONE: (602) 334-4387  
FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE: 09/14/15

PROJECT NO.  
1085

ENGINEER: D. MANN  
DESIGNER: D. MANN  
CAD TECH: D. MANN

SHEET NO.  
PUTL01  
1 of 3

Professional Engineer  
CERTIFICATE NO. 46857  
DANIEL G. MANN  
ARIZONA, U.S.A.

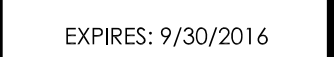
EXPIRES: 9/30/2016

3 engineering  
planning  
civil engineering  
surveying

MARK-TAYLOR APARTMENTS  
SEC GREENFIELD ROAD & US 60, MESA, AZ

PRELIMINARY UTILITY PLAN





# 300 engineering

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2929 E. CAMELBACK ROAD  
SUITE # 116  
PHOENIX, ARIZONA 85016  
PHONE: (602) 334-4387  
FAX: (602) 490-3230  
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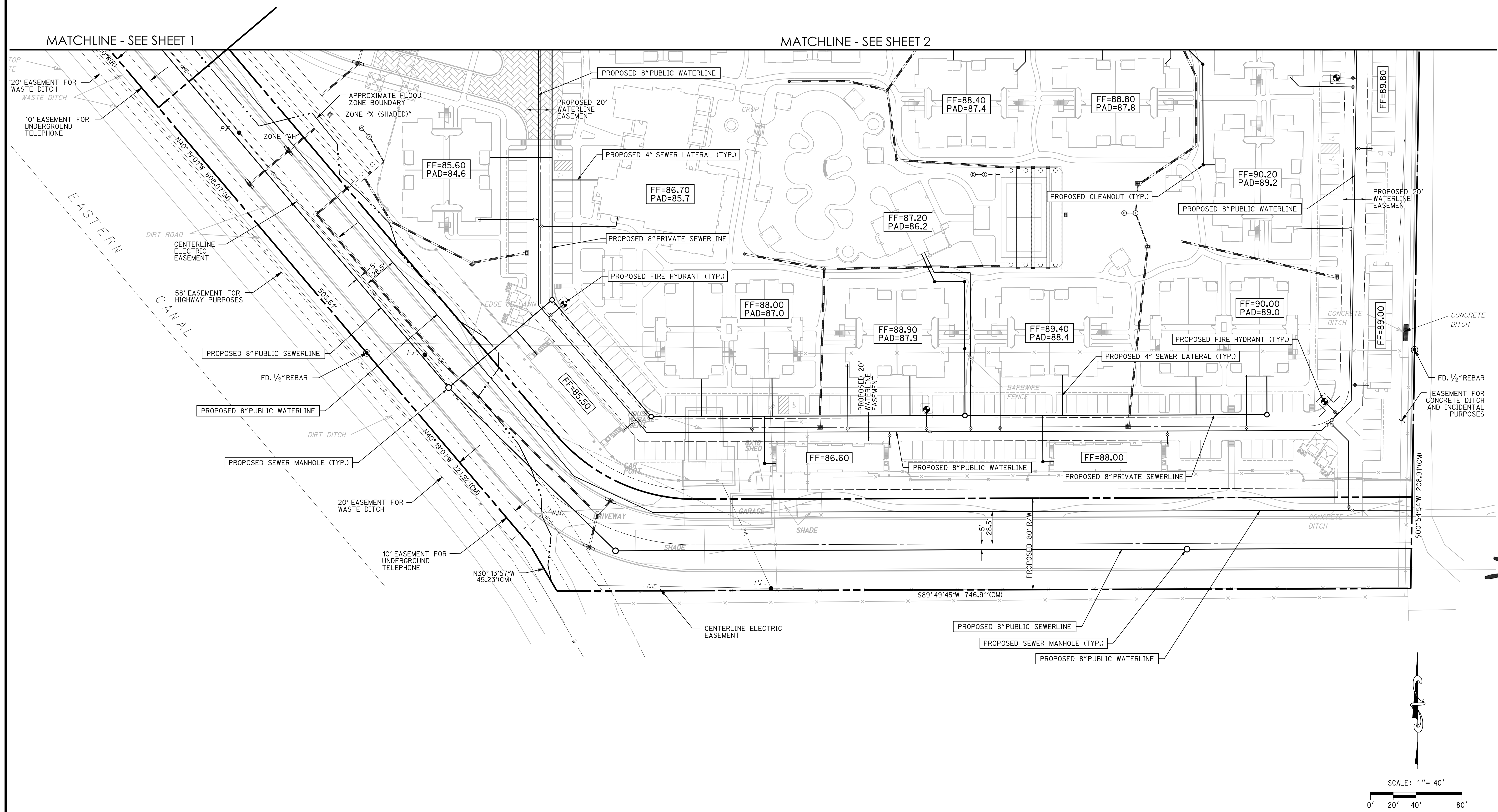
DATE: 09/14/15

PROJECT NO.  
1085


ENGINEER:	D. MANN
DESIGNER:	D. MANN
CAD TECH:	D. MANN

SHEET NO.  
PUTL02  
2 of 3

MATCHLINE - SEE SHEET 2



SCALE: 1" = 40'



A horizontal graphic scale bar with tick marks at 0', 20', 40', and 80'. The bar is divided into four equal segments, each representing 20 feet.

MARK-TAYLOR APARTMENTS  
SEC GREENFIELD ROAD & US 60, MESA, AZ

---

PRELIMINARY UTILITY PLAN

EXPIRES: 9/30/2016

300engineering  
planning civil engineering surveying

3 ENGINEERING, LLC  
2929 E. CAMELBACK ROAD  
SUITE # 116  
PHOENIX, ARIZONA 85016  
PHONE: (602) 334-4387  
FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE: 09/14/15

PROJECT NO.  
1085

ENGINEER:	D. MANN
DESIGNER:	D. MANN
CAD TECH:	D. MANN

SHEET NO.  
PUTL03  
3 of 3

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**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)



**Citizen Participation Plan for  
Mark-Taylor's Proposed Luxury Apartment Community  
at the SEC of Greenfield & U.S. 60**

**Date of Plan:** June 2015

**Overview:** The purpose of this Citizen Participation Plan is to inform surrounding property owners and other interested parties of the merits of Mark-Taylor's request to develop a 20 net acre, 346 unit luxury apartment community at the SEC of Greenfield & U.S. 60 and put this vacant land to productive use. This project seeks approval of a rezoning from LC, LI and AG to RM-3-PAD.

**Contact:**

Stephen C. Earl  
3101 N. Central Ave. #1000  
Phoenix, Arizona 85012  
(602) 265-0094; (602) 265-2195 (FAX)  
Email: [gking@ecclaw.com](mailto:gking@ecclaw.com)

**Pre-Application Meeting:**

The pre-submittal conference with City Staff was held on May 11, 2015.

**Action Plan:** In order to implement an effective citizen participation program, the following actions will be taken to provide opportunities for interested parties to understand the elements of the proposed project and address any real or perceived impacts that the development might have on them.

- A Neighborhood Meeting will be held with the adjacent property owners/residents and/or interested parties of the requests. A sign-in list will be used to record those who attended the meeting. All questions and answers will be documented for submittal to the City of Mesa Planner assigned to this project.
- A notification letter will be sent by first class mail to all property owners and Registered Associations/HOAs (within 500-feet and one mile respectively) of the subject site, interested parties, and the City of Mesa Planner to advise them of the proposed Rezoning and Preliminary Plat applications and invite them to the neighborhood open house meeting.
- The neighborhood meeting notification letter will include a description of requests, aerial exhibit, applicant contact person, and applicant contact information such as address, phone, e-mail, and fax number, Neighborhood Meeting date, time and location.
- If necessary, the applicant's development team will hold individual and/or group meetings later with interested parties and/or surrounding property owners.
- Complete a Citizen Review Final Report and submit to the Planning Department with the formal application.

**Schedule:**

Pre-application meeting – May 11, 2015

Application Submittal – June 2015

Open House Meeting – July 2015

Submittal of Citizen Participation Report and Notification materials – End of July 2015

Planning and Zoning Board Hearing – TBD

**Citizen Participation Plan for  
Mark-Taylor's Proposed Luxury Apartment Community  
at the SEC of Greenfield & U.S. 60**

**Date of Plan:** June 2015

**Overview:** The purpose of this Citizen Participation Plan is to inform surrounding property owners and other interested parties of the merits of Mark-Taylor's request to develop a 20 net acre, 346 unit luxury apartment community at the SEC of Greenfield & U.S. 60 and put this vacant land to productive use. This project seeks approval of a rezoning from LC, LI and AG to RM-3-PAD.

**Contact:**

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3101 N. Central Ave. #1000  
Phoenix, Arizona 85012  
(602) 265-0094; (602) 265-2195 (FAX)  
Email: [gking@ecllaw.com](mailto:gking@ecllaw.com)

**Pre-Application Meeting:**

The pre-submittal conference with City Staff was held on May 11, 2015.

**Action Plan:** In order to implement an effective citizen participation program, the following actions will be taken to provide opportunities for interested parties to understand the elements of the proposed project and address any real or perceived impacts that the development might have on them.

- A Neighborhood Meeting will be held with the adjacent property owners/residents and/or interested parties of the requests. A sign-in list will be used to record those who attended the meeting. All questions and answers will be documented for submittal to the City of Mesa Planner assigned to this project.
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- The neighborhood meeting notification letter will include a description of requests, aerial exhibit, applicant contact person, and applicant contact information such as address, phone, e-mail, and fax number, Neighborhood Meeting date, time and location.
- If necessary, the applicant's development team will hold individual and/or group meetings later with interested parties and/or surrounding property owners.
- Complete a Citizen Review Final Report and submit to the Planning Department with the formal application.

**Schedule:**

Pre-application meeting – May 11, 2015

Application Submittal – June 2015

Open House Meeting – July 2015

Submittal of Citizen Participation Report and Notification materials – End of July 2015

Planning and Zoning Board Hearing – TBD



**Citizen Participation Report for  
Mark-Taylor's Proposed Luxury Apartment Community  
at the SEC of U.S. 60 & Greenfield Road**

**Date of Plan:** June 2015

**Overview:** The purpose of this Citizen Participation Report is to summarize efforts to inform surrounding property owners and other interested parties of the merits of Mark-Taylor's request to rezone the subject site from LC, LI and AG to RM-3-PAD develop a 20 net acre, 346 unit luxury apartment community at the SEC of Greenfield & U.S. 60 and put this vacant land to productive use decades after it was initially planned.

**Contact:**

Stephen C. Earl

3101 N. Central Ave. #1000

Phoenix, Arizona 85012

(602) 265-0094; (602) 265-2195 (FAX)

Email: [gking@ecclaw.com](mailto:gking@ecclaw.com)

**Pre-Application Meeting:**

The pre-submittal conference with City Staff was held on May 11, 2015.

**Action Plan:** The following actions were taken to provide opportunities for interested parties to understand the elements of the proposed project and address any real or perceived impacts that the development might have on them.

- A notification letter was sent by first class mail to all property owners and Registered Associations/HOAs (within 500-feet and one mile respectively) of the subject site, interested parties, and the City of Mesa Planner to advise them of the proposed Rezoning and Preliminary Plat applications and invite them to the neighborhood open house meeting.
- A Neighborhood Meeting was held Thursday, August 13, 2015 at 6:00 p.m. at the Country Inn & Suites by Carlson (Turquoise Room) located at 6650 E Superstition Springs Blvd. A sign-in list was used to record those who attended the meeting. All questions and answers were documented and are provided herein. A copy of the invitation letter, list of addresses, map of surrounding properties that were notified and the neighborhood sign-in sheet is attached.
- The meeting was attended by two people who own or have an interest in one of the Ranchette lots to the south. Based on the positive feedback that was received in the meeting, no further individual or group meetings are necessary.

**Summary of the Aug. 13<sup>th</sup> Neighborhood Meeting:**

The meeting was attended by two people who either own or have an interest in one of the Ranchette lots to the south on Old Greenfield Road. Chris Brozina of Mark-Taylor and Gary King of Earl, Curley and Lagarde reviewed the details of the proposed new community and entitlements that would be needed. The attendees asked the following questions;

1. What affect will this new development have on our property?

*Response: The effect should be positive. While not only will a new high end Mark-Taylor community be built, but a new street connecting Greenfield Road with the Banner Campus and Higley Road will be built. That will open up access into this area but traffic is not*



*expected to increase on Old Greenfield Road because it is partly dirt and travel speed is too slow.*

2. What will the units rent for?

*Response: The average household income will be approximately \$72,000-\$75,000. Average resident age will be approximately 37. The highest projected rent will be \$1,650 for a three-bedroom unit, which is 1,495 interior sq. feet, which exceeds the size of some single family houses. The average projected rent will be \$1,220, with an average unit size of 1,184 interior sq. feet.*

3. When will you start construction?

*Response: If approved, construction would start in mid to late 2016.*

These questions were followed by about 15 minutes of discussion about the growth of the area and the valley. The meeting began about 6:10 pm and ended at about 6:30 p.m.

**Schedule:**

Pre-application meeting – May 11, 2015

Application Submittal – June 2015

Open House Meeting – August 13, 2015

Planning and Zoning Board Hearing – October 21, 2015



**EARL, CURLEY & LAGARDE, P.C.**  
ATTORNEYS AT LAW

Telephone (602) 265-0094  
Fax (602) 265-2195  
www.ecflaw.com

3101 North Central Avenue  
Suite 1000  
Phoenix, Arizona 85012

July 27, 2015

**INVITATION TO**  
**NEIGHBORHOOD MEETING OPEN HOUSE**

Re: PROPOSAL FOR LUXURY APARTMENT COMMUNITY BY MARK-TAYLOR ON  
THE FORMER FUTURE SITE PLANNED FOR THE KRIST RV SALES AND  
SERVICE FACILITY  
A Portion of the Property Located at the Southeast Corner of U.S. 60 and Greenfield  
Road

Dear Property Owner:

The purpose of this letter is to inform you that our office has filed an application on behalf of Mark-Taylor to rezone the above-referenced approximately 20 net acres site from LI PAD, C-2 and AG to RM-3-PAD. While the other parcels in this vicinity have either been already put to productive employment/medical uses or are in the hands of major employers, such as Banner Health Systems, this site has remained vacant despite heavy marketing for employment and retail uses over the years.

One of the prime reasons development of the site has not yet occurred is the narrow frontage the site has on Greenfield Road (due to the diagonal alignment of the canal), the lack of left turn access to and from Greenfield Road, limited freeway accessibility and an incomplete road network to the east.

Mark-Taylor has selected this site, notwithstanding these challenges, because it can overcome these access and configuration issues with its unique type of use and because of a built-in demand for high-end luxury style apartment units with the nearby medical and education campuses (and other major employers in the area), as well as the site's closeness to major retail and restaurant venues just to the west.

Mark-Taylor is one of, if not, the premier developers of luxury apartment communities in Arizona as evidenced by the numerous awards it has received both nationally and regionally over a thirty year time span. Our client proposes to develop a fully amenitized development of 346 apartment units in a variety of (1) bedroom, two (2) bedroom, three (3) bedroom and carriage units (where the required garage parking is provided beneath the unit).

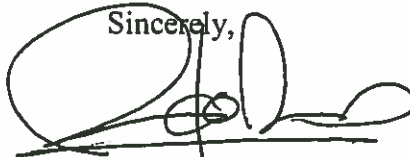
July 27, 2015  
Page 2

In the near future, we will be sending out a second letter informing you of the scheduled hearing dates once they are established. In the meantime, we would like to invite you to hear more details about this request and the proposed development.

At the upcoming open house, you will be able to review the draft site plan and building elevations for the proposed development and see the luxury level of design, landscaping and amenities offered in every Mark-Taylor project.

**Thursday, August 13, 2015 at 6:00 p.m.**  
**Country Inn & Suites By Carlson, Mesa, AZ – Turquoise Room**  
**6650 E Superstition Springs Blvd**  
**Mesa, AZ 85206**  
**(480) 641-8000**

We look forward to seeing you there. If you have any questions regarding this request prior to either neighborhood meeting, please contact Gary King in our offices at 602-265-0094.

Sincerely,  
  
for Stephen Earl

SCE/GVK

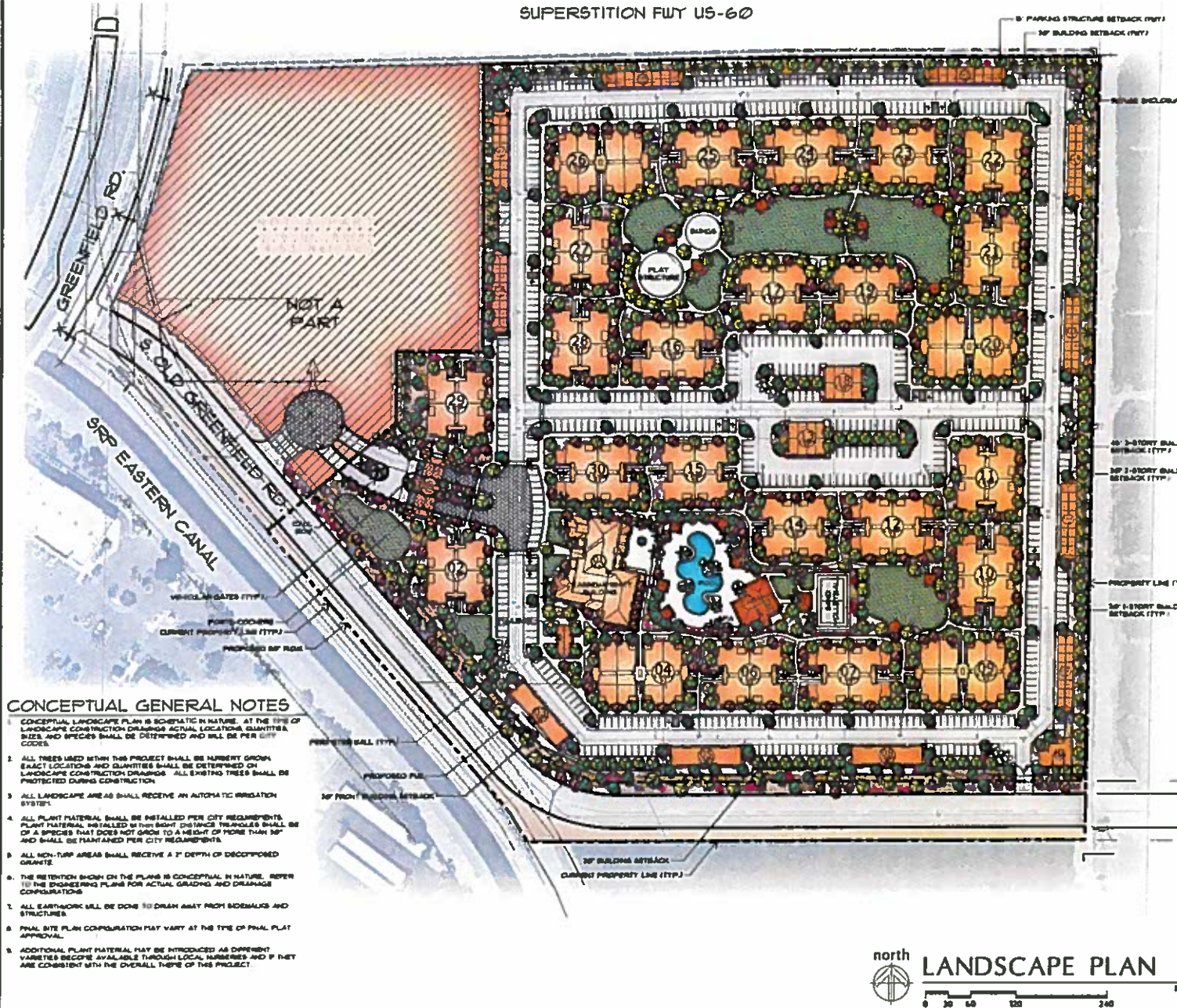
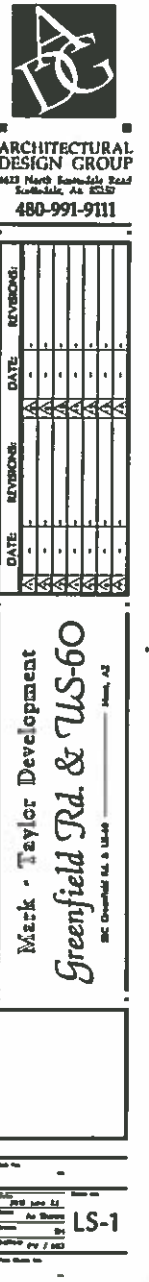
Attachments: As Stated.

O:\INDEX\MARK-TAYLOR\US 60 & Greenfield\Letters\Neighborhood Notification Letter for Open House in Aug 2015.docx





SUPERSTITION FWY US-60

[illegible]





**FRONT / REAR ELEVATION**

SCALE: 3/16" = 1'-0"



**END ELEVATION**

SCALE: 3/16" = 1'-0"



**ARCHITECTURAL  
DESIGN GROUP**  
6623 North Scottsdale Road  
Scottsdale, Az. 85250  
480-991-9111

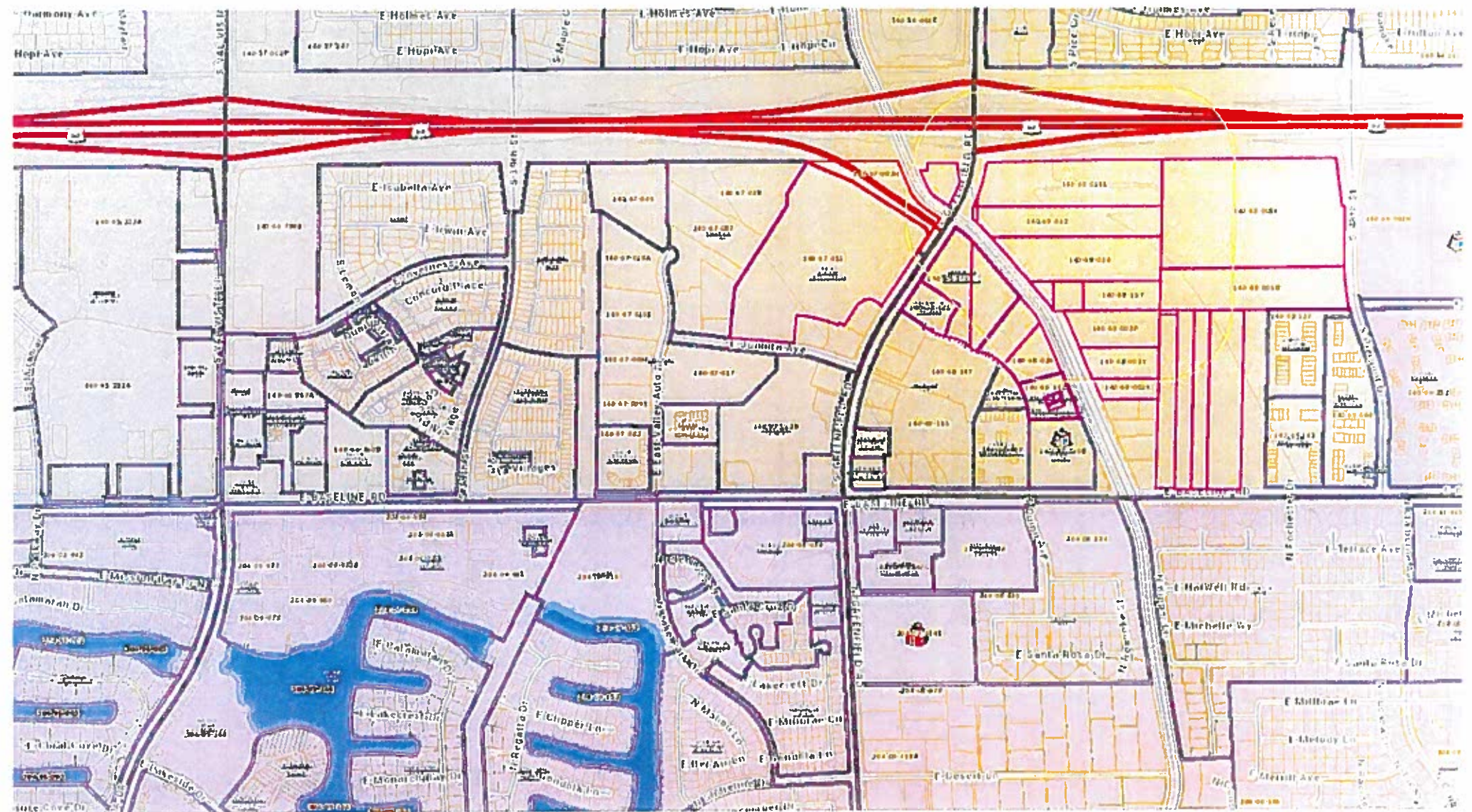
**Mark Taylor**  
6623 North Scottsdale Road  
Scottsdale, Arizona 85250  
(480) 991-9111 (480) 991-9138



with file  
Date \_\_\_\_\_  
Scale \_\_\_\_\_  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Noted \_\_\_\_\_

**Exterior Elevations - Bldg 3C**







Neighborhood Open House for  
SEC Greenfield and US 60  
Country Inn & Suites, Turquoise Room  
6650 E. Superstition Springs Blvd., Mesa, AZ  
July 29, 2015 @ 6:00 PM

[illegible]