City of Mesa Zoning Administrator Minutes November 7, 2000

Case No.:

ZA00-96

Location:

3852 North Hawes Road

Subject:

Requesting a variance to allow a detached garage to be placed in front of the front

line of the dwelling in the R1-90 district.

Decision:

Approved as submitted.

Summary: Mr. Stan Leerkamp explained that the house was built around 1976 and he had recently purchased the property. His request is to construct a 30' x 24' double car garage to be placed in the front of his residence. The garage would be approximately 110' to 115' away from the road. The garage doors would face the dwelling unit and the exterior materials would match the finish of the home. He also explained that the garage could not be constructed in any other place. On the north side of the property, there is a large wash. It would also be unable to attach the garage to the home. No opposition present. Mr. Sheffield noted there are special circumstances that exist on the property. This proposal was approved as submitted.

Finding of Fact: This property is located in a different area of the city where many hills and washes exist. There are special circumstances to the property due to the slope and location of washes.

* * * *

RECEIVED



APPLICATION OCT 1 2 2000 Zoning Administrator/Board of Adjustment City of Mesa Planning

Pre-App: Received:

Property Address: 3852 No. HAWES I	Zoning District: 6 2 90
Property Owner: STAN LEERKAMP	Applicant: STAN LEERHAMP
Signature: Ster Lucy	Signature: Lecky
Address: 3852 No HAWES RD	Address: 385% NO HAWDE RO.
City/Zip Code: MPSA 85207	City/Zip Code: MESA 85207
Phone No.: (480) 358 - 06 30	Phone No.: (480) 358.0630
Request: Special Use Perr	
List Requests: (Be specific) BUILD A	
IN FRONT OF EXSISTING HO	ME
Failure to provide the items noted below	a Complete Submittal will result in a delay of your hearing date. nensioned and drawn to scale.)
Application Form	Citizen Participation Plan Sheet
Application Fee \$ 00	Z Elevations
Site Plan	☐ Landscape Plan
☐ Floor Plan	☐ Sign Plan (Existing and proposed)
Justification/Compatibility Statement (typewritten on separate sheet)	☐ Homeowner's Assoc./Architectural Committee Written Approval
□ No. of copies required of plans	Other:
Planning Division Zoning Administrator: Hearing Date: // - // // // // // // // // // // // /	n Office Use Only Case No. 24(1) 9(2)
Approved In Denied Withdrawn	Continued to
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Board of Adjustment: Hearing Date	Case No.
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Li Conditions (See Minutes)	
Downtown Development Committee: Meeting Date:	Board of Adjustment Secretary
	- Della 1
	Zoning Administrator.

October 9, 2000

City of Mesa Planning Department 55 North Center Street P. O. Box 1466 Mesa, AZ 85211-1466

To Whom It May Concern:

We are asking for a variance to allow the construction of a 30' x 24' double car garage in front of our house at 3852 North Hawes Road.

When we purchased the home in February it had no existing garage.

The home was built in 1976 on the back property line. There is a natural wash on one side and a utility easement on the other. This garage should not have a compatibility problem as there are no houses within 500'.

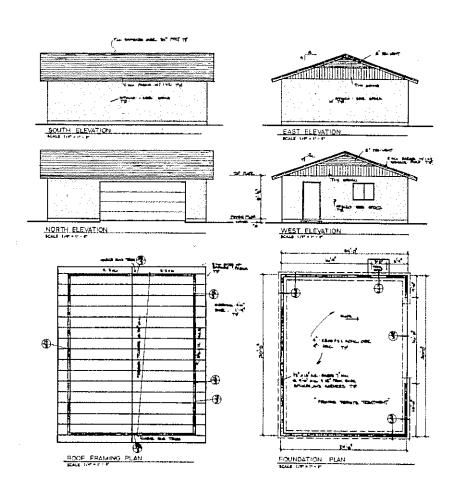
We do not feel this is an unusual favor as anyone with these circumstances should be granted a variance.

Sincerely,

Stan Leerkamp

3852 North Hawes Road

Mesa AZ 85207



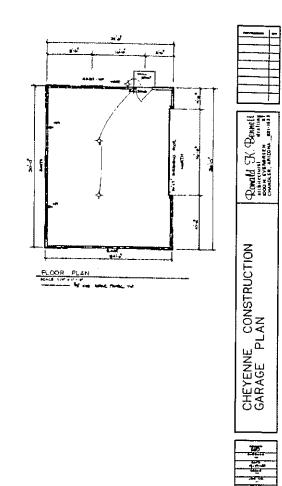
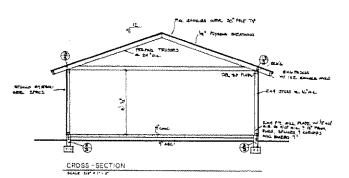


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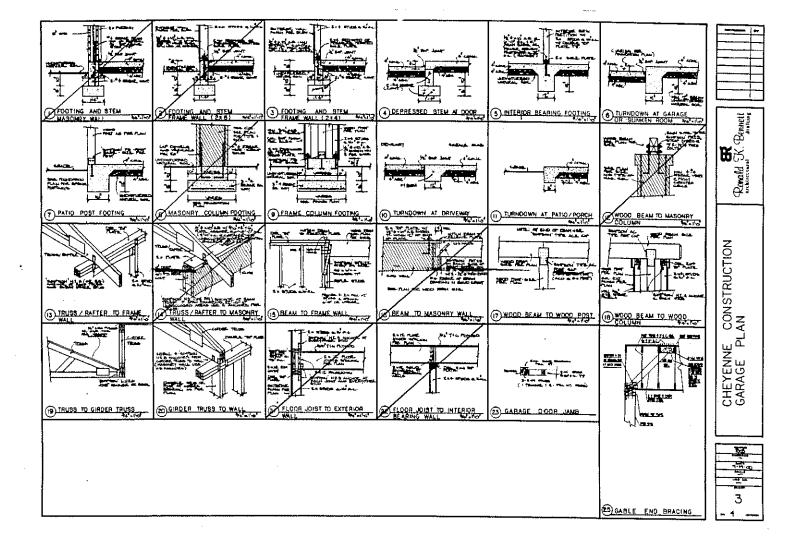
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