

**City of Mesa
Zoning Administrator Minutes
November 7, 2000**

Case No.: ZA00-96

Location: 3852 North Hawes Road

Subject: Requesting a variance to allow a detached garage to be placed in front of the front line of the dwelling in the R1-90 district.

Decision: Approved as submitted.

Summary: Mr. Stan Leerkamp explained that the house was built around 1976 and he had recently purchased the property. His request is to construct a 30' x 24' double car garage to be placed in the front of his residence. The garage would be approximately 110' to 115' away from the road. The garage doors would face the dwelling unit and the exterior materials would match the finish of the home. He also explained that the garage could not be constructed in any other place. On the north side of the property, there is a large wash. It would also be unable to attach the garage to the home. No opposition present. Mr. Sheffield noted there are special circumstances that exist on the property. This proposal was approved as submitted.

Finding of Fact: This property is located in a different area of the city where many hills and washes exist. There are special circumstances to the property due to the slope and location of washes.



RECEIVED
OCT 12 2000
APPLICATION
Zoning Administrator/Board of Adjustment
City of Mesa Planning

Pre-App: 65
Received: _____

Property Address: 3852 NO. HAWES RD

Zoning District: R1.90

Property Owner: STAN LEERKAMP

Applicant: STAN LEERKAMP

Signature: [Signature]

Signature: [Signature]

Address: 3852 NO HAWES RD

Address: 3852 NO HAWES RD

City/Zip Code: MESA 85207

City/Zip Code: MESA 85207

Phone No.: (480) 358-0630

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Request: ☒ Variance ☐ Special Use Permit ☐ Interpretation ☐ Mod. Of PAD

List Requests: (Be specific) BUILD A 2 CAR GARAGE 30'x24'
IN FRONT OF EXISTING HOME

Items Required for a Complete Submittal

Failure to provide the items noted below will result in a delay of your hearing date.
(All drawings must be fully dimensioned and drawn to scale.)

- ☒ Application Form
☒ Application Fee \$ 00-
☒ Site Plan
☐ Floor Plan
☒ Justification/Compatibility Statement
(typewritten on separate sheet)
☐ No. of copies required of plans 2

- ☒ Citizen Participation Plan Sheet
☒ Elevations
☐ Landscape Plan
☐ Sign Plan (Existing and proposed)
☐ Homeowner's Assoc./Architectural
Committee Written Approval
☐ Other: _____

Planning Division Office Use Only			
Zoning Administrator:	Hearing Date: <u>11-7-00</u>	Case No: <u>2400-916</u>	
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Withdrawn <input type="checkbox"/> Continued to:			
<input type="checkbox"/> Conditions: <u>As submitted</u>			
Board of Adjustment:	Hearing Date:	Case No:	
<input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Withdrawn <input type="checkbox"/> Continued to:			
<input type="checkbox"/> Conditions (See Minutes)			
Downtown Development Committee: Meeting Date:			
 Zoning Administrator			

October 9, 2000

City of Mesa
Planning Department
55 North Center Street
P. O. Box 1466
Mesa, AZ 85211-1466

To Whom It May Concern:

We are asking for a variance to allow the construction of a 30' x 24' double car garage in front of our house at 3852 North Hawes Road.

When we purchased the home in February it had no existing garage.

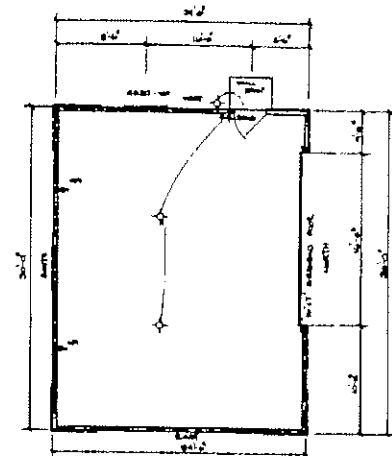
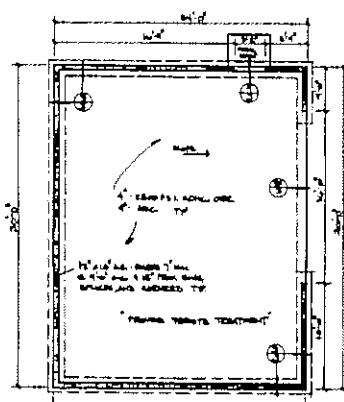
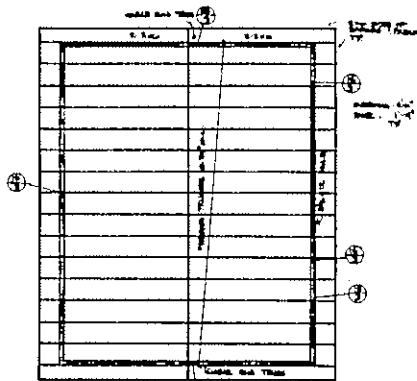
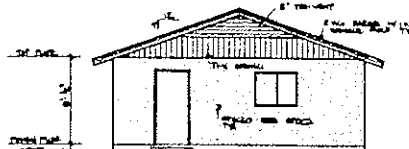
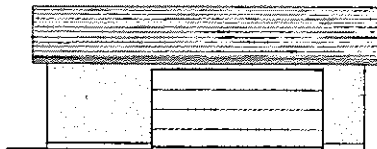
The home was built in 1976 on the back property line. There is a natural wash on one side and a utility easement on the other. This garage should not have a compatibility problem as there are no houses within 500'.

We do not feel this is an unusual favor as anyone with these circumstances should be granted a variance.

Sincerely,

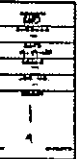


Stan Leerkamp
3852 North Hawes Road
Mesa AZ 85207

[illegible]

Ronald J. Bennett
architectural drafting
800 W. CYSBORGH ST.
CHANDLER, ARIZONA 85215-1232

CHEYENNE CONSTRUCTION
GARAGE PLAN



R
Ronald J. K. Bennett

CHEYENNE CONSTRUCTION
GARAGE PLAN

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