

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH CURRENT ANSI, I.R.C., 2012 AND AMMENDMENTS.
- ALL PRODUCTS TO BE INSTALLED AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- FOUNDATIONS TO COMPLY WITH CHAPTER 4 OF I.R.C., 2012
- FLOORS TO COMPLY WITH CHAPTER 5 OF I.R.C., 2012
- WALL CONSTRUCTION TO COMPLY WITH CHAPTER 6 OF I.R.C., 2012
- WALL COVERINGS TO COMPLY WITH CHAPTER 7 OF I.R.C., 2012
- ROOF-CEILING CONSTRUCTION TO COMPLY WITH CHAPTER 8 OF I.R.C., 2012
- ROOF ASSEMBLIES TO COMPLY WITH CHAPTER 9 OF I.R.C., 2012
- CHIMNEYS AND FIREPLACES TO COMPLY WITH CHAPTER 10 OF I.R.C., 2012

- SLOPE OF LANDINGS AT DOORWAYS TO BE 1/ 4"=12" MAX
- NO EXPOSED CONDUIT ALLOWED
- GAS PIPING NOT ALLOWED UNDER SLABS OR STRUCTURES
- OFFSET ALL PLUMBING OUT OF BEARING WALL FOOTINGS

PROJECT INFORMATION

1. TYPE OF PROJECT

2. OCCUPANCY

3. TYPE OF CONSTRUCTION

4. SIZE IN SQUARE FEET

\*LIVABLE     TOTAL

\*GARAGE     TOTAL

\*COVERED OUTDOOR LIVING TOTAL

\*COVERED    TOTAL

5. SUBDIVISION & LOT #

6. PARCEL #

7. JOB ADDRESS

8. LOT SIZE

9. PARKING

10. ZONED

11. SETBACKS

12. LOT COVERAGE

13. HEIGHT

14. CODES

SINGLE FAMILY RESIDENCE

R-5

V-N

2,314 SQ.FT.

1579 SQ.FT.

635 SQ.FT.

3713 SQ.FT.

XX

219-18-975

3852 N. HAWES RD MESA AZ

0.42 ACRES

-

PER BUILDING ENVELOPE

-

-

IRC 2012

PROJECT TEAM

DESIGNER

BRADSHAW HOME DESIGN LLC.

SCOTTVD@CABLEONE.NET

(928)-710-2580.

SHEET SCHEDULE

A-000	TITLE SHEET, PROJECT INFORMATION		
A-100	SITE PLAN		
A-101	FOUNDATION PLAN/ FLOOR PLAN		
A-102	ROOF FRAMING / ELECT PLAN		
A-200	ELEVATIONS 1 & 2		
A-201	SECTIONS		

PROJECT:

DATE: 05/ 26/ 2015

SCALE: NTS

SHEET:

A-000

BRADSHAW HOME DESIGN LLC.

Architectural Drafting & Design

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TYP. NOTES FOR GRADING & DRAINAGE

1. DASHED TREES ARE TO BE REMOVED BY CONTRACTOR.

2. LANDSCAPE TO REMAIN NATURAL; REPLANT ALL DISTURBED AREAS w/ PESCUE GRASS & WILD NATURAL BLEND.

3. PROVIDE DRIP OR SPRAY IRRIGATION SYSTEM TO WATER ADEQUATELY ALL NEW PLANTS SHOWN.

4. ALL EXPOSED CUT & FILL AREAS SHALL HAVE ROCK SELECTED BY OWNER WITH FILTER FABRIC.

5. EXISTING CONTOURS ARE DASHED AND ALL PROPOSED CONTOURS ARE SOLID.

6. CONTRACTOR SHALL REMOVE FROM SITE ALL CUT TREES, BRUSH & OTHER MATERIALS BY COMPLETION OF PROJECT.

7. CONTRACTOR SHALL SLOPE GRADE AWAY FROM & AROUND STRUCTURES INTO EXISTING DRAINAGE PATHS.

8. EXCAVATE UNDER BUILDING 1'-6" MIN. CRAWL SPACE UNDER JOIST; 1'-0" MIN. UNDER BEAMS.

9. CONTACT BLUE STAKE 2 DAYS BEFORE DIGGING.

10. MINIMUM GRADE AWAY FROM BUILDING - 6" IN 10' TYPICAL.

11. PROVIDE MAIN WATER SHUTOFF OUTSIDE BUILDING.

12. PROVIDE 6 MIL VISQUEEN WITHIN 20' OF HOUSE UNDER LANDSCAPING.

13. PROVIDE UNDERGROUND PIPING FROM DOWNSPOUT TO DRAINAGE SWELLS.

14. IF FILL IS 2 FT. OR GREATER UNDER FOUNDATION, A SOILS COMPACTION INSPECTION REPORT WILL BE REQUIRED.

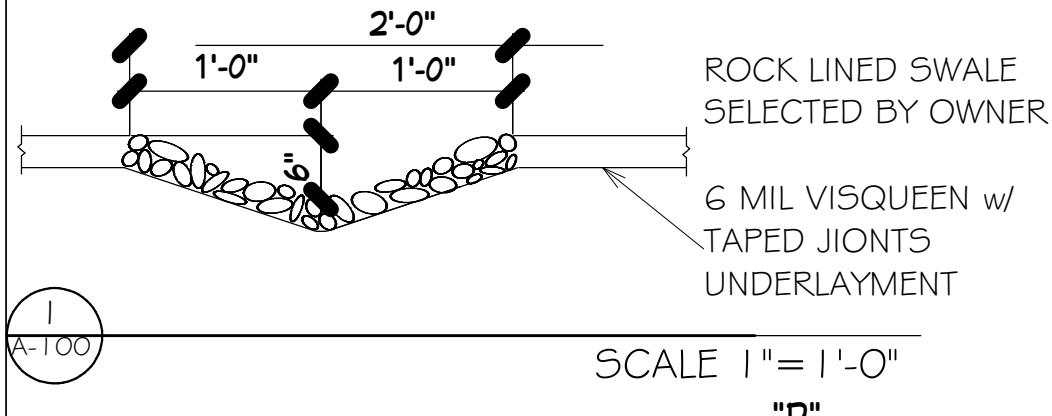
15. IF THERE ARE RETAINING WALLS OVER 4 FT. IN HEIGHT, THE BUILDING DEPT WILL REQUIRE A SEPERATE PERMIT AND ENGINEERING FOR WALL.

16. IF BLASTING IS REQ'D, CONTACT THE POLICE DEPT FOR BLASTING APPROVAL.

17. ALL EXPOSED CUT & FILL AREAS SHALL HAVE ROCK SELECTED BY OWNER w/ FILTER FABRIC.

CUT & FILL TOTALS

DRAINAGE SWALE



UTILITY CLEARANCES

- "A" MINIMUM OF 24" VERTICAL CLEARANCE BETWEEN MAIN LINES.

"B" 6" BEDDING WILL BE REQUIRED

"C" MINIMUM OF 36" COVER OVER MAIN LINES

"D" MINIMUM OF 30" WIDE.

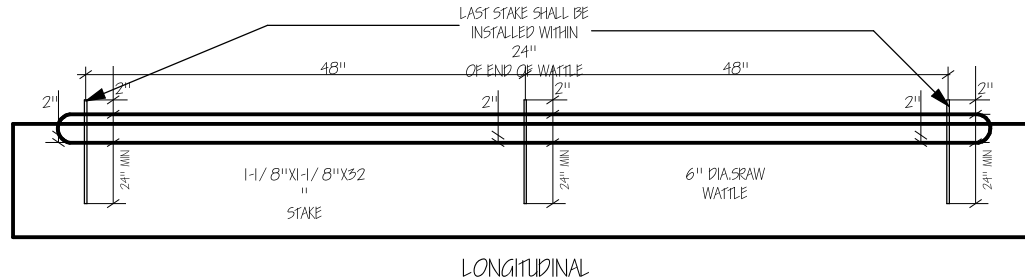
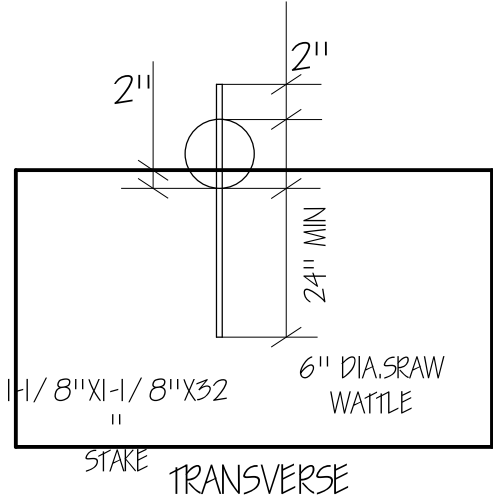
"E" 12" SHADING OVER TOP OF PIPE.

"F" MINIMUM OF 48" HORIZONTAL CLEARANCE.

"G" MINIMUM 6" OF SIDE WALL CLEARANCE
- NOTE: CITY OF PRESCOTT WATER MAINS MAY BE COMMON IN TRENCH WITH GAS MAINS ONLY. CONTRACTOR TO VERIFY ACCEPTABILITY OF WATER AND GAS IN COMMON TRENCH WITH OTHER UTILITIES (ALL OTHER UTILITIES ARE EXCLUDED).

SCALE 1" = 1'-0"

DETAILS



STRAW WATTLE DETAIL



SITE PLAN

FILL EXCEEDING 2' MUST HAVE A  
CERTIFIED COMPACTION TEST AND REPORT

SCALE = 1" = 20' - 0"

PROJECT INFO

OWNER:

ARCHITECT:

CONTRACTOR:

BUILDING VALUATION

1. TYPE OF PROJECT

SINGLE FAMILY RESIDENCE

2. OCCUPANCY

R-3

3. TYPE OF CONSTRUCTION

V-B

4. SIZE IN SQUARE FEET

LIVABLE TOTAL SQ.FT., LEVEL 1 SQ.FT., LEVEL 2 SQ.FT., LEVEL 3 SQ.FT.

5. GARAGE

TOTAL SQ.FT., LEVEL 1 SQ.FT., LEVEL 2 SQ.FT., LEVEL 3 SQ.FT.

6. COVERED PATIO

TOTAL SQ.FT., LEVEL 1 SQ.FT., LEVEL 2 SQ.FT., LEVEL 3 SQ.FT.

7. UNCOVERED PATIO

TOTAL SQ.FT., LEVEL 1 SQ.FT., LEVEL 2 SQ.FT., LEVEL 3 SQ.FT.

8. COURTYARD

TOTAL SQ.FT., LEVEL 1 SQ.FT., LEVEL 2 SQ.FT., LEVEL 3 SQ.FT.

9. COVERED ENTRY

TOTAL SQ.FT., LEVEL 1 SQ.FT., LEVEL 2 SQ.FT., LEVEL 3 SQ.FT.

10. GUEST HOUSE

TOTAL SQ.FT., LEVEL 1 SQ.FT., LEVEL 2 SQ.FT., LEVEL 3 SQ.FT.

11. SUBDIVISION #

LOT #

12. PARCEL #

13. JOB ADDRESS

14. LOT SIZE

15. PARKING

16. ZONED

17. SETBACKS

FRONT SIDE REAR

18. LOT COVERAGE

19. HEIGHT

20. CODES

2012 I.R.C

TYPICAL NOTES FOR SITE PLAN

1. PROVIDE VISIBLE & LEGIBLE ADDRESS # ON BUILDING.

2. YAVAPAI COUNTY SPECS SHALL BE A PART OF THESE PLANS IF IN COUNTY JURISDICTION; CONTRACTOR SHALL ATTACH THEM.

3. CONTRACTOR TO PROPERLY PIN & FLAG ALL PROPERTY CORNERS BEFORE PROPERTY INSPECTION.

4. CONTRACTOR TO VERIFY ALL MEASUREMENTS PRIOR TO CONSTRUCTION.

5. FINAL INSPECTION REQUIRED PRIOR TO OCCUPANCY

6. VERIFY ALL UTILITY LOCATIONS.

MATERIAL SPECIFICATIONS

CONCRETE -----fc' = > 2500 p.s.i.

MASONRY -----Grade "N", f' = > 1350 p.s.i.

MORTAR -----Type "S" 1800 p.s.i.

GROUT -----fc' = > 2000 p.s.i.

REINFORCING STEEL -----ASTM, A-615, Fy = 40 k.s.i.

STRUCTURAL STEEL -----ASTM, A-36, Fy = 36 k.s.i.

LUMBER -----See Table

GLUE-LAM BEAMS -----fb = > 2400 p.s.i.; E = > 1,800,000 p.s.i.

PLYWOOD ROOF -----5/8" or 1/2" OSB

PLYWOOD FLOOR -----3/4" CDX T&G standard sheathing panel index 4B/24

(May use blocking or 1/4" underlayment or 25/32 wood strip finish floor in lieu of T&G)

BOLTS -----A-307, Fy = 33 k.s.i.

* ALL LUMBER TO BEAR APPROVED GRADING STAMP			
LUMBER USAGE	SPECIES	GRADE	COMMENTS
2x4 STUDS	DF-LH	K2	
2x6 STUDS	DF-LH	K2	
2x6 THRU 2x14 JOISTS	DF-L	K2	
2x RAFTERS	DF-L	K2	
4x BEAMS	DF-L	K2	
6x BEAMS	DF-L	K2	
4x4 POSTS	DF-L	K2	
6x4 POSTS	DF-L	K2	
TIMBERS (VEGAS)	DF-L	K2	
BEAMS	DF-L	COMMERCIAL	
GLUE LAM BEAMS	DF-IDF	24F-V4	DF-L
GLUE LAM BEAMS	DF-IDF	24F-V6	DF-L

Bradshaw Home Design LLC,

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WILEY GARAGE

3852 N. HAWES RD

PROJECT:

DATE: 05 / 26 / 2015

SCALE: 1" = 10' - 0

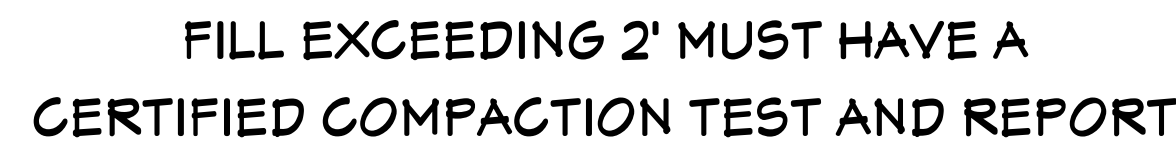
SHEET:

A-100



FOUNDATIONS WITH STEMWALLS SHALL BE PROVIDED WITH A MINIMUM OF ONE NO. 4 BAR AT THE TOP OF THE WALL AND TWO NO. 4 BAR AT THE BOTTOM OF THE FOOTING.

1. CONCRETE: Fc 2500 P.S.I IN 28 DAY
2. REBAR: ASTM A615 GRADE 40 F's 20,000 P.S.I
3. ASSUMED SOIL BEARING 1500 P.S.F
4. ALL FOOTINGS PLACED 18" INTO NATURAL SOIL / ENGINEERED PAD
5. ALL CONCRETE SLAB AREA'S SHALL BE PRE TREATED FOR TERMITES.
6. PROVIDE #3 REBARS ON 48" GRID FOR GARAGE AND PATIO SLABS
7. SEE MECHANICAL ' PLUMBING AND ELECTRICAL PLANS FOR UNDER SLAB WORK
8. ALL REINFORCING SHALL BE CONTINUOUS OR LAPPED A MINIMUM OR 40 BAR DIAMETER. EXTEND REINFORCING CONTINUOUS AROUND CORNERS AND INTERSECTIONS
9. INTERIOR BEARING WALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL OR 18" IN TO ENGINEERED PAD
10. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING CONCRETE



# FOUNDATION PLAN

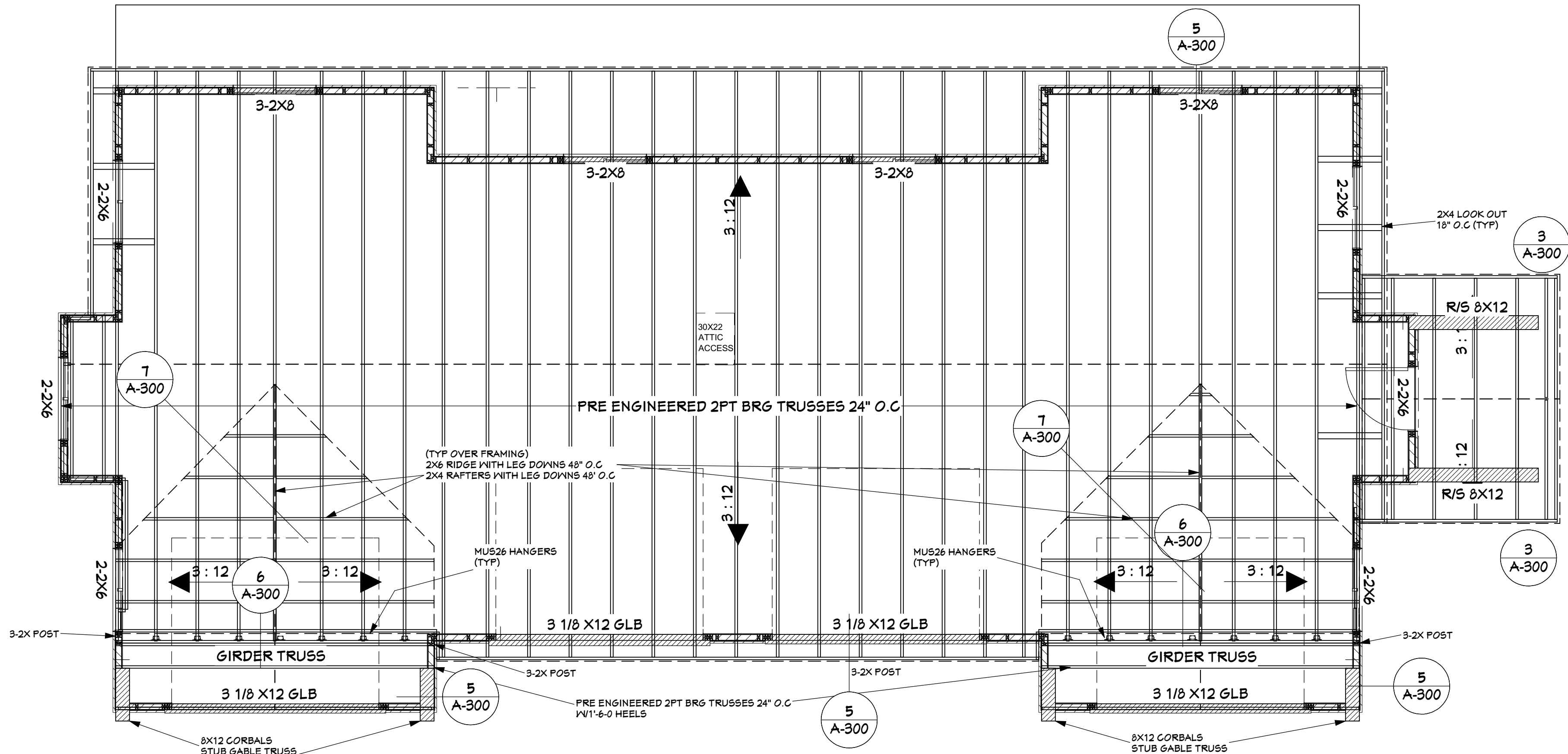


PROJECT:	WILEY GARAGE
DATE: 03 / 26 / 2015	3852 N. HAWES RD
SCALE: 1 / 4" = 1'	
SHEET:	A-101

ATTIC VENTILATION

ATTIC SPACE = 1579SQ. FT.  
PROVIDE 1 SQ. FT. OF  
VENTILATION FOR EVERY 300  
SQ. FT. OF ATTIC SPACE  
1579 ÷ 300 = 5.29 SQ. FT REQUIRED  
USE CONTIGUES RIDGE VENTS  
AND 3-HOLE BLOCKING

- ROOF NOTES
- USE SIMPSON H2.5A AT EACH TRUSS OR RAFTER AND DBL TOP PLATE OR BEAM.
  - PROVIDE 1/2" O.S.B. ROOF SHEATHING
  - PROVIDE ROOF VENTING OF ONE SQ. FT. PER 150 SQ. FT. OF ROOF AREA.
  - ALL FRAMING AND ANCHORING PER IRC
  - PROVIDE FIREBLOCKING IN STUD WALLS AT FURRED-DOWN AREAS AND SOFFITS.



DESIGN LOADS	
LIVE	20 PSF
DEAD	10 PSF (15 PSF TILE)
TOTAL	30 PSF

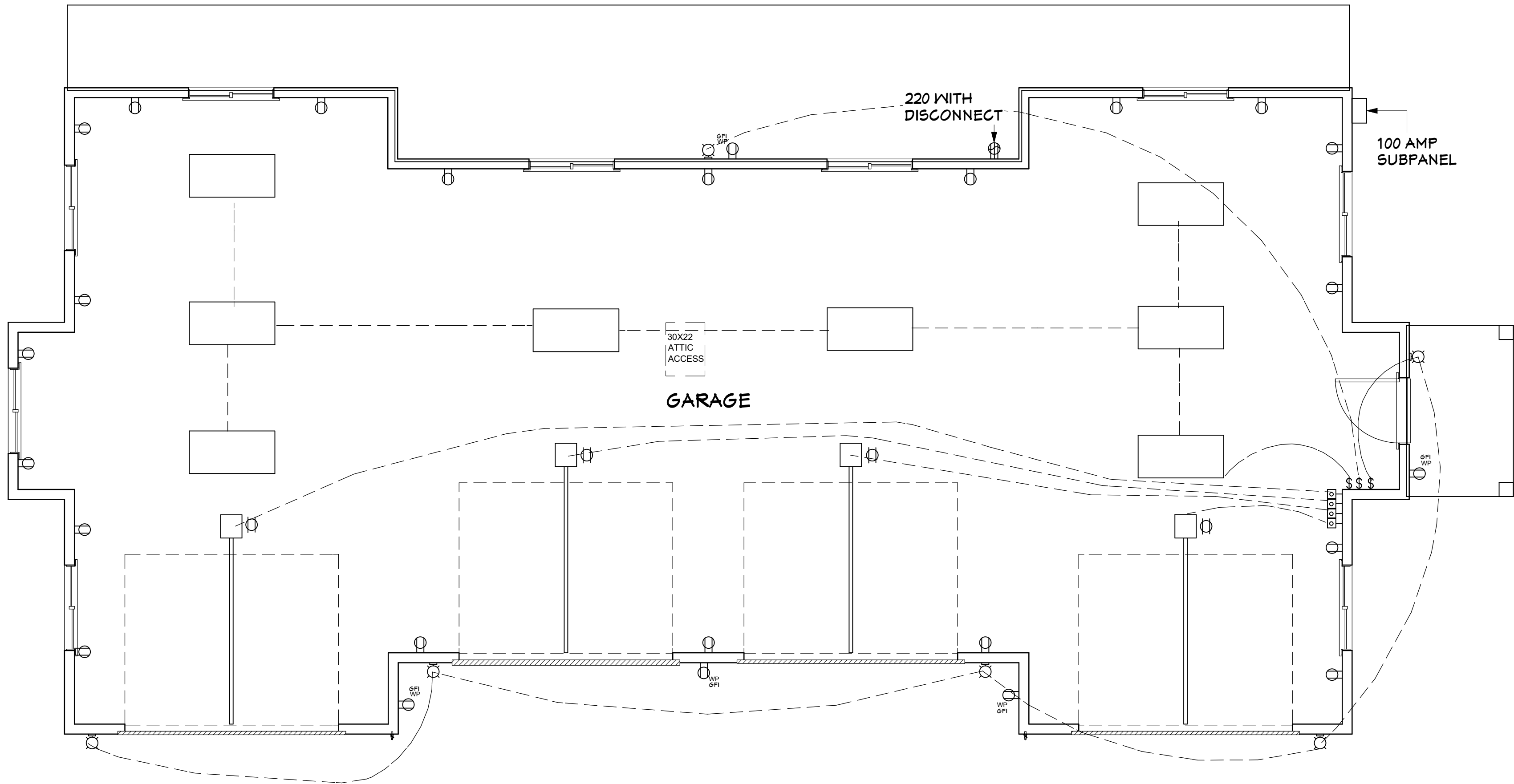
ROOF PLAN

- SPECIFIC NOTES FOR ELECTRICAL PLAN:
- MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO WORK.
  - ALL GFI & GFCI AT CABINETS TO BE 44" AFF UNLESS OTHERWISE SPECIFIED.
  - FANS NOT INCLUDED IN PACKAGE.

- GENERAL NOTES FOR ELECTRICAL PLAN:
- CONTRACTOR TO PROVIDE QUOTED ALLOWANCE FOR LIGHTING FIXTURES, CEILING FANS AND/OR BOXES, INDIRECT LIGHTING FIXTURES AND CAN LIGHTING TO BE PROVIDED BY CONTRACTOR.
  - LICENSED ELECTRICAL CONTRACTOR SHALL INSTALL ELECTRICAL TO N.E.C.
  - CONTRACTOR TO VERIFY ELECTRICAL REQUIRED FOR KIT APPLIANCES, WHIRLPOOL TUBS, POOL, FURNACE, WATER HEATER ETC. PER ARTICLE 680 N.E.C.
  - INDIRECT LIGHTING SHALL BE PLACED @ REAR OF ANY LIGHT COVES
  - PROVIDE SEPARATE 20AMP CIRCUIT FOR WASHER, PROVIDE SEPARATE 20AMP CIRCUIT FOR BATHROOM, PROVIDE 2) 20AMP CIRCUITS IN KITCHEN, PANTRY, BREAKFAST AND DINING AREAS
  - PROVIDED NON METALLIC TRIM ABOVE SHOWER AND TUB LIGHT FIXTURES ON GFI CIRCUIT.
  - ALL SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH EACH OTHER.
  - PROVIDE A SECURITY SYSTEM DESIGNED BY SUBCONTRACTOR WITH QUOTED ALLOWANCE AND SURROUND SOUND.
  - PROVIDE VFER. GROUND PER ARTICLE 250 N.E.C.
  - ALL BATHROOM EXHAUST FANS TO HAVE A 5 MIN. SHUT OFF SWITCH.
  - PROVIDE APPROVED WET APPLICATIONS FOR EXTERIOR FIXTURES AND APPLICABLE BATH FIXTURES.
  - ALL FAN BOXES TO BE UL RATED; INSTALL PER MANUFACTURERS RECOMMENDATIONS.
  - ALL OUTLETS IN GARAGE TO BE GFCI.
  - ALL EXTERIOR OUTLETS TO BE GFI AND WATERPROOF.
  - PROVIDE SMOKE DETECTORS IN AND JUST OUTSIDE OF EACH BEDROOM, @ EACH FLOOR AND @ 2' OR MORE CEILING CHANGES.
  - ALL OUTLETS IN LAUNDRY, BATHROOMS, UNFINISHED BASEMENTS AND STORAGE AREAS, ALL OUTLETS SERVING KITCHEN COUNTER TOPS AND WITHIN 6' OF A BAR SINK SHALL BE GFCI PROTECTED.
  - PROVIDE ACCESSIBLE GFCI OUTLET FOR MOTOR @ JETTED TUB.
  - PROVIDE ARC-FAULT CIRCUIT INTERRUPTER(S) IN ALL BEDROOMS AS PER ARTICLE 210-12(B) OF THE 2012 N.E.C.
  - PROVIDE CAT 5 PHONE WIRING AND RG-6 COAXIAL.
  - ALL ELECTRICAL WORK SHALL COMPLY WITH 2012 I.R.C. CHAPTERS 22 THROUGH 42.
  - CEILING SUSPENDED PADDLE FANS SHALL BE SUPPORTED BY A LOAD RATED OUTBOX PER I.R.C. E 4001.6
  - ARC-FAULT CIRCUIT PROTECTION FOR BRANCH CIRCUITS SERVING ALL OUTLETS IN BEDROOMS.
  - EXTERIOR LIGHTING TO COMPLY WITH DARK SKY ORDINANCE.
  - ENSURE ARC-BREAKER @ EACH BEDROOM

- GENERAL NOTES FOR RECESSED LIGHTING:
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES BY BEING:
    - IC-RATED & LABELED WITH ENCLOSURES THAT ARE SEALED OR GASKETED TO PREVENT AIR LEAKAGE TO CEILING CAVITY OR UNCONDITIONED SPACES; OR
    - IC-RATED & LABELED AS MEETING ASTM E 283; OR
    - LOCATED INSIDE AIRTIGHT SEALED BOX WITH CLEARANCES OF AT LEAST .5" FROM COMBUSTIBLE MATERIALS & 3" FROM INSULATION.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



ELECTRICAL PLAN

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WILEY GARAGE  
3852 N. HAWES RD

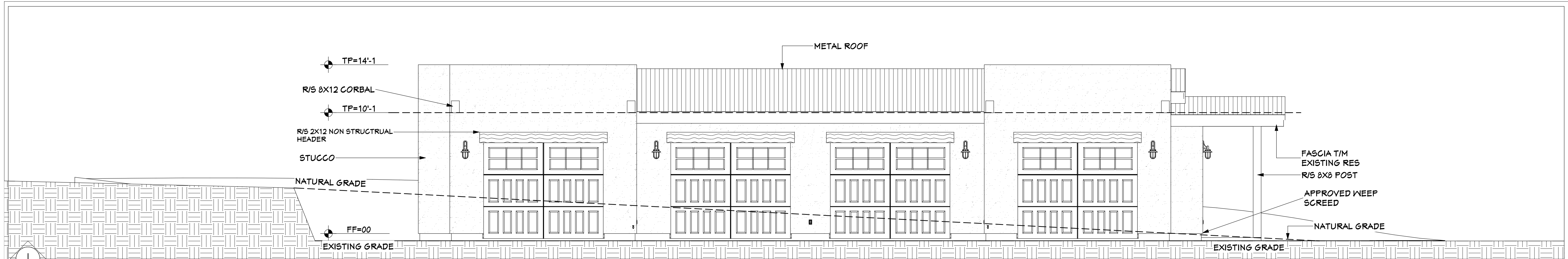
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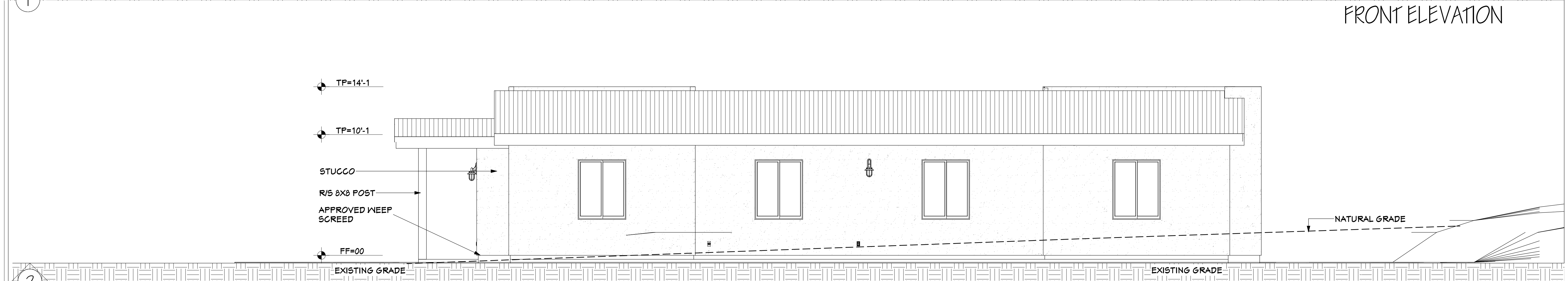
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SHEET:

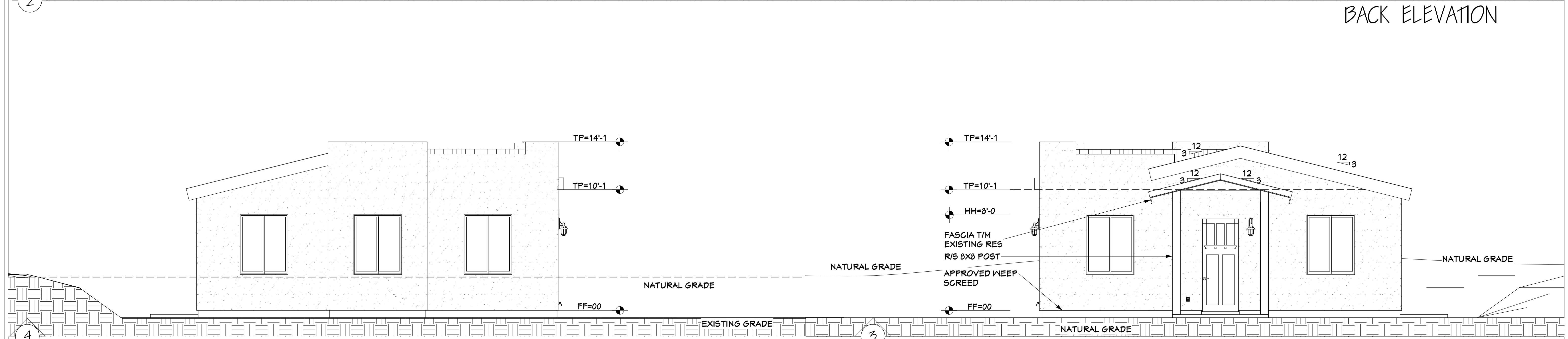
A-102



FRONT ELEVATION



BACK ELEVATION



LEFT ELEVATION

RIGHT ELEVATION

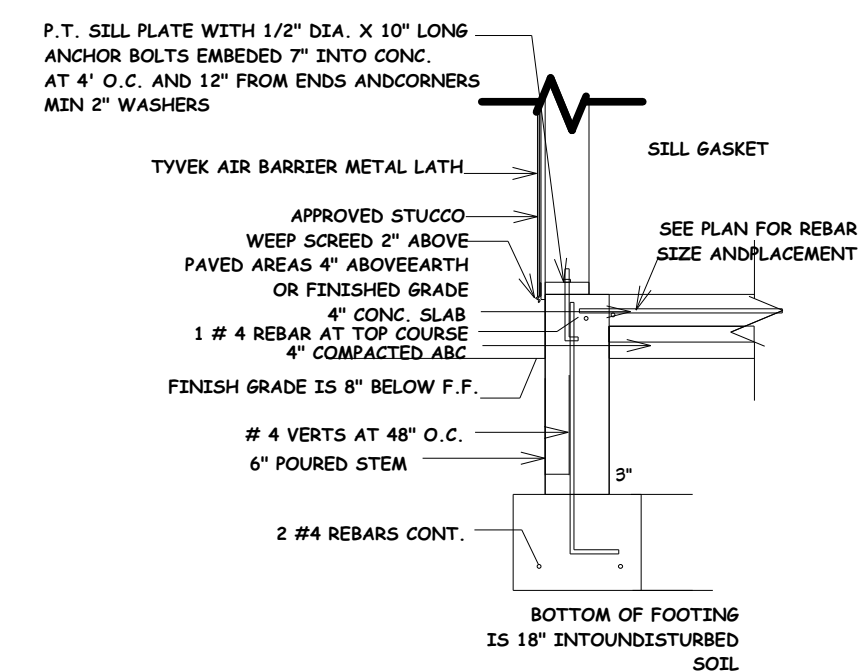
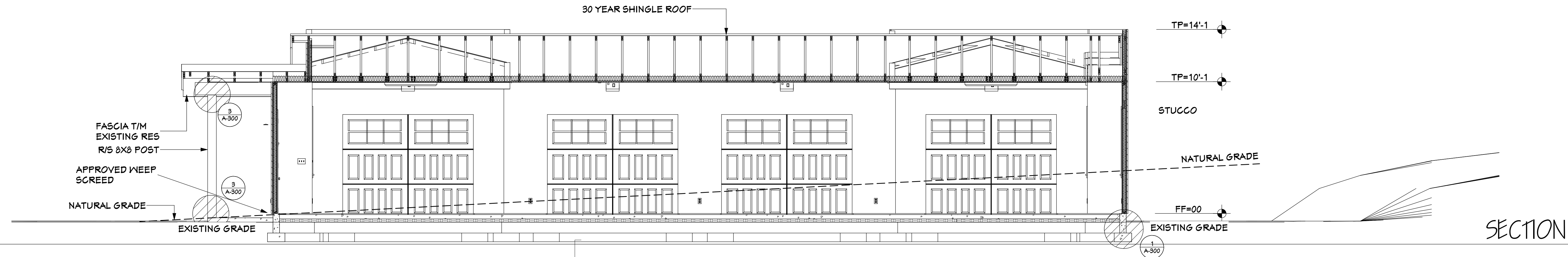
# ELEVATIONS

NOTE:  
DOWNSPOUTS NOT SHOWN

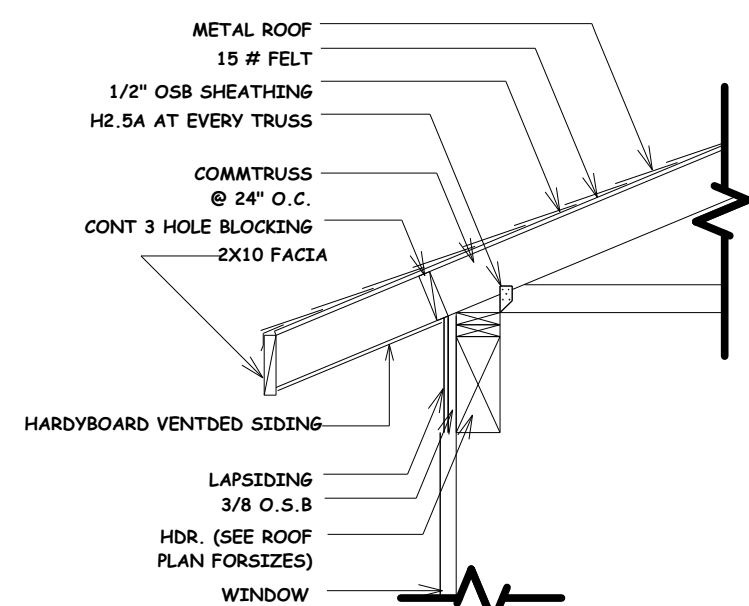
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WILEY GARAGE  
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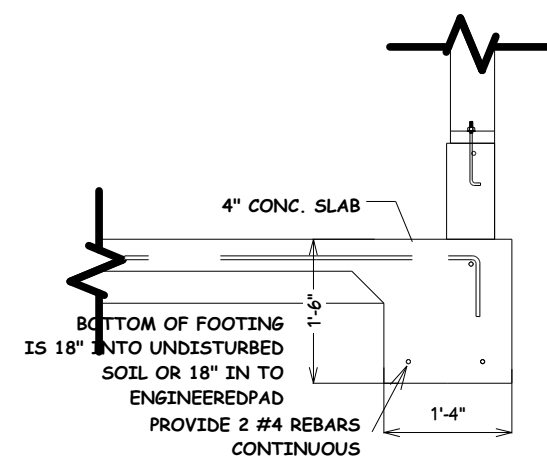
PROJECT:  
DATE: 05/26/2015  
SCALE: 1/4" = 1'  
SHEET:  
A-200



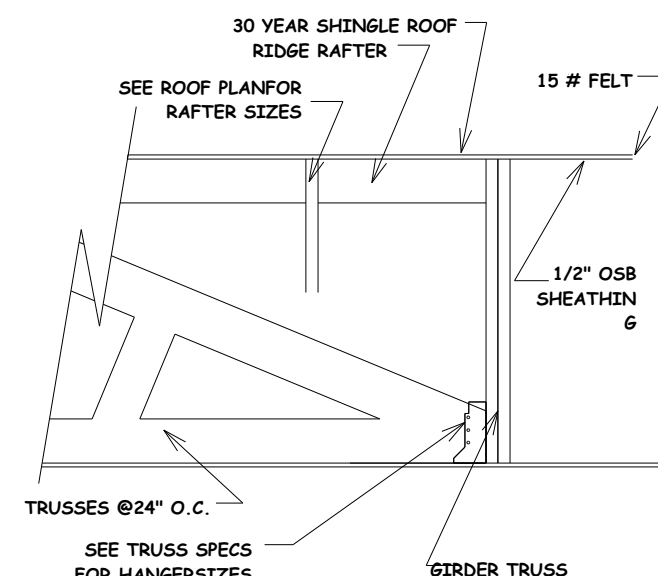
POURED STEM WALL  
3/4" = 1'-0"



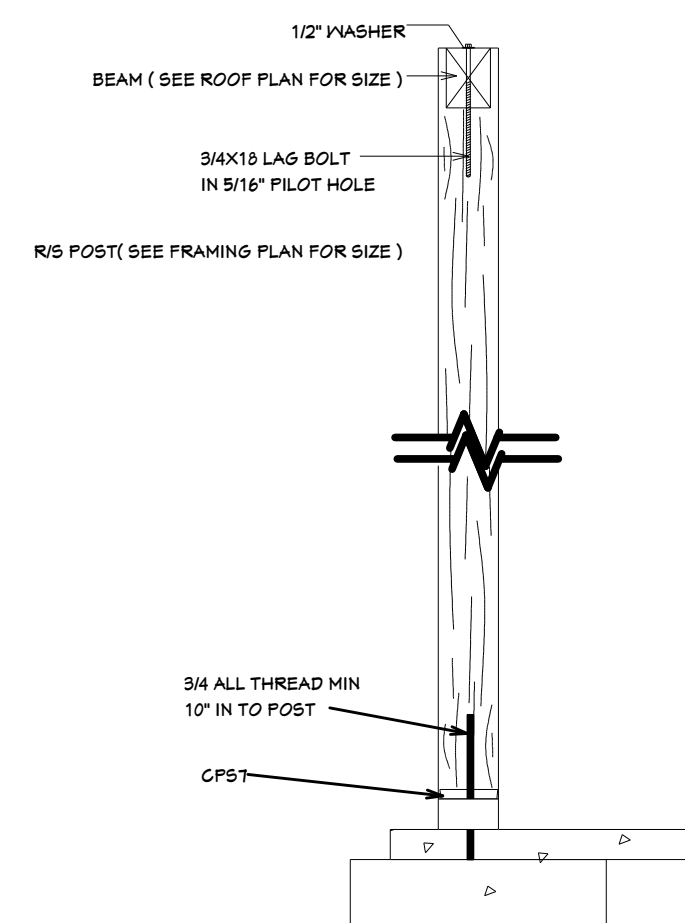
TYPICAL ROOF SECTION  
3/4" = 1'-0"



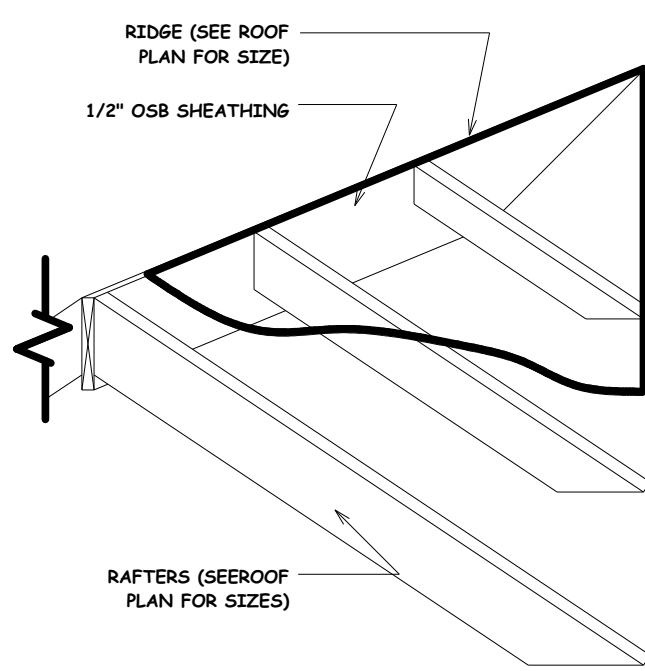
GARAGE DOOR TURN DOWN  
3/4" = 1'-0"



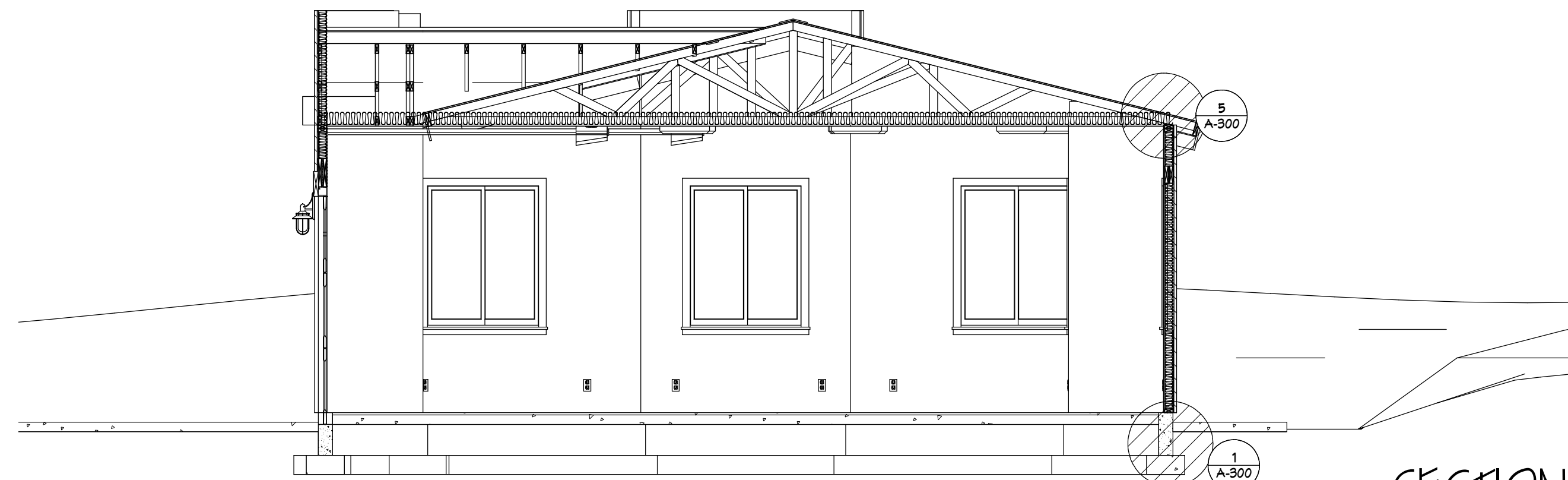
GIRDER TRUSS AND OVER FRAMING  
3/4" = 1'-0"



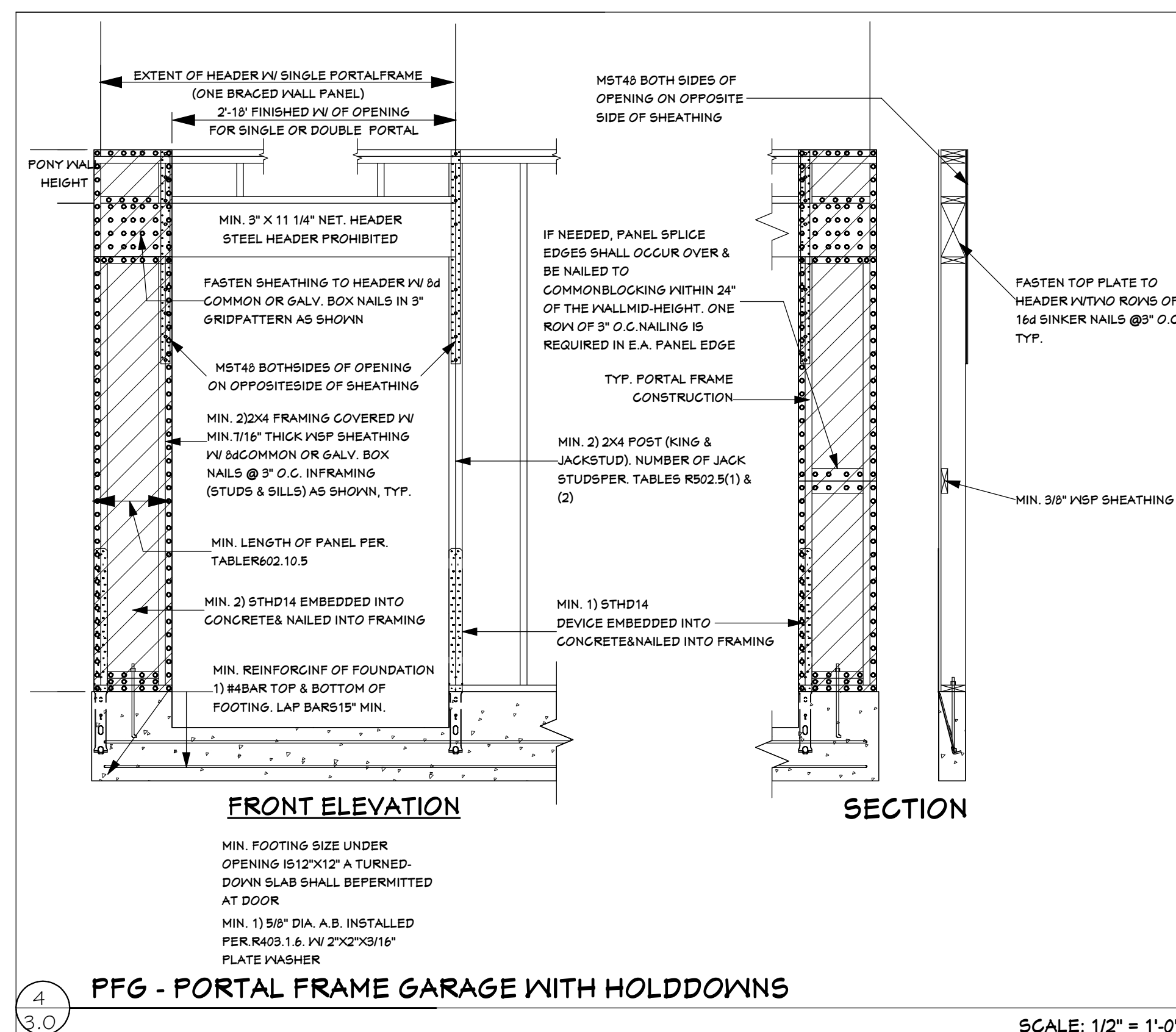
POST CONNECTION AT BEAM  
3/4" = 1'-0"



TYPICAL OVERFRAMING SECTION  
3/4" = 1'-0"



SECTION 2



FRONT ELEVATION

SECTION

PFG - PORTAL FRAME GARAGE WITH HOLDDOWNS

SCALE: 1/2" = 1'-0"