

PROJECT TEAM	
OWNER:	PUPPYFEATHERS LIMITED PARTNERSHIP 460 E. AUTO CENTER DRIVE MESA, ARIZONA 85204
OWNER:	MCP/ACQUISITION, LLC 1500 N. PRIEST DRIVE, SUITE 132 TEMPE, ARIZONA 85281 (602) 452-2573 (602) 452-2571 (FAX)
ATTORNEY:	WITHEY MORRIS, PLC 2525 E. ARIZONA BILTMORE CIRCLE, SUITE A-212 PHOENIX, ARIZONA 85016 (602) 230-0600 (602) 212-1787
ARCHITECT:	MCCALL & ASSOCIATES JEFF MCCALL, REGISTRATION # 29137 4307 N. CIVIC CENTER PLAZA SCOTTSDALE, ARIZONA 85251 (480) 946-0066 946-2082 (FAX)
CIVIL:	CEG NATHAN COTTRELL, REGISTRATION # 34081 12409 W. INDIAN SCHOOL ROAD, C-303 AVONDALE, ARIZONA 85392 (623) 536-1993 748-9008 (FAX)
LANDSCAPE:	RYAN AND ASSOCIATES PHILLIP R. RYAN, REGISTRATION # 14891 575 W. CHANDLER BLVD., SUITE 229 CHANDLER, ARIZONA 85225 (480) 899-5813 963-3674 (FAX)

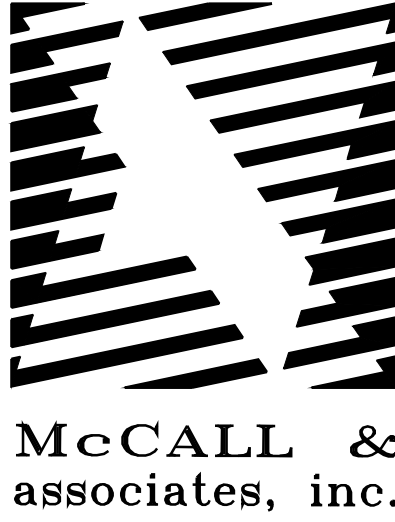
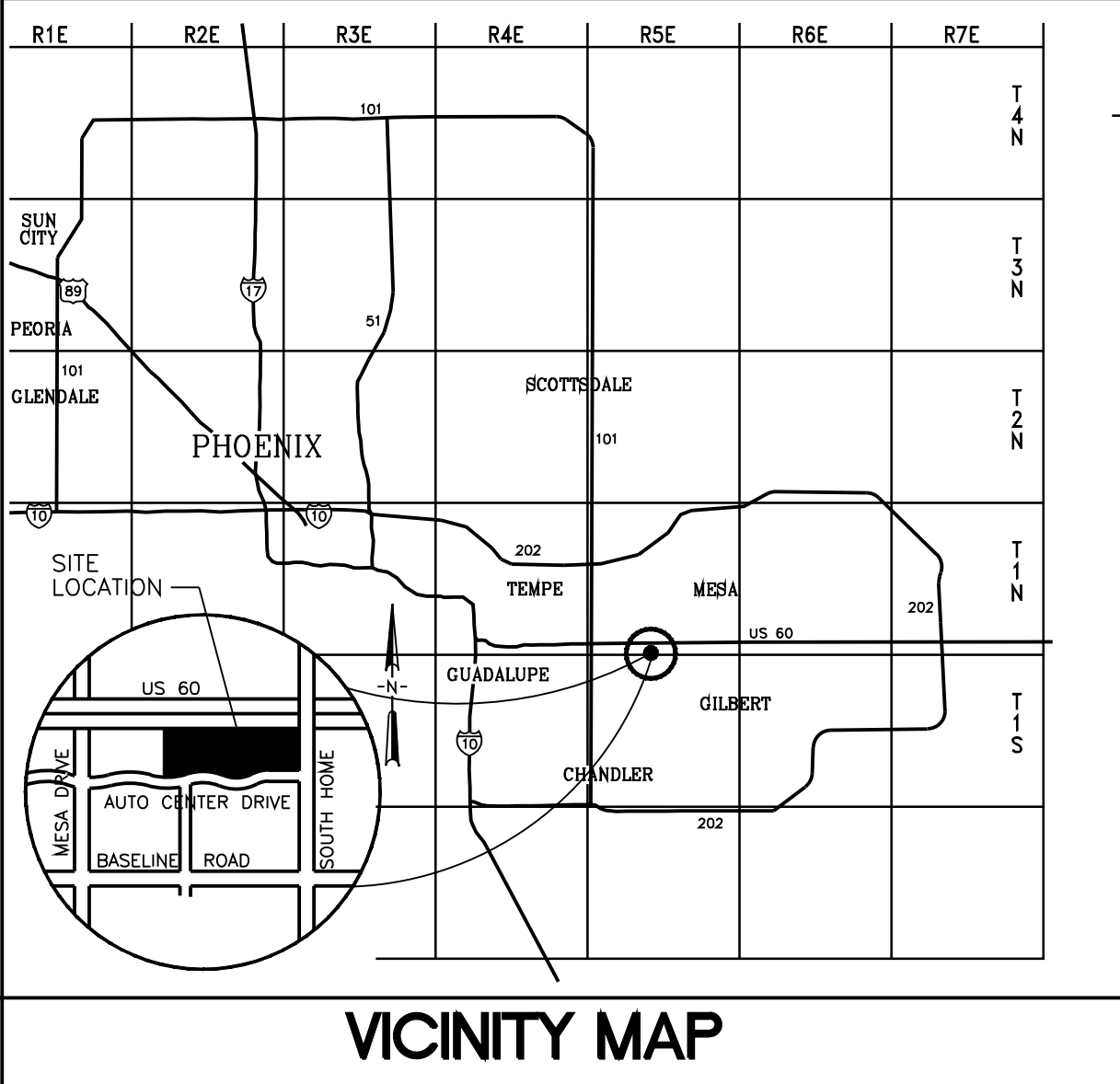
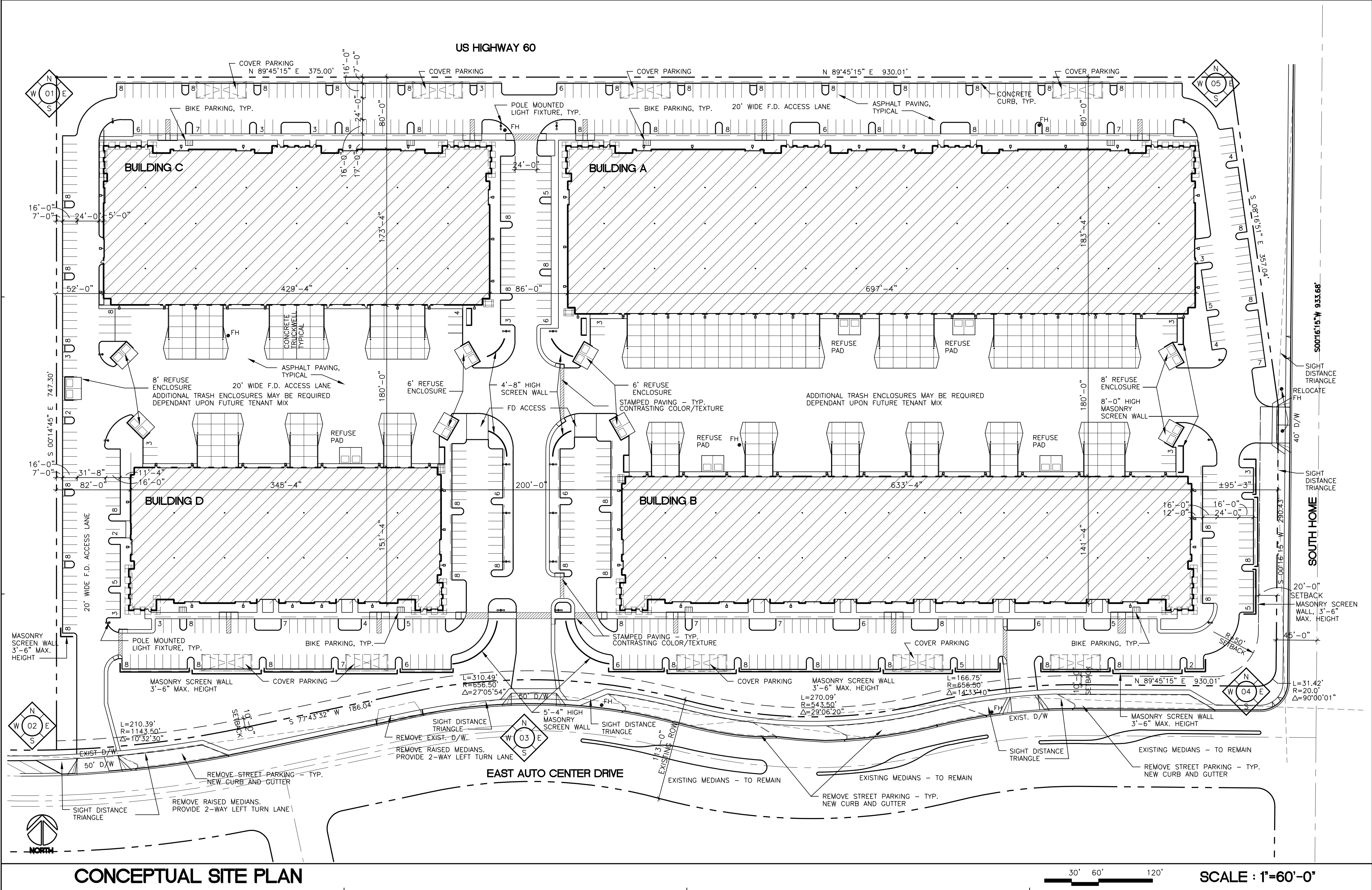
PROJECT INFORMATION	
ZONING: (EXISTING / PROPOSED)	PAD APN: LOT 3: 139-12-025 LOT 4: 139-12-026
SITE AREA: (NET)	21.34 ACRES - 933,672 S.F.
LOT COVERAGE:	345,290 S.F. / 933,672 S.F. = 37%
SITE AREA: (GROSS)	24.19 ACRES - 1,054,091 S.F.
BUILDING HEIGHT PROPOSED:	56'-0" PROPOSED
OCCUPANCY CLASSIFICATION:	B/F1/S1
TYPE OF CONSTRUCTION:	III-B, SPRINKLERED
ALLOWABLE FLOOR AREA:	UNLIMITED AREA
BUILDING AREA:	
BUILDING A:	128,161 S.F.
BUILDING B:	89,859 S.F.
BUILDING C:	74,662 S.F.
BUILDING D:	52,608 S.F.
TOTAL BUILDING AREA:	345,290 S.F.
PARKING SPACES REQUIRED:	
BUILDING AREA:	75% 258,968 SF / 500 S.F. = 518 SPACES 25% 86,322 SF / 375 S.F. = 231 SPACES
CALCULATED AS GROUP INDUSTRIAL	
TOTAL SPACES REQUIRED:	749 SPACES
TOTAL PARKING SPACES PROVIDED:	642 SPACES
REQUIRED ACCESSIBLE SPACES:	14 SPACES
ACCESSIBLE SPACES PROVIDED:	20 SPACES
BIKE PARKING PROVIDED:	16 SPACES

PROJECT NARRATIVE

THE PROJECT IS THE DEVELOPMENT OF APPROXIMATELY 21.3 ACERS. THE SITE WILL INCLUDE 4 BUILDINGS DESIGNED FOR OFFICE AND LIGHT INDUSTRIAL USES. THE BUILDING ARE CONSTRUCTED OF CONCRETE TILT UP WALLS WITH STORE FRONT GLAZING AND METAL BANDING WITH A FLAT, WOOD PANELIZED ROOF SYSTEM.

LEGAL DESCRIPTION

LOT 3 AND 4 OF THE AUTOMOTIVE CENTER AMENDED, ACCORDING TO THE MAP OF RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA IN THE BOOK 317 OF MAPS, PAGE 5.



4307 n. civic center plaza
scottsdale, az 85251
tel:(480) 946-0066
fax:(480) 946-5432

this drawing is an instrument of service, and shall remain the property of the architect. this drawing shall not be reproduced or used for any purpose, in whole or in part, without the written consent of the architect.

NOTICE OF ALTERNATE BILLING CYCLE: THIS CONTRACTING AGREEMENT IS THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S ESTIMATES IN BILLING CYCLES OTHER THAN 12 MONTHS SHALL BE APPLICABLE TO THE OWNER'S DESIGNATED AGENT AT THE ADDRESS LISTED ABOVE. THE ARCHITECT SHALL PROVIDE THIS DISCRIPTION ON REQUEST. NOTICE OF EXTENDED PAYMENT PROVISION: THIS CONTRACTING AGREEMENT IS THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S ESTIMATES IN BILLING CYCLES OTHER THAN 12 MONTHS SHALL BE APPLICABLE TO THE OWNER'S DESIGNATED AGENT AT THE ADDRESS LISTED ABOVE. THE ARCHITECT SHALL PROVIDE THIS DISCRIPTION ON REQUEST.

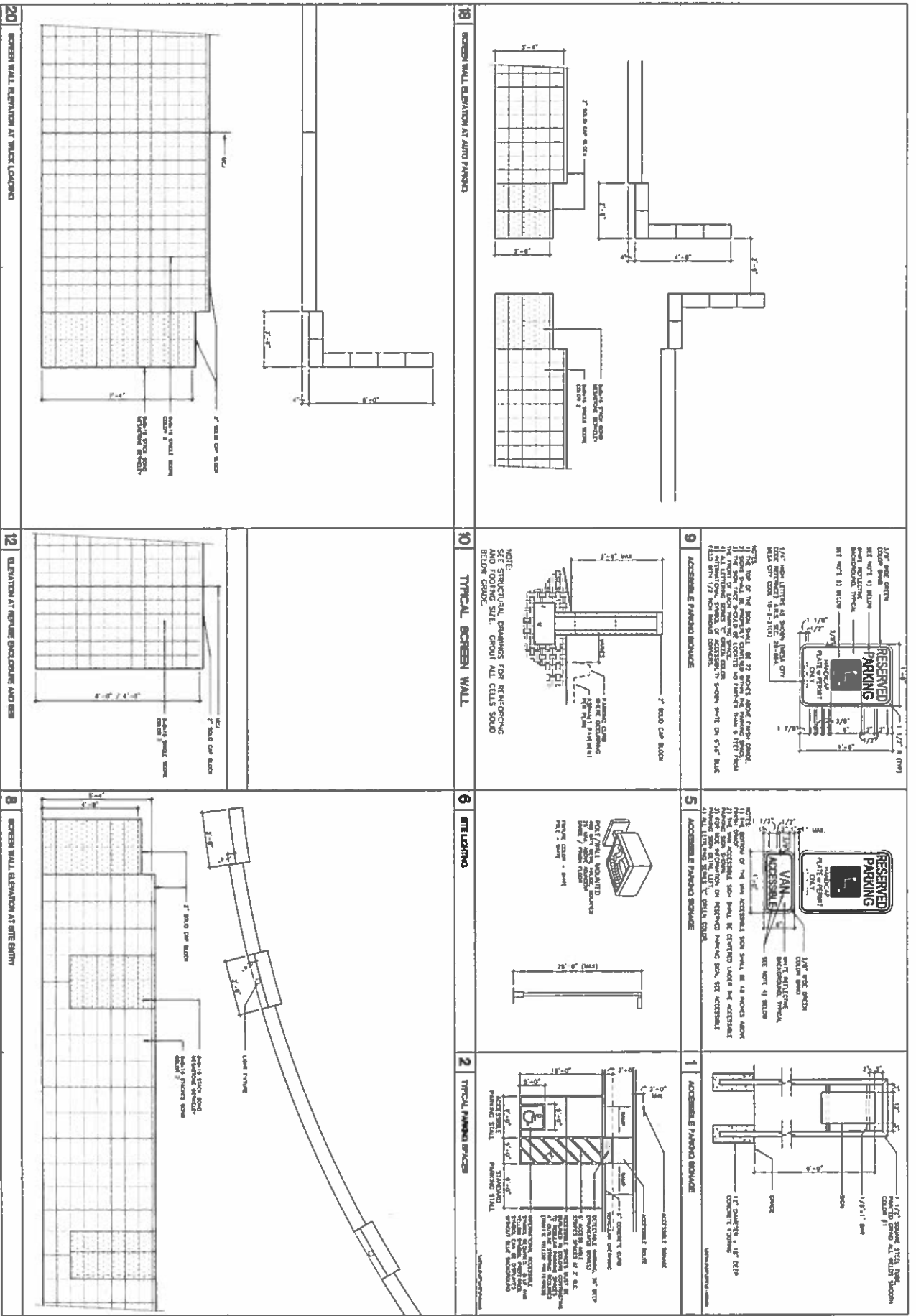
Sheet title:
SITE PLAN

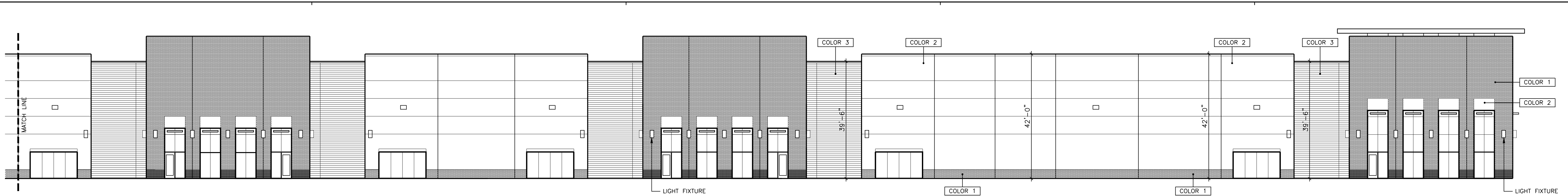
Project:
**METRO EAST VALLEY COMMERCE CENTER
US60 AND MESA DRIVE
MESA, AZ**

date: 12/2014
job no.: 14024
revision:

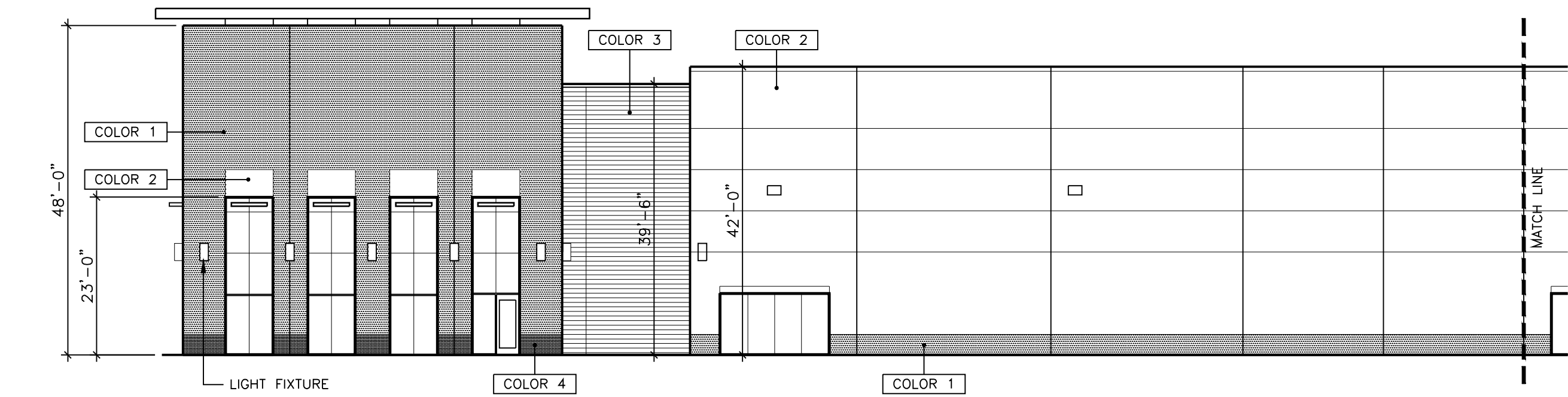


A11





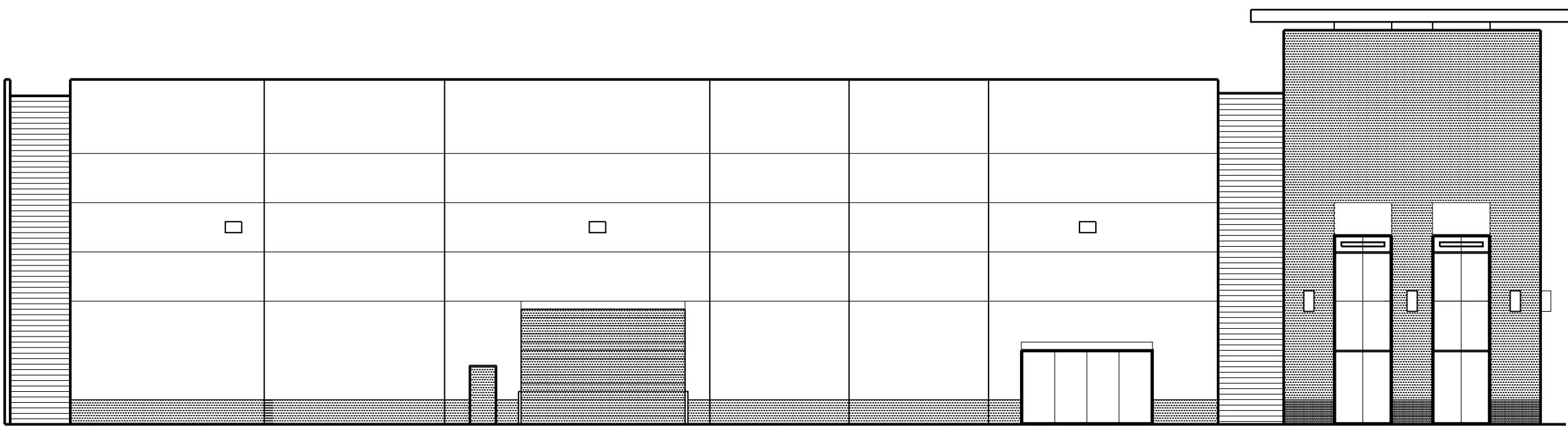
NORTH ELEVATION



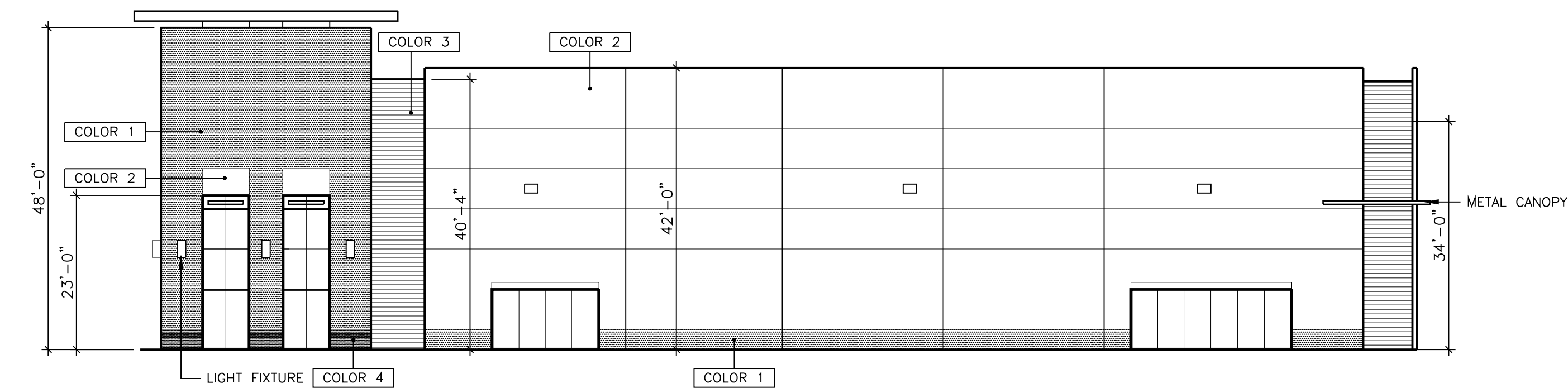
NORTH ELEVATION

COLOR / MATERIALS LEGEND

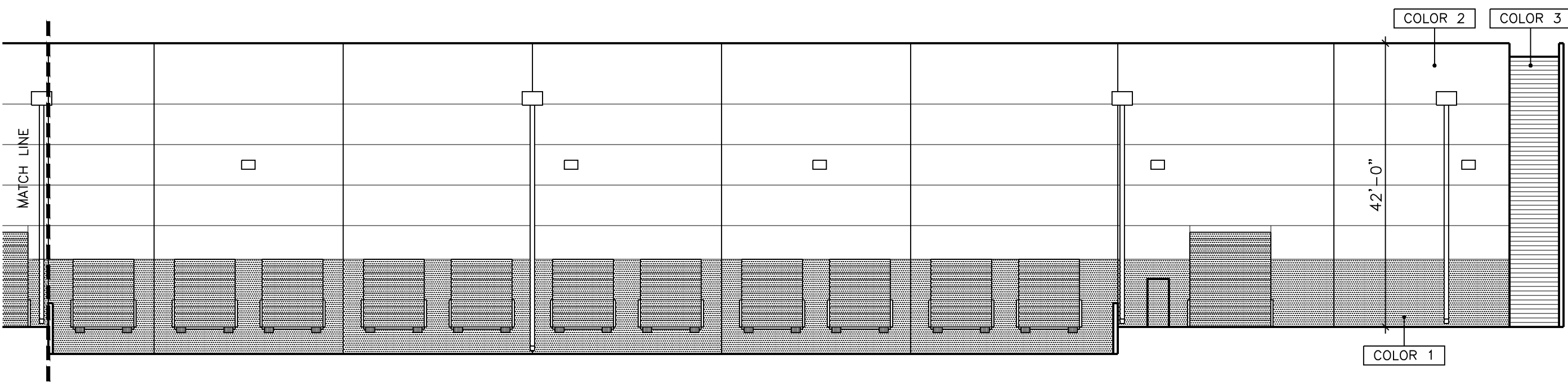
- CONCRETE TILT PANEL, MASONRY SITE WALLS
- | | |
|---------|------------------------------|
| COLOR 1 | FRAZEE - GYPSUM CL2732D |
| COLOR 2 | FRAZEE - OTTER TAIL CLW1002W |
| COLOR 3 | FRAZEE - VAULT CL3255D |
| COLOR 4 | FRAZEE - DINGO CL2744D |
| COLOR 5 | FRAZEE - BLACKTOP CL3237N |
- STOREFRONT SYSTEM
2x6 - FRONT GLAZED CLEAR ANODIZED ALUMINUM
- GLAZING
1" INSULATED, ECLIPSE ADVANTAGE ARCTIC BLUE



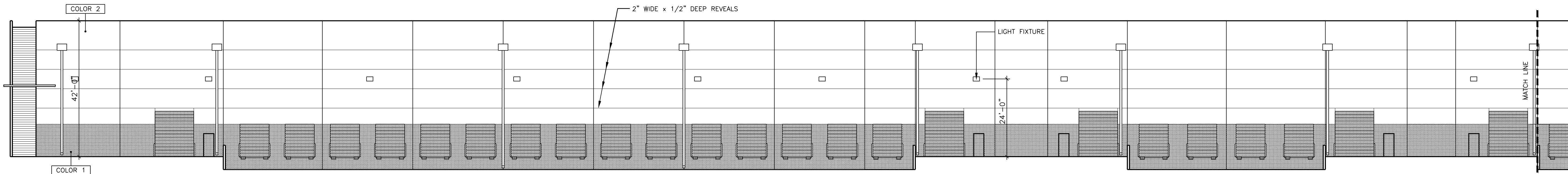
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



SOUTH ELEVATION

BUILDING A ELEVATIONS

SCALE : 1/16"=1'-0"



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associates, inc.

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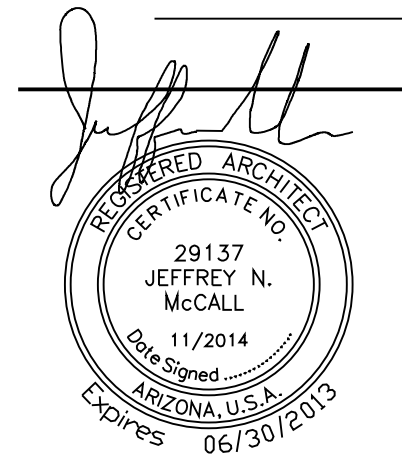
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reproduced or used for any
purpose, in whole or in part,
without the written consent
of the architect.

NOTICE OF ALTERNATIVE BILLING CYCLE
THIS CONTRACT PROVIDES FOR THE OWNER TO
PAY THE ARCHITECT'S FEES ON A LUMP SUM BASIS.
IF THE OWNER WISHES TO PAY THE ARCHITECT'S
FEES ON AN ALTERNATIVE BILLING CYCLE, THE
OWNER SHALL PROVIDE THE ARCHITECT WITH
A WRITTEN NOTICE OF THE ALTERNATIVE
BILLING CYCLE, IN WRITING, PRIOR TO THE
START OF THE PROJECT. THE ARCHITECT
SHALL PROVIDE THE ARCHITECT'S FEES ON
AN ALTERNATIVE BILLING CYCLE, IN WRITING,
PRIOR TO THE START OF THE PROJECT.

Sheet title:
BUILDING A ELEVATIONS

project:
METRO EAST VALLEY COMMERCE CENTER
US60 AND MESA DRIVE
MESA, AZ

date: 11/2014
job no.: 14024
revision:



A3.1



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NOTICE OF ALTERNATIVE BILLING CYCLE
THIS CONTRACT ALLOWS THE OWNER TO REQUIRE THE SUBMISSION OF BILLINGS OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. A WRITTEN DESCRIPTION OF THE PROJECT IS AVAILABLE FROM THE OWNER OR THE OWNER'S DESIGNATED AGENT AT ADDRESS _____ AND PHONE NUMBER _____ AND THE OWNER OR ITS DESIGNATED AGENT SHALL FURNISH THE PROJECT DESCRIPTION TO THE OWNER AND THE OWNER'S DESIGNATED AGENT.

NOTICE OF EXTENDED PAYMENT PROVISION
THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN THIRTY (30) DAYS AFTER CERTIFICATION AND APPROVAL OF BILLING ESTIMATES.

sheet title:
BUILDING B ELEVATIONS

project: **METRO EAST VALLEY COMMERCE CENTER
US60 AND MESA DRIVE
MESA, AZ**

date: 11/2014
job no.: 14024
revision:

A3.2



COLOR / MATERIALS LEGEND

CONCRETE TILT PANEL, MASONRY SITE WALLS

COLOR 1	FRAZEE - GYPSUM CL2732D
COLOR 2	FRAZEE - OTTER TAIL CLW1002W
COLOR 3	FRAZEE - VAULT CL3255D
COLOR 4	FRAZEE - DINGO CL2744D
COLOR 5	FRAZEE - BLACKTOP CL3237N

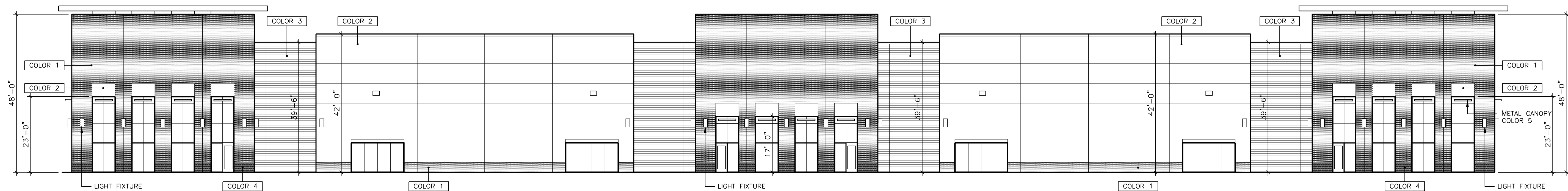
STOREFRONT SYSTEM
2x6 - FRONT GLAZED CLEAR ANODIZED ALUMINUM

GLAZING
1" INSULATED, ECLIPSE ADVANTAGE ARCTIC BLUE

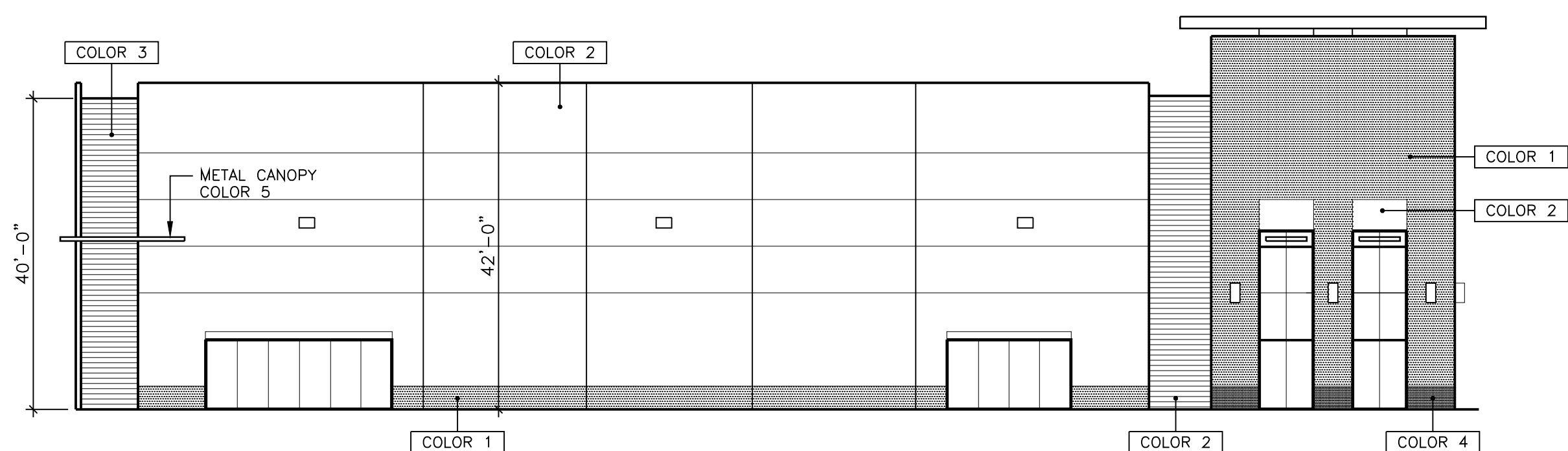


BUILDING B ELEVATIONS

SCALE : 1/16"=1'-0"



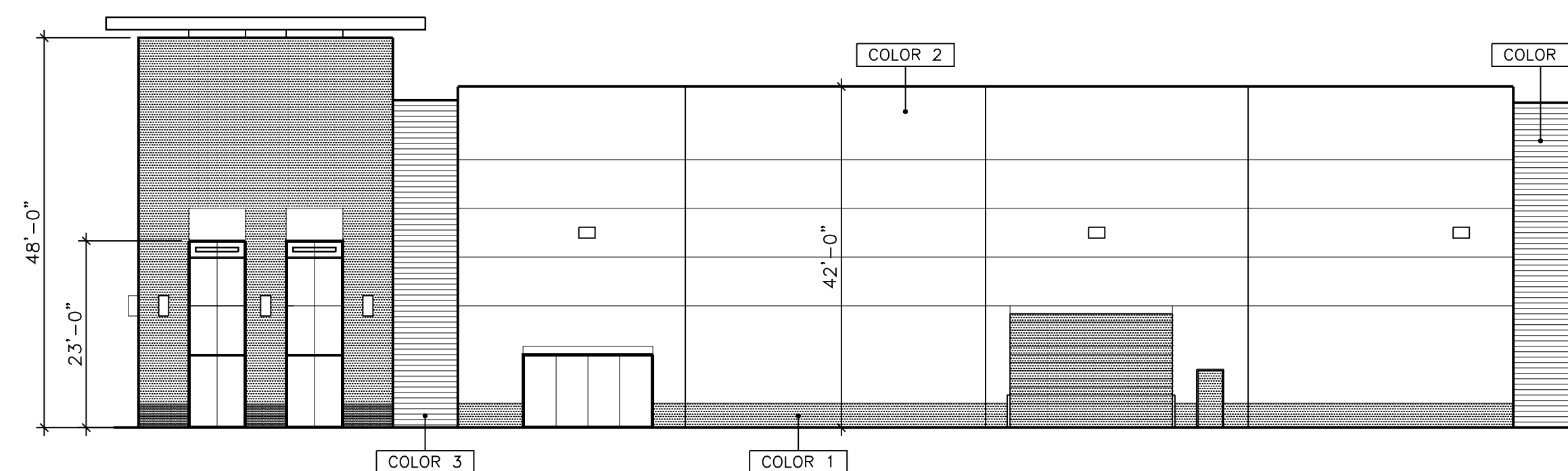
NORTH ELEVATION



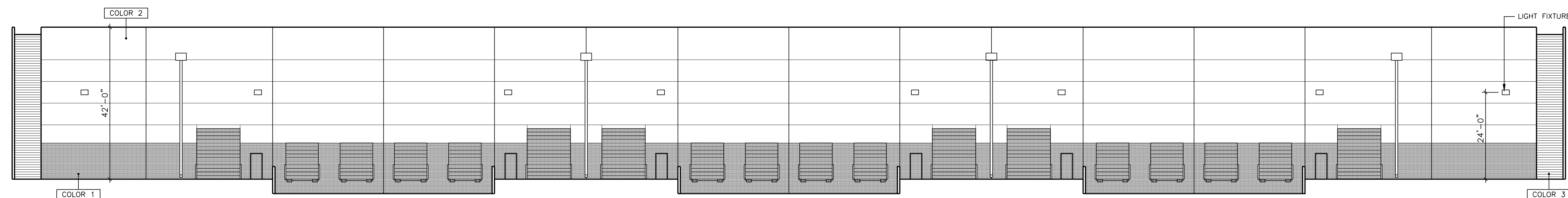
EAST ELEVATION

COLOR / MATERIALS LEGEND

- CONCRETE TILT PANEL, MASONRY SITE WALLS
- COLOR 1 FRAZEE - GYPSUM CL2732D
 - COLOR 2 FRAZEE - OTTER TAIL CLW1002W
 - COLOR 3 FRAZEE - VAULT CL3255D
 - COLOR 4 FRAZEE - DINGO CL2744D
 - COLOR 5 FRAZEE - BLACKTOP CL3237N
- STOREFRONT SYSTEM
2x6 - FRONT GLAZED CLEAR ANODIZED ALUMINUM
- GLAZING
1" INSULATED, ECLIPSE ADVANTAGE ARCTIC BLUE



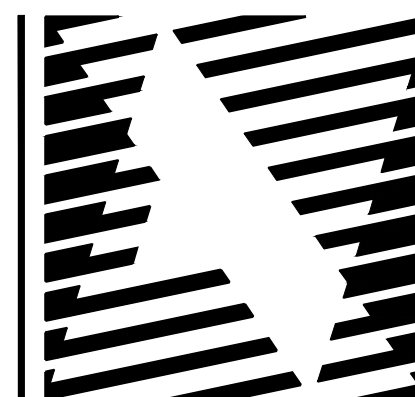
WEST ELEVATION



SOUTH ELEVATION

BUILDING C ELEVATIONS

SCALE : 1/16"=1'-0"



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fax:(480) 946-5432

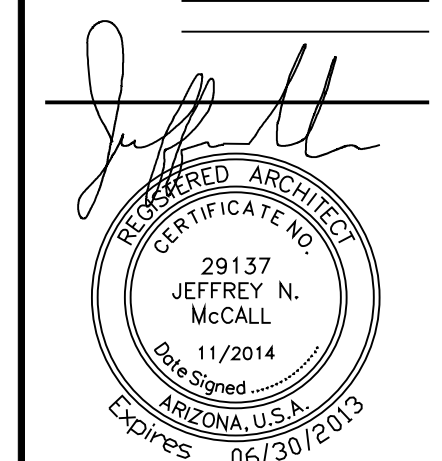
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NOTICE OF ALTERNATE BILLING CYCLE
THIS CONTRACTOR'S BILLING CYCLE IS
BASED ON THE ASSUMPTION THAT THE
OWNER'S BILLING CYCLE IS 12 MONTHS
OR LESS. IF THE OWNER'S BILLING CYCLE
IS LONGER THAN 12 MONTHS, THE
OWNER SHALL ADVISE THE ARCHITECT
IN WRITING. THE ARCHITECT SHALL
PROVIDE THIS DISCLOSURE ON REQUEST.
NOTICE OF EXTENDED PAYMENT PROVISION
THIS CONTRACTOR'S BILLING CYCLE IS
BASED ON THE ASSUMPTION THAT THE
OWNER'S BILLING CYCLE IS 12 MONTHS
OR LESS. IF THE OWNER'S BILLING CYCLE
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OWNER SHALL ADVISE THE ARCHITECT
IN WRITING. THE ARCHITECT SHALL
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Sheet title:
BUILDING C ELEVATIONS

project:
**METRO EAST VALLEY COMMERCE CENTER
US60 AND MESA DRIVE
MESA, AZ**

date: 11/2014
job no.: 14024
revision:



A3.3



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of the architect.

NOTICE OF ALTERNATIVE BILLING CYCLE
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ESTIMATES IN BILLING CYCLES OTHER THAN THE STANDARD 12 MONTH CYCLE
SHALL BE BASED ON THE ARCHITECT'S ESTIMATE OF THE WORK TO BE PERFORMED
AND THE OWNER'S DESIGNATED AGENT AT THE PROJECT SITE. THE ARCHITECT
SHALL PROVIDE THIS DISCLOSURE ON REQUEST.
NOTICE OF EXTENDED PAYMENT PROVISION
THIS CONTRACTING AGREEMENT IS THE PROPERTY OF THE ARCHITECT. THE ARCHITECT
SHALL PROVIDE THIS DISCLOSURE ON REQUEST.
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SHALL PROVIDE THIS DISCLOSURE ON REQUEST.

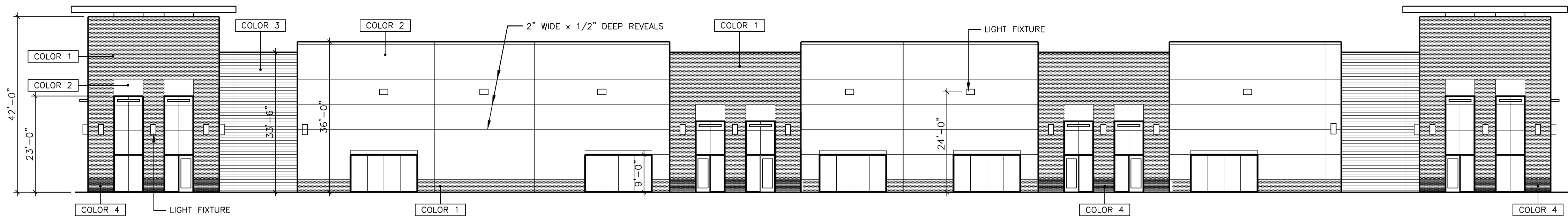
Sheet title:
BUILDING D ELEVATIONS

Project:
**METRO EAST VALLEY COMMERCE CENTER
US60 AND MESA DRIVE
MESA, AZ**

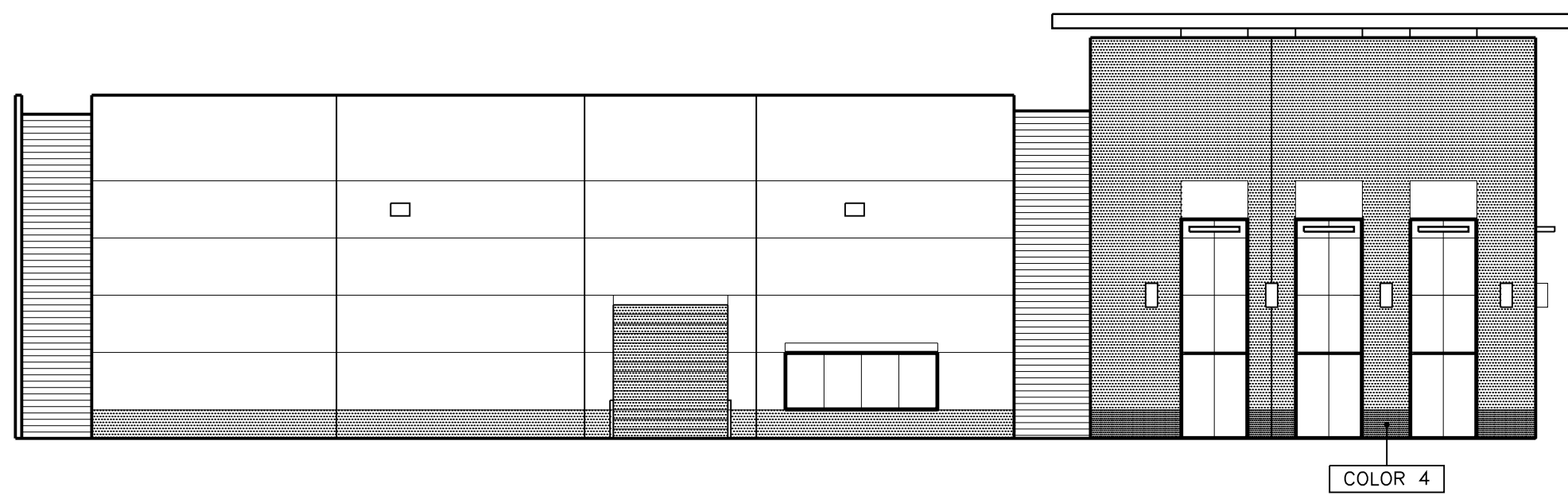
date: 11/2014
job no.: 14024
revision:



A3.4



SOUTH ELEVATION



WEST ELEVATION

COLOR / MATERIALS LEGEND

CONCRETE TILT PANEL, MASONRY SITE WALLS

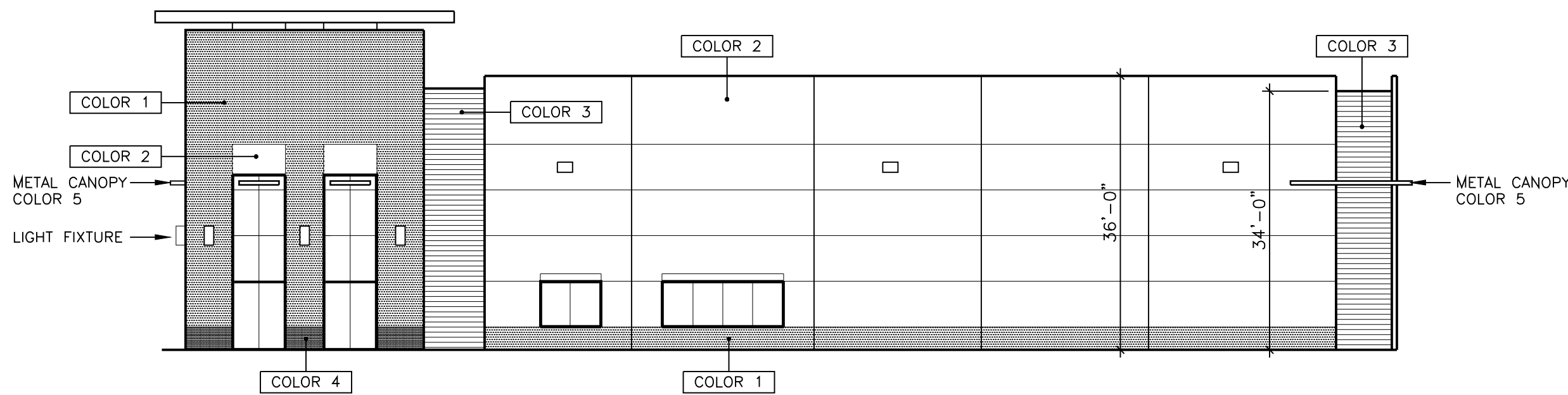
- | | |
|---------|------------------------------|
| COLOR 1 | FRAZEE - GYPSUM CL2732D |
| COLOR 2 | FRAZEE - OTTER TAIL CLW1002W |
| COLOR 3 | FRAZEE - VAULT CL3255D |
| COLOR 4 | FRAZEE - DINGO CL2744D |
| COLOR 5 | FRAZEE - BLACKTOP CL3237N |

STOREFRONT SYSTEM

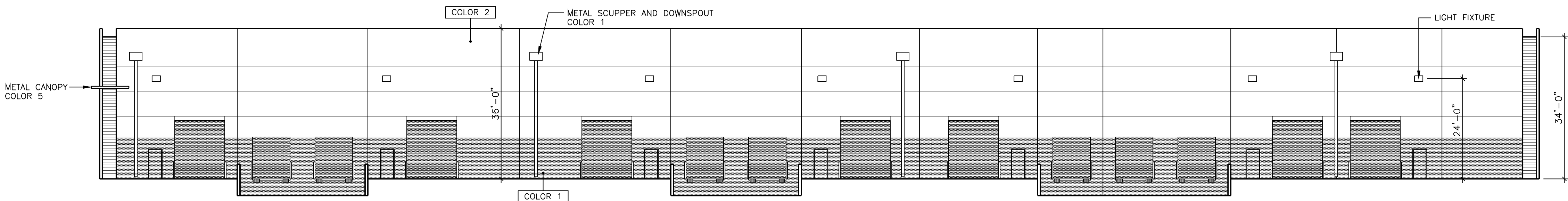
2x6 - FRONT GLAZED CLEAR ANODIZED ALUMINUM

GLAZING

1\"/>



EAST ELEVATION



NORTH ELEVATION

BUILDING D ELEVATIONS

SCALE : 1/16\"/>

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

FOR

METRO MESA

APN: 139-12-025 & 139-12-026
NW CORNER OF AUTOCENTER DRIVE AND HORNE

<p>VICINITY MAP SCALE: 1" = 100'</p>		OWNER ENGINEER J.E. MC P.O. BOX 1388 GLENDALE, AZ 85117 (602) 538-1991 CONTACT: MICHAEL BROWN
ARCHITECT PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN METRO MESA NW CORNER OF AUTOCENTER DR AND HORNE MESA, ARIZONA		DATE 11/04/14 SCALE 1" = 30' PROJECT # 14-083 LAST MODIFIED BY J.E. MC

SITE AREA
 GROSS AREA = 1,054,058 S.F. (24,198 AC)
 NET AREA = 938,076 S.F. (21,535 AC)
 DISTURBED AREA = 954,039 S.F. (21,902 AC)

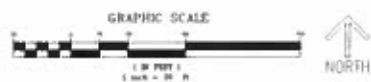
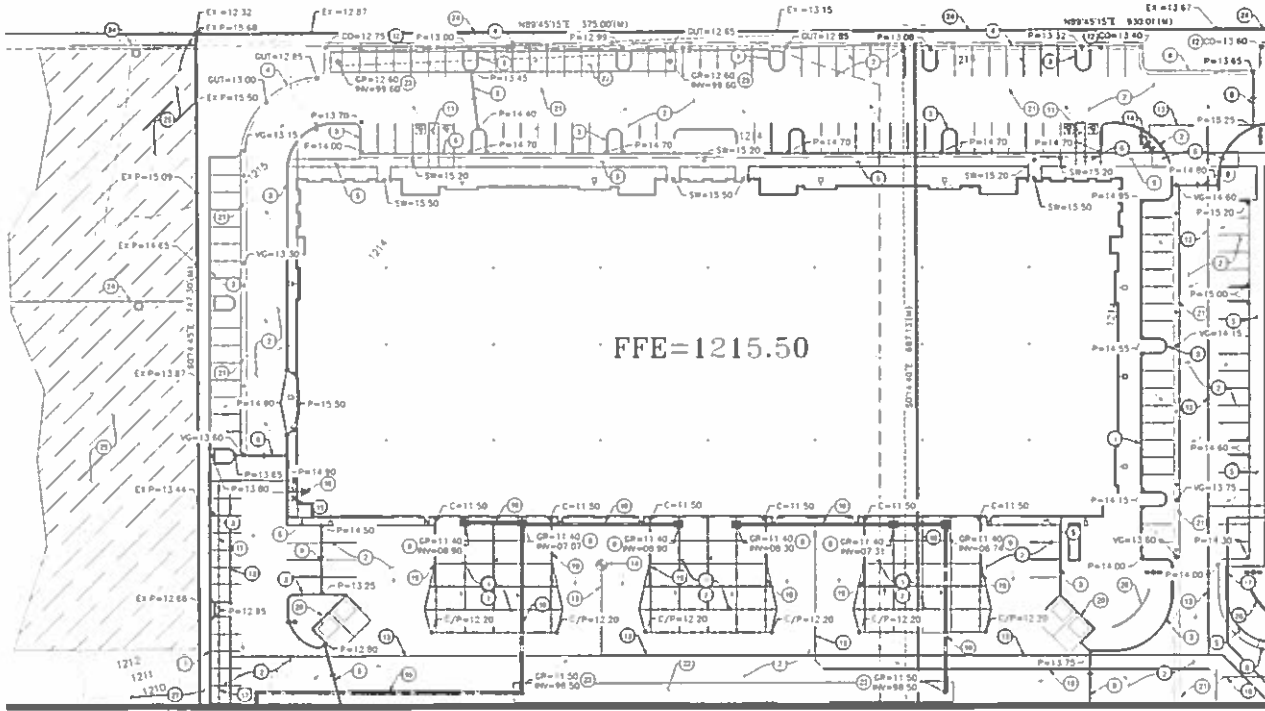
LEGAL DESCRIPTION
 LOTS 1-1, MESA AUTOCENTER CENTER AMENDED, ACCORDING TO MARICOPA COUNTY RECORDER, BOOK OF MAPS 317, PAGE 5, AND LOT 8, MESA AUTOCENTER CENTER, ACCORDING TO MARICOPA COUNTY RECORDER, BOOK OF MAPS 329, PAGE 9, MARICOPA COUNTY, ARIZONA

FLOOD INFO - FIRM DATA
 ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 06012C0101, DATED OCTOBER 18, 2013, THE SUBJECT PROPERTY IS LOCATED IN SHADOWED ZONE 1. SHADOWED ZONE 1 IS DESCRIBED AS AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

OFFSITE DRAINAGE
 THERE ARE NO OFFSITE FLOWS AFFECTING THE SITE. ALL OFFSITE FLOWS WILL BE RETAINED OFFSITE AND WILL NOT ACCEPT ANY OFFSITE FLOWS.

ELEVATION BENCHMARK
 BRASS TIG FOLDED AT THE INTERSECTION OF MESA DRIVE AND BASELINE ROAD
 ELEVATION = 1213.50 (NAVD83 DATUM)

- NEW CONSTRUCTION**
1. NEW CONCRETE PAVEMENT
 2. NEW ASPHALT PAVEMENT
 3. NEW CONCRETE CURB
 4. NEW CONCRETE CURB AND GUTTER
 5. NEW CONCRETE SIDEWALK
 6. NEW SIDEWALK RAMP
 7. NEW CONCRETE TRUCK WELL, 4' DEEP @ BLDG
 8. NEW SURFACE GRADIENT
 9. NEW 18" DIA. STD. DTL. 315 CONCRETE CATCH BASIN
 10. NEW H.D.P.E. STORM DRAIN PIPE
 11. 2% MINIMUM SLOPE FOR NEW PARKING SPACES
 12. NEW REVERSE CURB OPENING
 13. NEW FIRE LINE
 14. NEW FIRE HYDRANT
 15. NEW FIRE DEPARTMENT CONNECTION
 16. NEW FIRE RISER
 17. NEW DOMESTIC WATERLINE
 18. NEW SANITARY SEWER LINE
 19. NEW RETAINING WALL
 20. NEW TRASH ENCLOSURE
 21. NEW WALKWAY CUTTER
 22. NEW 10' DIA. UNDERGROUND STORAGE TANK INVERT AS SHOWN (BOTTOM OF STORAGE TANK)
 23. NEW 12" DIA. CATCH BASIN W/12" RISER PIPE FROM STORAGE TANK INVERTS AS SHOWN
 24. EXISTING FENCE
 25. EXISTING PAVEMENT
 26. NEW SCREEN WALL
 27. EXISTING RETENTION BASIN

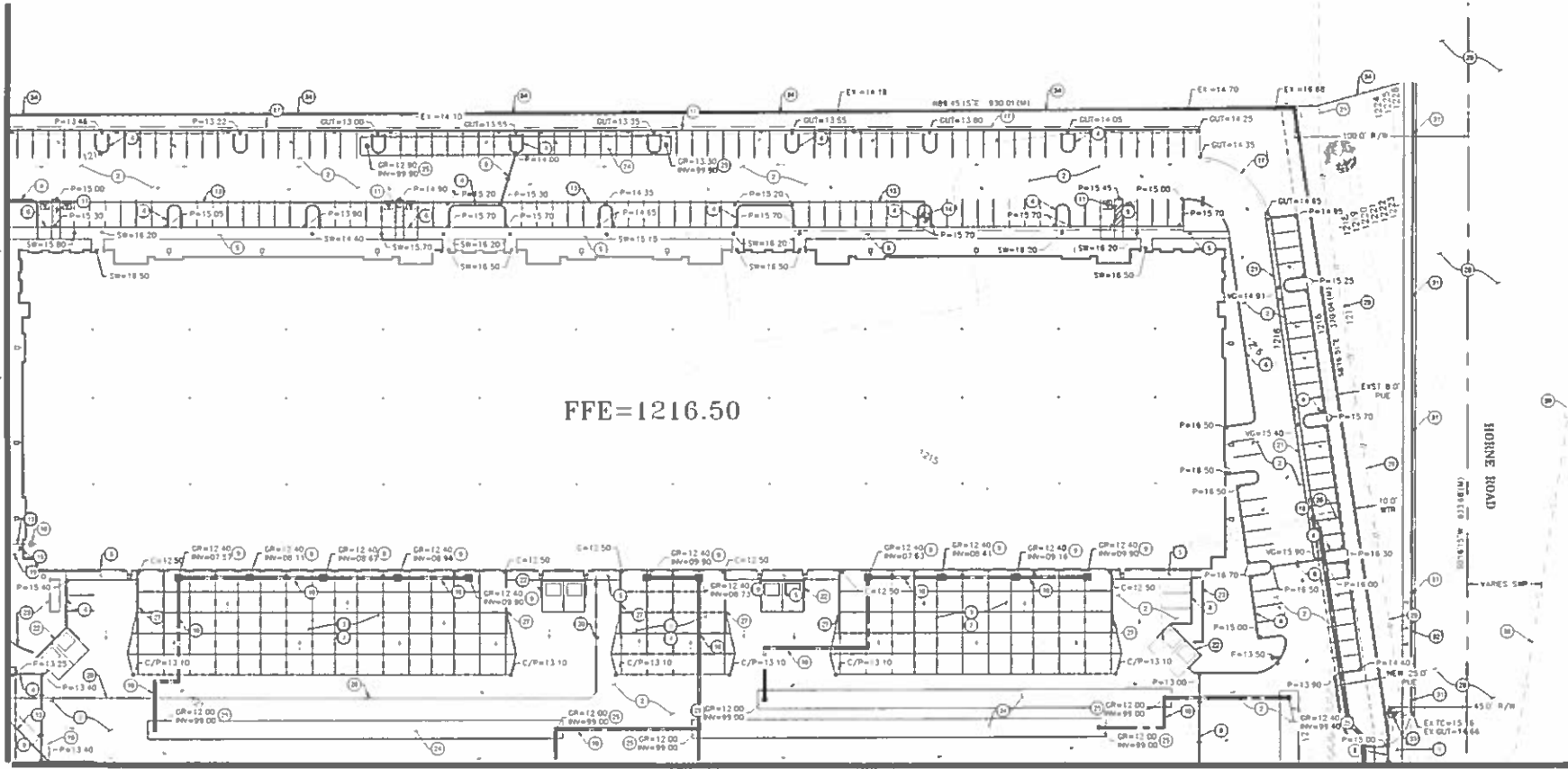


For further information, call or write to the
602-283-1000
 Metro Mesa Center

SHEET 1 OF 4
C0.01

Q5 #
 SDEV #
 KIVA #

MATCHLINE (SEE SHEET C0.01)



MATCHLINE (SEE SHEET C0.04)



NEW CONSTRUCTION

- 1 NEW CONCRETE SIDEWALK ENTRANCE
- 2 NEW ASPHALT PAVEMENT
- 3 NEW CONCRETE PAVEMENT
- 4 NEW CONCRETE CURB
- 5 NEW CONCRETE SIDEWALK
- 6 NEW SIDEWALK RAMP
- 7 NEW CONCRETE TRUCK BELL 4" DEEP BLDG.
- 8 NEW SURFACE GRADE/BREAK
- 9 NEW M.A.C. STD. DTL. 535 CONCRETE CATCH BASIN
- 10 NEW H.D.P.E. STORM DRAIN PIPE
- 11 2% MINIMUM SLOPE FOR ADA PARKING SPACES
- 12 NOT USED
- 13 NEW FIRE LINE
- 14 NEW FIRE HYDRANT
- 15 NEW FIRE DEPARTMENT CONNECTION
- 16 NEW FIRE RISER
- 17 NEW CONCRETE CURB AND GUTTER
- 18 CONNECT NEW H.D.P.E. PIPE TO EXISTING STORM DRAIN PIPE
- 19 NEW DOMESTIC WATERLINE
- 20 NEW SANITARY SEWER LINE
- 21 NEW VALLEY GUTTER
- 22 NEW VALLEY GUTTER
- 23 NEW TRASH ENCLOSURE
- 24 NEW 10' DIA UNDERGROUND STORAGE TANK INVERT AS SHOWN (BOTTOM OF STORAGE TANK IS)
- 25 NEW 12" DIA CATCH BASIN W/12" RISER PIPE FROM STORAGE TANK INVERTS AS SHOWN
- 26 EXISTING STORM DRAIN PIPE
- 27 NEW RETAINING WALL
- 28 EXISTING ASPHALT PAVEMENT
- 29 EXISTING WATER LINE
- 30 EXISTING SEWER LINE
- 31 EXISTING CURB AND GUTTER
- 32 EXISTING DRIVEWAY
- 33 RELOCATED HYDRANT SEE SHEET C0.04 FOR PREVIOUS LOCATION
- 34 EXISTING FENCE

See existing site before any work.
CALL FOR THE BLUE STUDY
802-263-1000
Plan Study Center

OWNER

ENGINEER

251 W. 13th St.
P.O. Box 1348
Glendale, AZ 85111
312.536.1913
CONTACT: MICHAEL J. BROWN

ARCHITECT

**PRELIMINARY GRADING, DRAINAGE
& UTILITY PLAN**
METRO MESA
NW CORNER OF AUTOCENTER DR AND HORN
MESA, ARIZONA

DRAWN BY: SMZ
CHECKED BY: NAC
DATE: 11/04/14
SCALE: 1"=30'
PROJECT # 14-083
LAST MODIFIED BY: [Signature]

PO BOX 2148
GLENDALE, AZ 85111
PH (480) 384-1992



SHEET 2 OF 4
C0.02

CS#
SDEV#
KIVA#

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

FOR

METRO MESA

APN: 139-12-025 & 139-12-026
NW CORNER OF AUTOCENTER DRIVE AND HORNE

<p>VICINITY MAP SCALE: 1" = 100'</p>		OWNER ENGINEER J.E. MC P.O. BOX 1388 GLENDALE, AZ 85117 (602) 538-1991 CONTACT: MICHAEL BROWN
ARCHITECT PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN METRO MESA NW CORNER OF AUTOCENTER DR AND HORNE MESA, ARIZONA		DATE 11/04/14 SCALE 1" = 30' PROJECT # 14-083 LAST MODIFIED BY J.E. MC

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 GROSS AREA = 1,054,058 S.F. (24,198 AC)
 NET AREA = 938,176 S.F. (21,535 AC)
 DISTURBED AREA = 954,039 S.F. (21,902 AC)

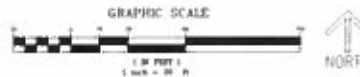
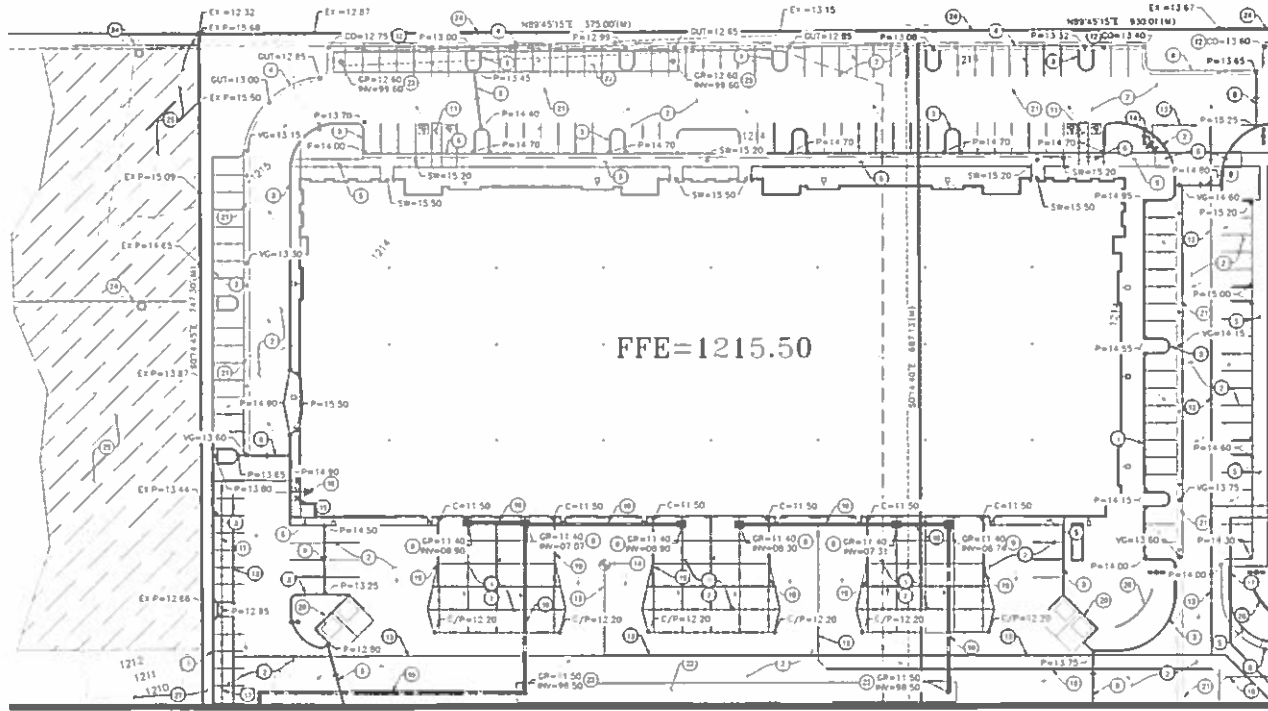
LEGAL DESCRIPTION
 LOTS 1-1, MESA AUTOCENTER CENTER AMENDED, ACCORDING TO MARICOPA COUNTY RECORDER, BOOK OF MAPS 317, PAGE 5, AND LOT 8, MESA AUTOCENTER CENTER, ACCORDING TO MARICOPA COUNTY RECORDER, BOOK OF MAPS 323, PAGE 9, MARICOPA COUNTY, ARIZONA

FLOOD INFO - FIRM DATA
 ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 06012C0101, DATED OCTOBER 18, 2013, THE SUBJECT PROPERTY IS LOCATED IN SHADOWED ZONE 1. SHADOWED ZONE 1 IS DESCRIBED AS AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

OFFSITE DRAINAGE
 THERE ARE NO OFFSITE FLOWS AFFECTING THE SITE. ALL OFFSITE FLOWS WILL BE RETAINED OFFSITE AND WILL NOT ACCEPT ANY OFFSITE FLOWS.

ELEVATION BENCHMARK
 BRASS TIE FOLDED AT THE INTERSECTION OF MESA DRIVE AND BASELINE ROAD
 ELEVATION = 1213.50 (NAVD83 DATUM)

- NEW CONSTRUCTION**
1. NEW CONCRETE PAVEMENT
 2. NEW ASPHALT PAVEMENT
 3. NEW CONCRETE CURB
 4. NEW CONCRETE CURB AND GUTTER
 5. NEW CONCRETE SIDEWALK
 6. NEW SIDEWALK PUMP
 7. NEW CONCRETE TRUCK WELL, 4' DEEP @ BLDG
 8. NEW SURFACE GRADIENT
 9. NEW 18" DIA. STD. DTL. 315 CONCRETE CATCH BASIN
 10. NEW H.D.P.E. STORM DRAIN PIPE
 11. 2% MINIMUM SLOPE FOR NEW PARKING SPACES
 12. NEW REVERSE CURB OPENING
 13. NEW FIRE LINE
 14. NEW FIRE HYDRANT
 15. NEW FIRE DEPARTMENT CONNECTION
 16. NEW FIRE RISER
 17. NEW DOMESTIC WATERLINE
 18. NEW SANITARY SEWER LINE
 19. NEW RETAINING WALL
 20. NEW TRASH ENCLOSURE
 21. NEW WALKWAY CUTTER
 22. NEW 10' DIA. UNDERGROUND STORAGE TANK INVERT AS SHOWN (BOTTOM OF STORAGE TANK)
 23. NEW 12" DIA. CATCH BASIN W/12" RISER PIPE FROM STORAGE TANK INVERTS AS SHOWN
 24. EXISTING FENCE
 25. EXISTING PAVEMENT
 26. NEW SCREEN WALL
 27. EXISTING RETENTION BASIN

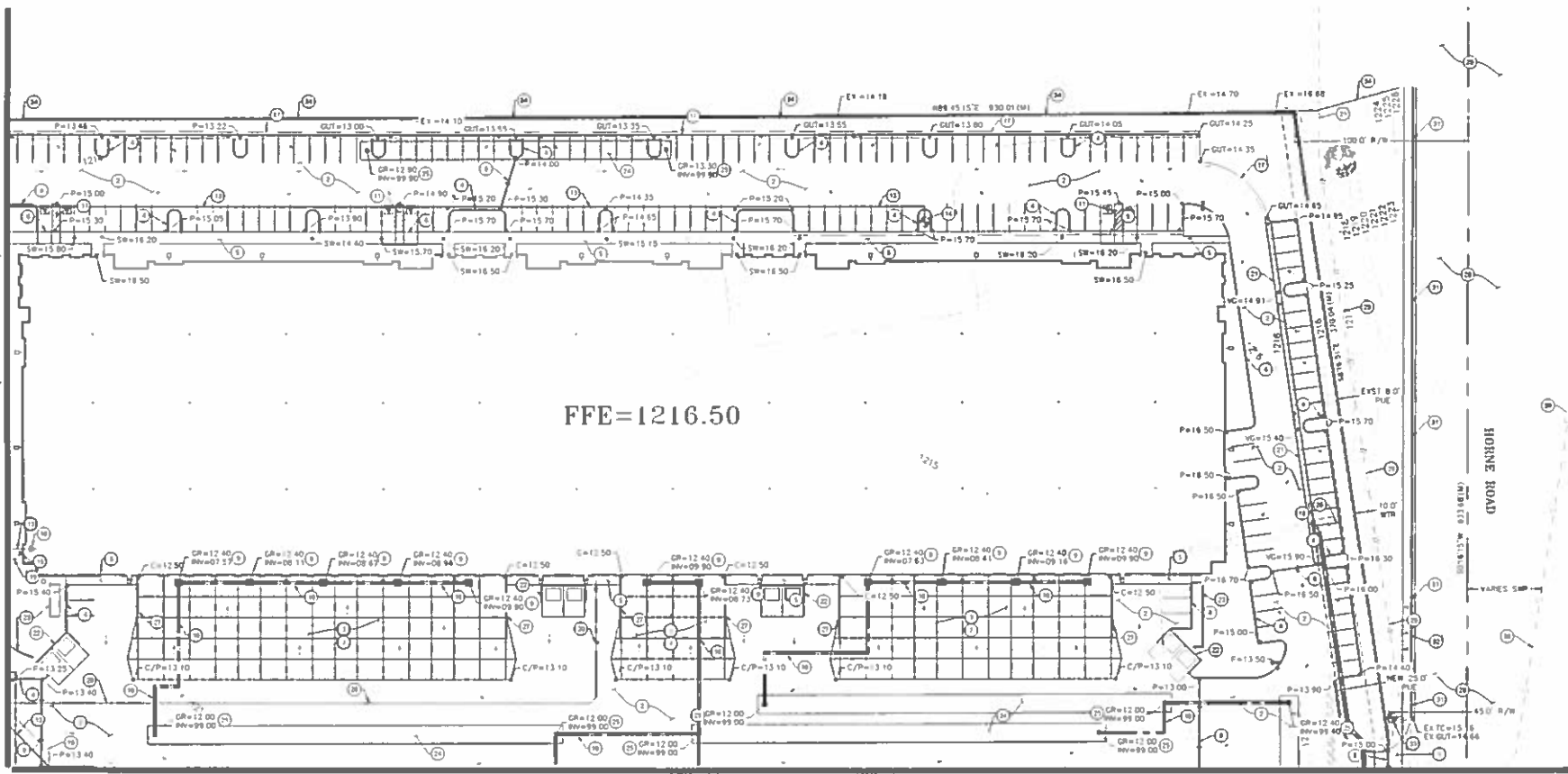


For further information, call or write to the engineer.
602-283-1000
 J.E. MC

SHEET 1 OF 4
C0.01

Q5 #
 SDEV #
 KIVA #

MATCHLINE (SEE SHEET C0.01)



MATCHLINE (SEE SHEET C0.04)



NEW CONSTRUCTION

- 1 NEW CONCRETE SIDEWALK ENTRANCE
- 2 NEW ASPHALT PAVEMENT
- 3 NEW CONCRETE PAVEMENT
- 4 NEW CONCRETE CURB
- 5 NEW CONCRETE SIDEWALK
- 6 NEW SIDEWALK RAMP
- 7 NEW CONCRETE TRUCK BELL 4' DEEP BLDG.
- 8 NEW SURFACE GRADEBREAK
- 9 NEW M.A.C. STD. DTL. 535 CONCRETE CATCH BASIN
- 10 NEW H.D.P.E. STORM DRAIN PIPE
- 11 2% MINIMUM SLOPE FOR ADA PARKING SPACES
- 12 NOT USED
- 13 NEW FIRE LINE
- 14 NEW FIRE HYDRANT
- 15 NEW FIRE DEPARTMENT CONNECTION
- 16 NEW FIRE RISER
- 17 NEW CONCRETE CURB AND GUTTER
- 18 CONNECT NEW H.D.P.E. PIPE TO EXISTING STORM DRAIN PIPE
- 19 NEW DOMESTIC WATERLINE
- 20 NEW SANITARY SEWER LINE
- 21 NEW VALLEY GUTTER
- 22 NEW VALLEY GUTTER
- 23 NEW TRASH ENCLOSURE
- 24 NEW 10' DIA UNDERGROUND STORAGE TANK INVERT AS SHOWN (BOTTOM OF STORAGE TANK IS)
- 25 NEW 12" DIA CATCH BASIN W/12" RISER PIPE FROM STORAGE TANK INVERTS AS SHOWN
- 26 EXISTING STORM DRAIN PIPE
- 27 NEW RETAINING WALL
- 28 EXISTING ASPHALT PAVEMENT
- 29 EXISTING WATER LINE
- 30 EXISTING SEWER LINE
- 31 EXISTING CURB AND GUTTER
- 32 EXISTING DRIVEWAY
- 33 RELOCATED HYDRANT SEE SHEET C0.04 FOR PREVIOUS LOCATION
- 34 EXISTING FENCE

See existing site before any work.
CALL FOR THE BLUE STUDY
802-263-1000
Plan Study Center

OWNER

ENGINEER

251 W. 13th St.
P.O. Box 1348
Glendale, AZ 85111
312.536.1913
CONTACT: MICHAEL J. BROWN

ARCHITECT

**PRELIMINARY GRADING, DRAINAGE
& UTILITY PLAN**
METRO MESA
NW CORNER OF AUTOCENTER DR AND HORNE
MESA, ARIZONA

DRAWN BY: SMZ
CHECKED BY: NAC
DATE: 11/04/14
SCALE: 1"=30'
PROJECT # 14-083
LAST MODIFIED BY: [Signature]

PO BOX 2148
GLENDALE, AZ 85111
PH (602) 584-1992

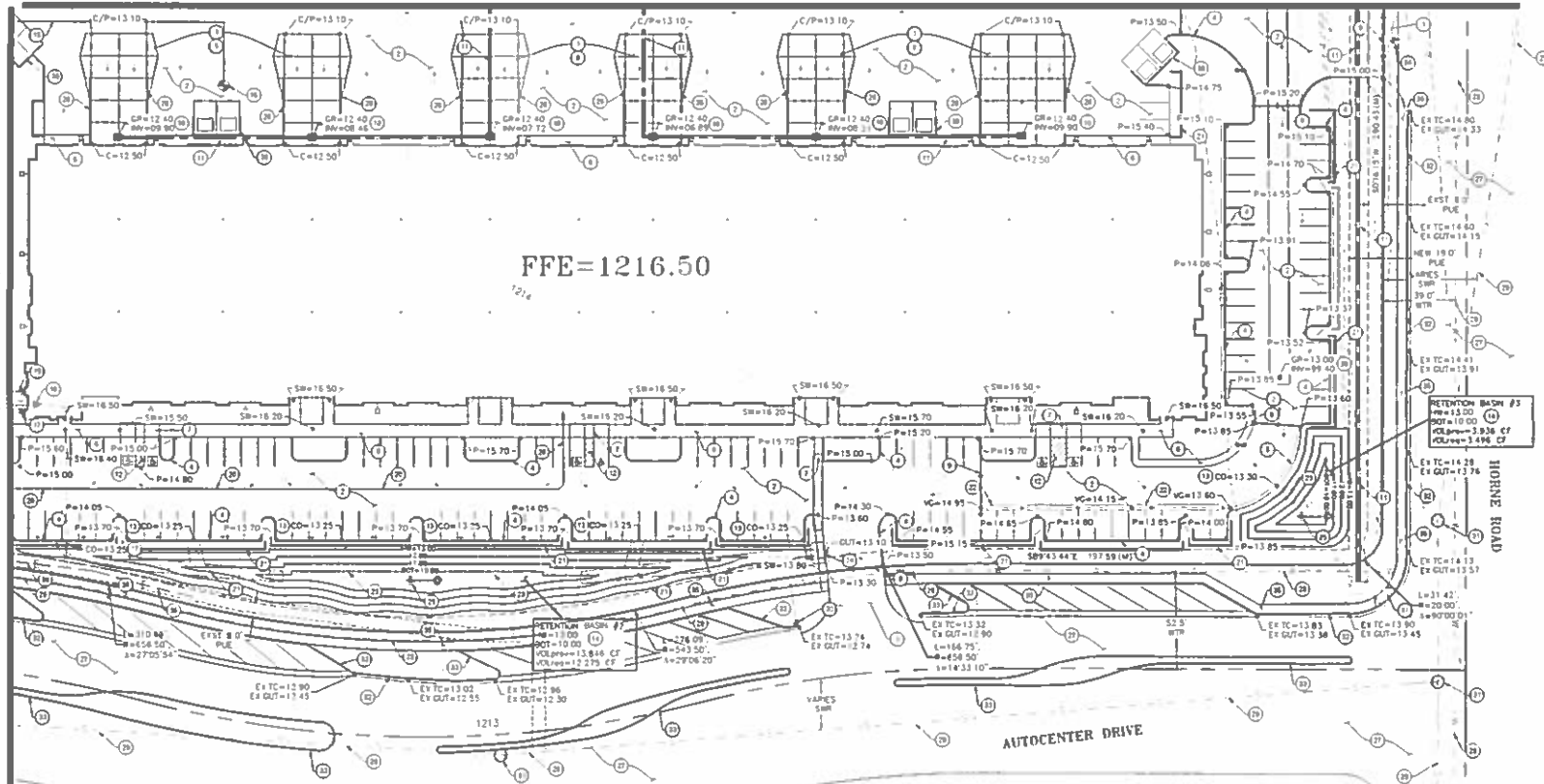


SHEET 2 OF 4
C0.02

CS#
SDEV#
KIVA#

MATCHLINE (SEE SHEET C0.03)

MATCHLINE (SEE SHEET C0.02)



OWNER
ENGINEER
ARCHITECT

PRELIMINARY GRADING, DRAINAGE
& UTILITY PLAN
METRO MESA
NW CORNER OF AUTOCENTER DR AND HORNE
MESA, ARIZONA

DESIGNED BY
CHECKED BY
DATE
SCALE
PROJECT
LAST MODIFIED BY

PO BOX 1248
GLENDALE, AZ 85311
PH 602 344-1995



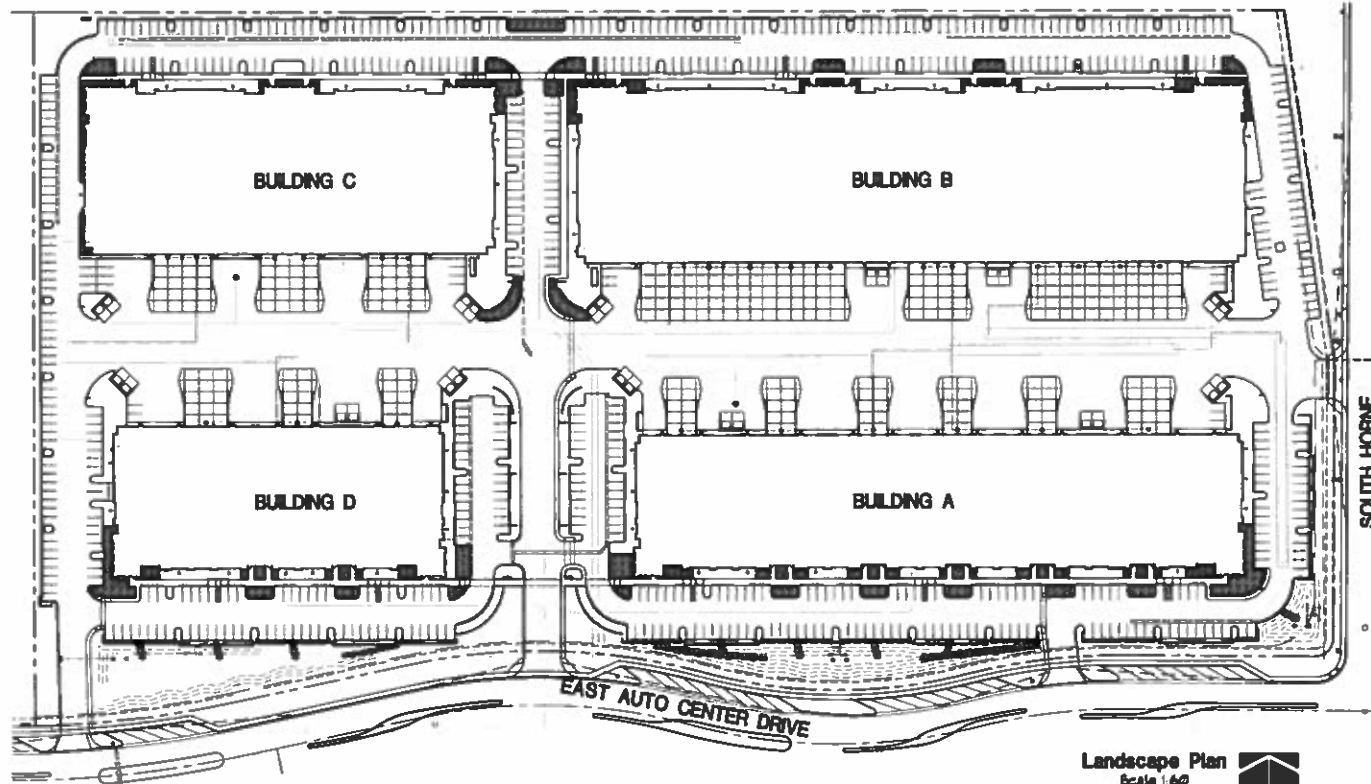
SHEET OF
C0.04

- NEW CONSTRUCTION**
1. NEW CONCRETE DRIVEWAY ENTRANCE
 2. NEW ASPHALT PAVEMENT
 3. NEW CONCRETE PAVEMENT
 4. NEW CONCRETE CURB
 5. NEW CONCRETE CURB AND GUTTER
 6. NEW CONCRETE SIDEWALK
 7. NEW SIDEWALK RAMP
 8. NEW CONCRETE TRUCK WELL 4" DEEP @ BLDG
 9. NEW SURFACE GRADE BREAK
 10. NEW M.A.D. STD. DTL. 55% CONCRETE CATCH BASIN
 11. NEW H.D.P.E. STORM DRAIN PIPE
 12. 2% MINIMUM SLOPE FOR ADA PAVING SPACES
 13. NEW CURB OPENING
 14. NEW RETENTION BASIN
 15. NEW PIPE LINE
 16. NEW PIPE HYDRANT
 17. NEW PIPE DEPARTMENT CONNECTION
 18. NEW PIPE RISER
 19. NEW DOMESTIC WATERLINE
 20. NEW SANITARY SEWER LINE
 21. NEW CURB BULBS- SCREEN WALL
 22. NEW VALLEY GUTTER
 23. NEW POP FLAP
 24. NEW CONCRETE SCUMPER
 25. NEW DUAL CHAMBER DRYWELL
 26. NEW RETAINING WALL
 27. EXISTING PAVEMENT
 28. EXISTING WATER LINE
 29. EXISTING SEWER LINE
 30. EXISTING PIPE HYDRANT TO REMAIN
 31. EXISTING SEWER MANHOLE
 32. EXISTING CURB AND GUTTER
 33. EXISTING CONCRETE CURB
 34. EXISTING HYDRANT TO BE RELOCATED SEE SHEET C0.02 FOR LOCATION
 35. EXISTING CONCRETE SIDEWALK
 36. EXISTING POWER LINE
 37. EXISTING ADA RAMP
 38. NEW TRASH ENCLOSURE
 39. NEW 12" DIA. CATCH BASIN W/12" RISER PIPE FROM STORAGE TANK INVERTS AS SHOWN

See instructions before you do
ONLY FOR THE BLUE DESIGN
802-263-7000
Blue Print Copy

QSA #
SEV #
KVA #

1. ALL TREES AND CALIPHS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE AND SIZE OF TREE.
2. LANDSCAPING IN RIGHT-OF-WAY REQUIRED MUST BE IN ACCORDANCE OR CONFORMANCE WITH LOW WATER LONG PLANT LIST AVAILABLE FROM THE CITY OF PHOENIX. PUBLIC WORKS ADMINISTRATION, SPURTS ENGINEERING. PERMIT REQUIRED FOR LANDSCAPING WITHIN RIGHT-OF-WAY.
3. PLANTING SLOPE OF RETENTION BASIN ADJACENT TO PUBLIC RIGHT-OF-WAY IS 1:1 (BOTH SIDES OF BASIN) AND 1:4 IN INTERIOR PROPERTY LANE.
4. PLANTING GRADE CHANGE AT PROPERTY LANE IS 3 FEET.
5. THE REQUIRED BACKFILL PRESENTATION APPEARANCE SHALL BE MANUFACTURED AND MODEL DESIGNATED IN THE CURRENT LIST OF APPROVED BACKFILL ON PREVENTION MEASURES AS IS PUBLISHED BY THE FOUNDATION FOR EROSION-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF CALIFORNIA.
6. THE BACKFILL PRESENTATION APPEARANCE SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED BY THE CURRENT CITY OF PHOENIX, IF APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
7. INSTALL A REDUCED PRESSURE PRINCIPLE BACKFILL PRESENTATION APPEARANCE FOR CITY OF PHOENIX STANDARD DETAIL 14-R-1.
8. WATER SERVICE INSTALLATION FOR WATER PETER SHALL BE INSTALLED PER CITY OF PHOENIX DETAIL 14-W-1 AND 14-W-2.
9. TREES SHALL BE PLANTED AT LEAST 30 FEET AWAY FROM ANY STREET LIGHT POLE ON LIGHTING CONTROL. CANNELIKES/POLES SHALL BE PLANTED AT LEAST 1 FEET AWAY FROM ANY STREET LIGHT POLE OR LIGHT FIXTURE 12" IN THE CITY OF PHOENIX ENGINEERING PROCEDURE MANUAL.
10. ALL LANDSCAPE PLANTING, INSTALLED SHALL BE MAINTAINED BY LANDSCAPER IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
11. ALL TREES AND SHRUBS LOCATED IN THE LANE-OR-WAY MUST BE MAINTAINED FOR A CLEAR LANE BETWEEN 12' AND 14' FROM PAVED SURFACE WHERE BOUNDARY LINE OCCURS. SEE LANDSCAPE PLAN FOR SOFT-LANE.
12. THERE ARE NO EXISTING OVERHEAD POWER LINES ON THIS PROJECT SITE.
13. BACKFILL SERVICES (OR PROTECTIVE CABLE) TO BE PAINTED TO MATCH BUILDING COLOR.
14. SIGNAGE REQUIRES A SEPARATE SHOP DRAWING.



Scale 1:60



NORTH

[illegible]

- | | | | |
|---|---|------------------------------------|-------------|
| + | ASHES & MUDS
MELTON'S ASHES | 5 GALLON
PAI, PAIR CAN | 283 TOTAL |
| ① | RUELLA BRITANNICA CALIFORNIA
RUELLA | 5 GALLON
PAI, PAIR CAN | 714 TOTAL |
| ① | WILSON CLEANDER TOP
DANAP PAIR CLEANDER | 5 GALLON
PAI, PAIR CAN | 248 TOTAL |
| ① | CALIFORNIA WINDMILL LITTLE JOHN
LITTLE JOHN BOTTLE BRUSH | 5 GALLON
PAI, PAIR CAN | 288 TOTAL |
| ① | CARMA BRUITS
WILSON CORNET CARMA | 5 GALLON
PAI, PAIR CAN | 330 TOTAL |
| ① | ROXBOROUGH OF PROSTRATA
DANAP ROXBOROUGH | 5 GALLON
PAI, PAIR CAN | 308 TOTAL |
| ① | TEODIA BRUSH Y. BRUSH
WILSON BELLS | 5 GALLON
PAI, PAIR CAN | 392 TOTAL |
| ① | BOUQUINELLA TORRESCABELLA
RED LAGO BOUQUINELLA | 5 GALLON
PAI, PAIR CAN | 88 TOTAL |
| ① | EL AGUA RESOLING THE
CORNET CARPET RESOLING | 5 GALLON
PAI, PAIR CAN | 436 TOTAL |
| ① | LAMANA RENOVATING THE
NEW GOLD LAMANA | 1 GALLON
PAI, PAIR CAN | 40 TOTAL |
| ① | MEDULA TOLUENEA
YELLOW DOT | 1 GALLON 9 3/4 OZ
PAI, PAIR CAN | 48 RESIDUAL |
| ① | DECOPORED BRANITS
YELLOW DOT | 3 1/4" COBBLE | 04.83 GP |
| ① | BRANITS COBBLE | 3 1/4" COBBLE | 22.88 GP |

LANDSCAPE CALCULATIONS CHART										
AREA	FORMULA	REQUIRED				PROVIDED				BAL.
		30" BCK THICK	14" BCK THICK	8" GAL. THICK	4" GAL. THICK	30" BCK THICK	14" BCK THICK	8" GAL. THICK	4" GAL. THICK	
SOUTH HOVING (100 LF)	(1) TREE & 4 BUSHES/25 LF OF PERIMETER (2) 30" BCK 50% 14" BCK 25% 8 GAL. FRU	1	14	1	100	1	21	0	100	
PARKING LOT (100) 5 ISLANDS	5' ISLAND (1) TREE AND (2) BUSHES 30" ISLAND (1) TREE AND (4) BUSHES (7) 8" BCK PERIOD. TREES TO BE 30" BCK- BALANCE OF TREES TO BE 14" BCK	5	10	0	220	5	14	0	20	
FOUNDATION BASE (100 LF)	(1) TREE/ 10 LF 75% OF REQ'D TREES TO BE 30" BCK- BALANCE OF TREES TO BE 14" BCK (TREES WITHIN 30 FT. OF THE FOUNDATION MAY BE COUNTED TOWARD THE REQUIREMENT)	1	10	0	14	1	62	0	14	
NORTH AND WEST PROPERTY LINES (1000 LF)	(1) 14" BCK TREES AND (2) 8 GAL. BUSHES/ 10 LF	0	0	0	400	2	0	0	40	
BARO AUTO CENTER DRIVE (100 LF)	(1) TREE AND 4 BUSHES/ 25 LF OR PERIMETER (2) 30" BCK 50% 14" BCK 25% 8 GAL. FRU	10	21	14	700	10	21	14	540	

phillip r. ryan
landscape architect p.c.
landscape architect & planner
3847 e. broadford place
columbus mississippi 39206
phone 601-481-1100 fax 601-352-3574

4307 n. civic center plaza
scottsdale, az 85251
tel:(480) 946-0066
fax:(480) 946-5432

This drawing is an instrument of service, and shall remain the property of the architect. This drawing shall not be reproduced or used for any purpose, in whole or in part, without the written consent of the architect.

There are a number of reasons why the results of the study may not be generalizable to other populations. First, the study was conducted in a single institution, and the results may be specific to that institution. Second, the study was conducted in a single country, and the results may be specific to that country. Third, the study was conducted in a single time period, and the results may be specific to that time period. Fourth, the study was conducted in a single population, and the results may be specific to that population. Fifth, the study was conducted in a single setting, and the results may be specific to that setting. Sixth, the study was conducted in a single group of patients, and the results may be specific to that group of patients. Seventh, the study was conducted in a single group of providers, and the results may be specific to that group of providers. Eighth, the study was conducted in a single group of patients and providers, and the results may be specific to that group of patients and providers. Ninth, the study was conducted in a single group of patients, providers, and patients and providers, and the results may be specific to that group of patients, providers, and patients and providers. Tenth, the study was conducted in a single group of patients, providers, patients and providers, and patients and providers, and the results may be specific to that group of patients, providers, patients and providers, and patients and providers.

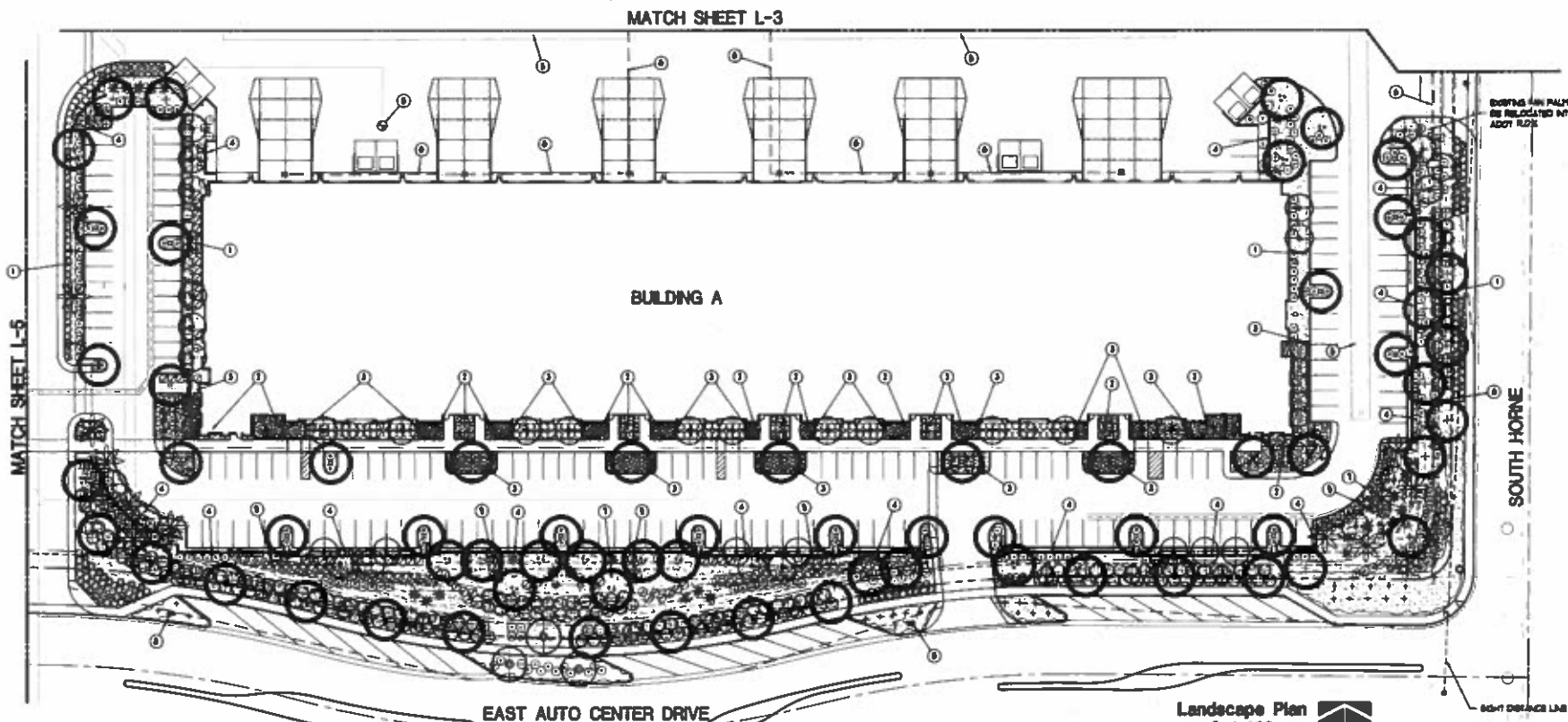
LANDSCAPE PLAN

**EAST VALLEY COMMERCE CENTER
NO MESA DRIVE**

date: 10/20/24
job no.: 10024



L-1



PLANT SCHEDULE: (FOR THIS SHEET ONLY)

1.	MADAGASCAR ROSEBAY	REARDED TREES	14 TOTAL
2.	PEACHAN PINK PALM	SHRUBS, 20' TRUNK HT.	
3.	ULMUS PARVIFOLIA	34" BOM TREEMAN	8 TOTAL
4.	HYDRANGEA ELY	10' HT, 45" DB, 1 1/2" CAL	
5.	CERATOPHYLLUM THOMASII	34" BOM TREEMAN	24 TOTAL
6.	DEBBERT PLEBURY PAID VIBES	10' HT, 45" DB, 1 1/2" CAL	
7.	ELAEAGNUS VIRENANNA	36" BOM TREEMAN	8 TOTAL
8.	BOULDER LIME OAK	10' HT, 45" DB, 1 1/2" CAL	
9.	PROSTRAHA CHILDS	34" BOM TREEMAN	18 TOTAL
10.	THOMASIA THOMASII	10' HT, 45" DB, 1 1/2" CAL	
11.	ORTALIZA TASHING	34" BOM TREEMAN	24 TOTAL
12.	ORTALIZA	10' HT, 45" DB, 1 1/2" CAL	
13.	CARALPINA VIRENANNA	36" BOM TREEMAN	12 TOTAL
14.	PEACHAN BIRD OF PARADISE	10' HT, 45" DB, 1 1/2" CAL	
15.	BALCONIA BICOLORATA	36" BOM TREEMAN	22 TOTAL
16.	THOMASIA THOMASII	10' HT, 45" DB, 1 1/2" CAL	
17.	PHAS BLOOMING	34" BOM TREEMAN	3 TOTAL
18.	MONSIEUR PINE	10' HT, 45" DB, 1 1/2" CAL	
19.	ACACIA MELBA	34" BOM TREEMAN	8 TOTAL
20.	ACACIA ACACIA	10' HT, 45" DB, 1 1/2" CAL	
21.	CARALPINA VIRENANNA	36" BOM TREEMAN	24 TOTAL
22.	RED BIRD OF PARADISE	10' HT, 45" DB, 1 1/2" CAL	
23.	LEUCOPHYLLUM LAMPANAE	36" BOM TREEMAN	18 TOTAL
24.	RED BIRD OF PARADISE	10' HT, 45" DB, 1 1/2" CAL	
25.	RELLIA PENSILVANIA	36" BOM TREEMAN	12 TOTAL
26.	BOULDER DEBBERT RELLIA	10' HT, 45" DB, 1 1/2" CAL	

EAST AUTO CENTER DRIVE

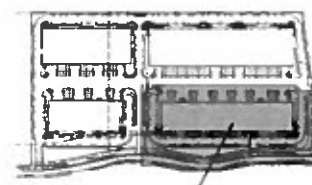
27.	AGAVE MASON	5 GALLON	50 TOTAL
28.	MASON'S AGAVE	5 GALLON	
29.	RELLIA BRITANNICA CALIFORNICA	5 GALLON	60 TOTAL
30.	RELLIA	5 GALLON	
31.	MIRIAM CLEANDER TOP	5 GALLON	124 TOTAL
32.	DEBBERT PINE CLEANDER	5 GALLON	
33.	CALISTEPHON VERNALIS LITTLE JOHN	5 GALLON	146 TOTAL
34.	LITTLE JOHN BOTTLE BRUSH	5 GALLON	
35.	CANNA PURIT	5 GALLON	9 TOTAL
36.	DEBBERT CANNA	5 GALLON	
37.	ROSEMARYS OR PROSTRATUS	5 GALLON	86 TOTAL
38.	DEBBERT ROSEMARY	5 GALLON	
39.	TEODORA STARS V. STARS	5 GALLON	9 TOTAL
40.	YELLOW BELLS	5 GALLON	
41.	BOULDERVILLE THOMPSONVILLE	5 GALLON	34 TOTAL
42.	RED BUSH BOULDERVILLE	5 GALLON	
43.	ACACIA REEDING TOP	5 GALLON	124 TOTAL
44.	DEBBERT CAMPST REEDING	5 GALLON	
45.	LANTANA PENTACHORDS 145	1 GALLON	280 TOTAL
46.	NEW GOLD LANTANA	1 GALLON	
47.	MEDULA TROBATA	1 GALLON	48 REQUIRED
48.	YELLOW DOT	1 GALLON	
49.	DEBBERT GRANTS	34" SCREENED	61,700 SF
50.	GRANTS COBBLES	3"-4" COBBLES	6,710 SF

PLAN KEY NOTES:

1. METAL 1" DEEP 1/2" SCREENED DEBBERT GRANTS THRU-OUT PLANTING AREA
2. METAL 3"-4" DIA COBBLES
3. METAL 6" DIA CONCRETE HEADER
4. DECORATIVE SCREEN WALL
5. UNDERGROUND STORM WATER RETENTION PIPE
6. DRAINAGE PIPE
7. RETENTION BARR FOR CIVIL DRAIN
8. FIRE HYDRANT
9. COBBLES PER CIVIL DRAIN

Landscape Plan

Scale 1:30



Site Key Map

phillip r. ryan
landscape architect p.c.
landscape architect & planner
3047 N. Mesquite Street
Mesa, AZ 85205
Tel: (480) 946-5432 Fax: (480) 946-5432

McCALL & associates, inc.
4327 N. Civic Center Place
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Fax: (480) 946-5432

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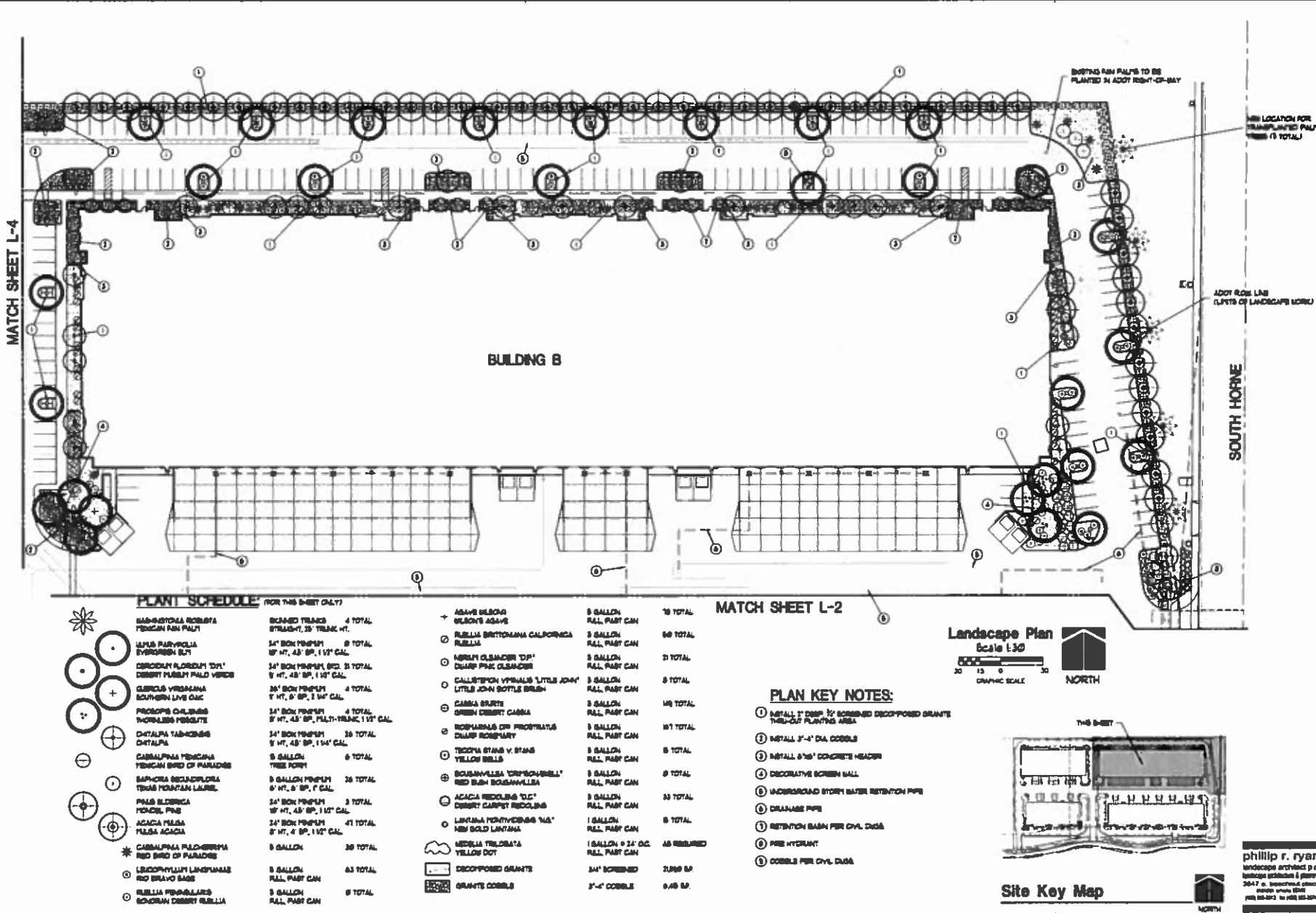
THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE A DESIGN THAT IS FUNCTIONAL, AESTHETIC, AND ECONOMICALLY FEASIBLE. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS, NOR THE PERFORMANCE OF THE WORK. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK.

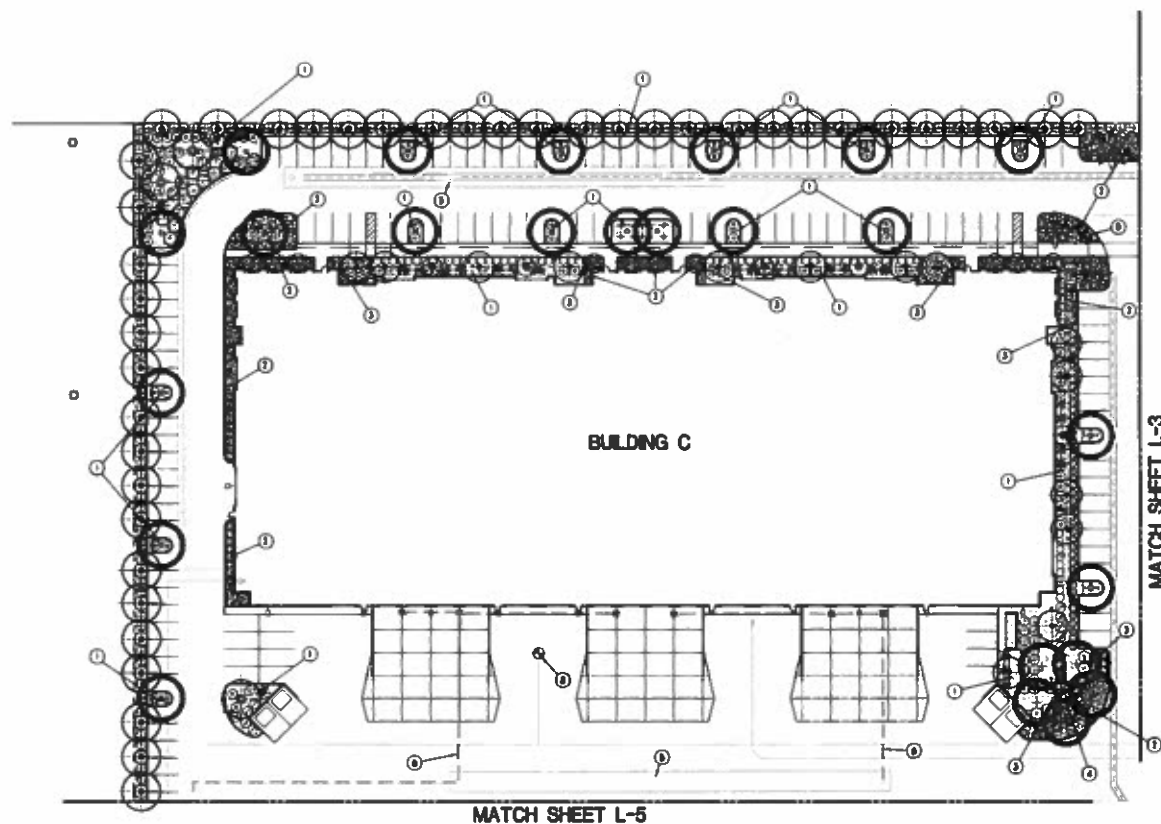
sheet 001
LANDSCAPE PLAN

METRO EAST VALLEY COMMERCE CENTER
1080 AND MESA DRIVE
MESA, AZ

date: 10/20/14
job no: 14052
revision:







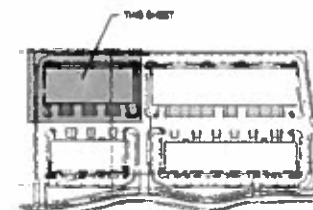
Landscape Plan
Scale 1:30

30 15 0 30
Feet


NORTH

PLAN KEY NOTES:

- ① MINIMAL 1" DEEP 1/2" SLOPED DECOMPOSED GRANITE
TIES-OUT PLANTING AREA
- ② MINIMAL 1/4" DIA. COBBLE
- ③ MINIMAL 6"X8" CONCRETE HEADER
- ④ DECORATIVE SCREEN WALL
- ⑤ UNDERGROUND STORM WATER RETENTION PIPE
- ⑥ DRAINAGE PIPE
- ⑦ RETENTION BASIN PER CIVIL DATA
- ⑧ PUMP HYDRAUNT
- ⑨ COBBLES PER CIVIL DATA

PLANT SCHEDULE: (FOR THIS SHEET ONLY)[illegible]

Site Key Map

phillip r. ryan
landscape architect p.c.
landscape architect & planner
3647 n. trenchard place
denver, colorado 80209
phone 303-492-3131 fax 303-492-3574



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It is also possible, although less likely, that the "new" program was a result of a change in the way the program was being implemented. For example, the program may have been expanded to include more people, or the way the program was being implemented may have changed. However, the most likely explanation is that the program was a result of a change in the way the program was being implemented.

LANDSCAPE PLAN

are just
METRO EAST VALLEY COMMERCE CENTER
1940 AND MESA DRIVE

Order: 10/2014
Job no.: 14024



METRO

EAST VALLEY COMMERCE CENTER

CITIZEN PARTICIPATION REPORT
Southwest Corner of US 60 and Horne Street

Case # Z15-002

Submitted: December 29, 2014

I. Introduction

This report provides results of the implementation of the Citizen Participation Plan for Metro East Valley Commerce Center. This site is approximately 21.5 gross acres located at the Southwest corner of US 60 & Horne St (the "Property"). The property will remain zoned Light Industrial (L-I). This application is for simply for a PAD amendment. This report provides evidence that citizens, neighbors, public agencies and interested person have had adequate opportunity to learn about and comment on the proposed PAD amendment addressed in the application.

II. Contact

Jessi Thornton
Withey Morris, PLC
2525 East Arizona Biltmore Circle
Phoenix, Arizona 85016
602-230-0600
Email: jessi@witheyorris.com

III. Contact List

Property owners within 500-feet of the Property as identified by the Maricopa County Assessor's Map, residents, registered neighborhoods, and homeowners associations identified by the City of Mesa. A copy of the contact list and map of the mailing area are attached.

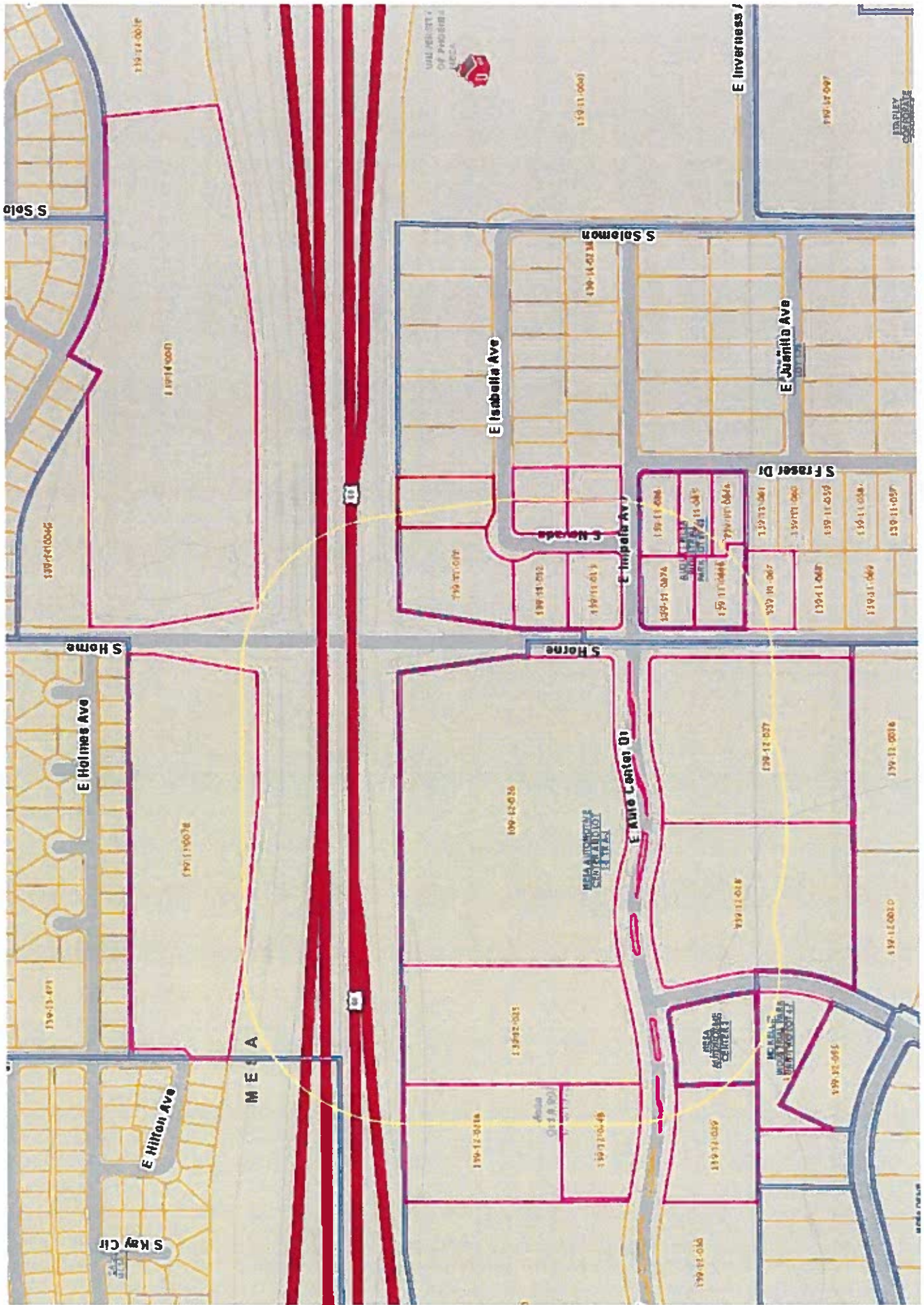
IV. Notification Technique / Notice of Meetings

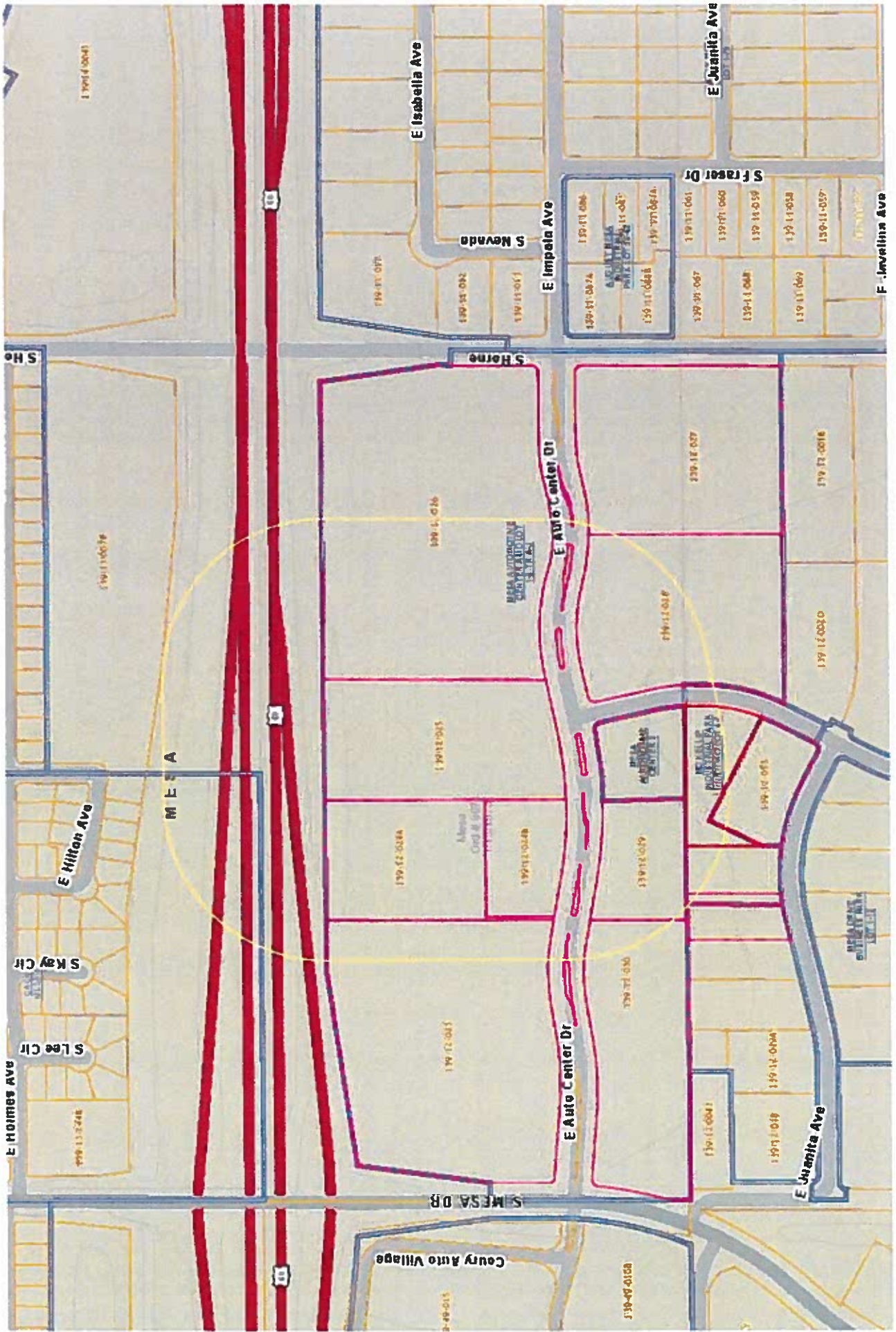
Citizens, registered neighborhoods and homeowners associations identified by the City of Mesa were notified of the application through two informational mailings and an open house meeting.

1. A letter was mailed on December 8, 2014 to the contact list. The letter notified recipients of the application to the Planning and Zoning Board and invited them to the open house meeting.
2. A second letter regarding the application, dated December 26, 2014, was mailed to notify members of the contact list of the January 21, 2014 Planning and Zoning Board hearing. The letters were prepared for mailing and delivered to the City of Mesa on December 29, 2014.

V. Neighborhood Meeting

An open house meeting was held on December 23, 2014 at Mesa Fire Station 202, 830 South Stapley Drive from 5:30 p.m. to 6:30 p.m. There were no residents in attendance at this meeting. No correspondence or telephone calls have been received by our office regarding this case.





Deanna Villanueva-Saucedo

Kay Circle Neighbors

1513 South Kay Circle

Mesa, AZ 85204

Hannah Meek

Poinsettia

1119 East 10th Avenue

Mesa, AZ 85204

Annette Wilkins

Sherwood Manor

1004 East Hampton Avenue

Mesa, AZ 85204

Jean Decker

Casa Mesa

553 East Glade Avenue

Mesa, AZ 85204

Dianne Melander

Heritage Park Neighborhood

320 East Harmony Avenue

Mesa, AZ 85210

Mark Roady

Country Cousins Mobile Home Park

PO Box 27671

Scottsdale, AZ 85255

Jacque Salas

Pasadena Neighborhood

303 East Franklin Avenue

Mesa, AZ 85210

Delma Dickerman

Casa Mesa

1238 South Lesueur

Mesa, AZ 85204

Miles George

Heritage Park Neighborhood

1410 South Hedge

Mesa, AZ 85210

Roger Joyner

Beall Park 2

1039 South Grand

Mesa, AZ 85210

Juan Candelaria

Pasadena Neighborhood

918 South Pasadena

Mesa, AZ 85210

526 EAST JUANITA LLC
2150 E HIGHLAND AVE #207
PHOENIX, AZ 85016

ALLRED INVESTMENTS LLC
17872 MITCHELL NORTH STE 250
IRVINE, CA 92614

ART & BOB HOLDING CO 96 L L C
1743 S HORNE ST STE 200
MESA, AZ 85204

BERGE FORD INC
P O BOX 4008
MESA, AZ 85201

BRAGMAR INVESTMENTS LTD
PARTNERSHIP
5134 N CENTRAL AVE
PHOENIX, AZ 85012

CHOICE EDUCATION AND DEV CORP
1460 S HORNE
MESA, AZ 85204

EJB PROPERTIES LLC
2767 E VIA DEL ARBOLES
GILBERT, AZ 85298

FAITH REAL ESTATE LLC
2401 N 76TH PL
SCOTTSDALE, AZ 85257

LAKE CENTER ASSOCIATES (ARIZONA) LLP
828 E ISABELLE ST
MESA, AZ 85204

LEL LLC
2739 E JADE PL
CHANDLER, AZ 85286

CITY OF MESA
20 E MAIN ST STE 650
PO BOX 1466
MESA, AZ 85211

NEZNEROL LIMITED PARTNERSHIP
842 E ISABELLA AVE STE 102
MESA, AZ 85204

P & K PROPRITIES LLC
1734 S FRASER DR
MESA, AZ 85204

PRESSON P V SEVEN LLC
2122 E HIGHLAND AVE STE 400
PHOENIX, AZ 85016

PUPPYFEATHERS LIMITED PARTNERSHIP
460 E AUTO CENTER DR
MESA, AZ 85204

PUPPYFEATHERS LTD PARTNERSHIP
PO BOX 4008
MESA, AZ 85211

SOUTH HOME INVESTMENT LLC
856 E MAIN
MESA, AZ 85201

TRI CITY READY MIX INC
1261 E FAIRFIELD ST
MESA, AZ 85203

TRI-CITY MASONRY LLC
858 E IMPALA AVE
MESA, AZ 85204

ZIMMERMAN JOAN GOODMAN TR
3111 BEL AIR DR STE 26A
LAS VEGAS, NV 89103

ZIMMERMAN JOAN GOODMAN
TR/MANDEL WILLIAM TR
2150 E HIGHLAND STE 207
PHOENIX, AZ 85016

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STAT	MAIL_ZIP	MAIL_COU	APN
526 EAST JUANITA LLC	2150 E HIGHLAND AVE #207	PHOENIX	AZ	85016 USA	13912009E	
ALLRED INVESTMENTS LLC	17872 MITCHELL NORTH STE 250	IRVINE	CA	92614 USA	13911084A	
ART & BOB HOLDING CO 96 L L C	1743 S HORNE ST STE 200	MESA	AZ	85204 USA	13911087A	
BERGE FORD INC	P O BOX 4008	MESA	AZ	85201 USA	13912035	
BRAGMAR INVESTMENTS LTD PARTNERSHIP	5134 N CENTRAL AVE	PHOENIX	AZ	85012 USA	13912009F	
CHOICE EDUCATION AND DEV CORP	1460 S HORNE	MESA	AZ	85204 USA	13913007E	
EUB PROPERTIES LLC	2767 E VIA DEL ARBOLES	GILBERT	AZ	85298 USA	13911086	
FAITH REAL ESTATE LLC	2401 N 76TH PL	SCOTTSDALE	AZ	85257 USA	13911012	
LAKE CENTER ASSOCIATES (ARIZONA) LLP	828 E ISABELLE ST	MESA	AZ	85204 USA	13911011	
LEL LLC	2739 E JADE PL	CHANDLER	AZ	85286 USA	13911013	
MESA CITY OF	20 E MAIN ST STE 650 PO BOX 1466	MESA	AZ	85211 USA	13914004J	
NEZNEROL LIMITED PARTNERSHIP	842 E ISABELLA AVE STE 102	MESA	AZ	85204 USA	13911010	
P & K PROPRITIES LLC	1734 S FRASER DR	MESA	AZ	85204 USA	13911085	
PRESSON P V SEVEN LLC	2122 E HIGHLAND AVE STE 400	PHOENIX	AZ	85016 USA	13911067	
PUPPYFEATHERS LIMITED PARTNERSHIP	460 E AUTO CENTER DR	MESA	AZ	85204 USA	13912041	
PUPPYFEATHERS LTD PARTNERSHIP	PO BOX 4008	MESA	AZ	85211 USA	13912008A	
SOUTH HOME INVESTMENT LLC	856 E MAIN	MESA	AZ	85201 USA	13911088B	
TRI CITY READY MIX INC	1261 E FAIRFIELD ST	MESA	AZ	85203 USA	13912053	
TRI-CITY MASONRY LLC	858 E IMPALA AVE	MESA	AZ	85204 USA	13911014	
ZIMMERMAN JOAN GOODMAN TR	3111 BEL AIR DR STE 26A	LAS VEGAS	NV	89103 USA	13912052	
ZIMMERMAN JOAN GOODMAN TR/MANDEL WILLIAM TR	2150 E HIGHLAND STE 207	PHOENIX	AZ	85016 USA	13912009D	