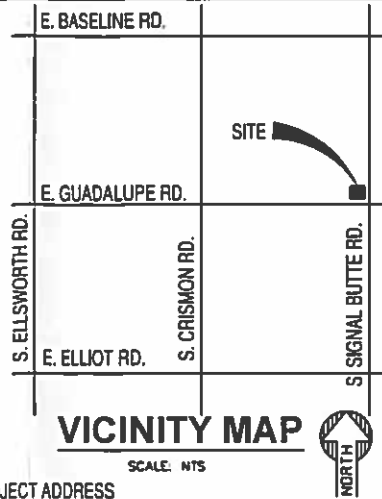






# SITE PLAN CRESCENT RIDGE MARKETPLACE NWC E GUADALUPE RD & S SIGNAL BUTTE RD, MESA, AZ



PROJECT ADDRESS  
XXXX SOUTH SIGNAL BUTTE, MESA, AZ

## GENERAL INFORMATION

USE: NEW MARKETPLACE - RETAIL  
CONSTRUCTION TYPE: STORE - H-A SPRINKLERED  
CANOPY - H-B SPRINKLERED  
KIOSK - H-B SPRINKLERED  
M-CANOPY, KIOSK & STORE  
30FT.  
20FT. - 6IN.  
13FT. - 6IN.  
304-01-976A  
RM-2  
LC  
MDR 8-10  
CC  
788,043.68 S.F. / 17.59 AC (NET)  
89,385.20 S.F. / 20.52 AC (GROSS)  
161,198 S.F.  
21.04% (F.A.R.)  
SOUTH - GUADALUPE ROAD  
EAST - SIGNAL BUTTE ROAD  
NORTH - RM-2  
WEST - RM-2  
SOUTH & EAST: 15 FT.  
NORTH & WEST: 25 FT.  
NORTH: 103.95 FT. (MARKETPLACE)  
NORTH: 124.75 FT. (PAD C)  
EAST: 85.40 FT. (PAD C)  
EAST: 82.35 FT. (FUEL CENTER)  
EAST: 91.15 FT. (PAD A)  
WEST: 66.05 FT. (MARKETPLACE)  
SOUTH: 104.05 FT. (PAD A)  
SOUTH: 92.8 FT. (PAD B)  
SOUTH: 44.1 FT. (SHOPS)

## LEGAL DESCRIPTION

THE SOUTHEAST QUARTER AND THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP ONE SOUTH, RANGE SEVEN EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

## PARKING REVIEW

ITEM	REQUIREMENT	PROVIDED
FRY'S MARKETPLACE	129,000 S.F.	176 S.F.
FRY'S KIOSK	176 S.F.	129,176 S.F.
TOTAL AREA	129,176 S.F.	1/375 S.F.
PARKING REQUIREMENT:	345 SPACES	428 SPACES (3.30/1000)
PARKING PROVIDED:	12,040 S.F.	19 SPACES
SHOPS:	1/375 S.F. (7,040)	1/100 S.F. (5,000)
PARKING REQUIREMENT (RETAIL):	19 SPACES	50 SPACES
PARKING REQUIREMENT (REST.):	1/100 S.F. (5,000)	86 SPACES
TOTAL PARKING PROVIDED:	4,700 S.F.	13 SPACES
PAD A:	1/375 S.F.	38 SPACES
PARKING REQUIREMENT:	13 SPACES	4,200 S.F.
PARKING PROVIDED:	4,200 S.F.	1/100 S.F.
PAD B:	1/100 S.F.	42 SPACES
PARKING REQUIREMENT:	42 SPACES	45 SPACES
PARKING PROVIDED:	4,200 S.F.	1/100 S.F.
PAD C:	1/100 S.F.	42 SPACES
PARKING REQUIREMENT:	42 SPACES	31 SPACES
PARKING PROVIDED:	4,200 S.F.	
TOTAL PARKING REQUIRED:	511	
TOTAL PARKING PROVIDED:	626 (122.5%) (3.88/1000)	
TOTAL ACCESSIBLE PARKING REQUIRED:	13 PARKING SPACES	
TOTAL ACCESSIBLE PARKING PROVIDED:	25 PARKING SPACES	



**SUSTAINABILITY  
ENGINEERING  
GROUP**



BROWN DEVELOPMENT GROUP, INC.  
7508 E. Camelback Rd.  
Scottsdale, AZ 85251  
Office: 480-483-2772  
Fax: 480-483-1717



PROJECT: CRESCENT RIDGE MARKETPLACE  
LOCATION: NWC E GUADALUPE RD & S SIGNAL BUTTE RD, MESA, AZ

DRAWN: \_\_\_\_\_  
DESIGNED: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
PROJECT: \_\_\_\_\_

DATE: 06-04-2014

ISSUED FOR: MINOR GENERAL PLAN AMENDMENT, REZONING, SITE PLAN REVIEW

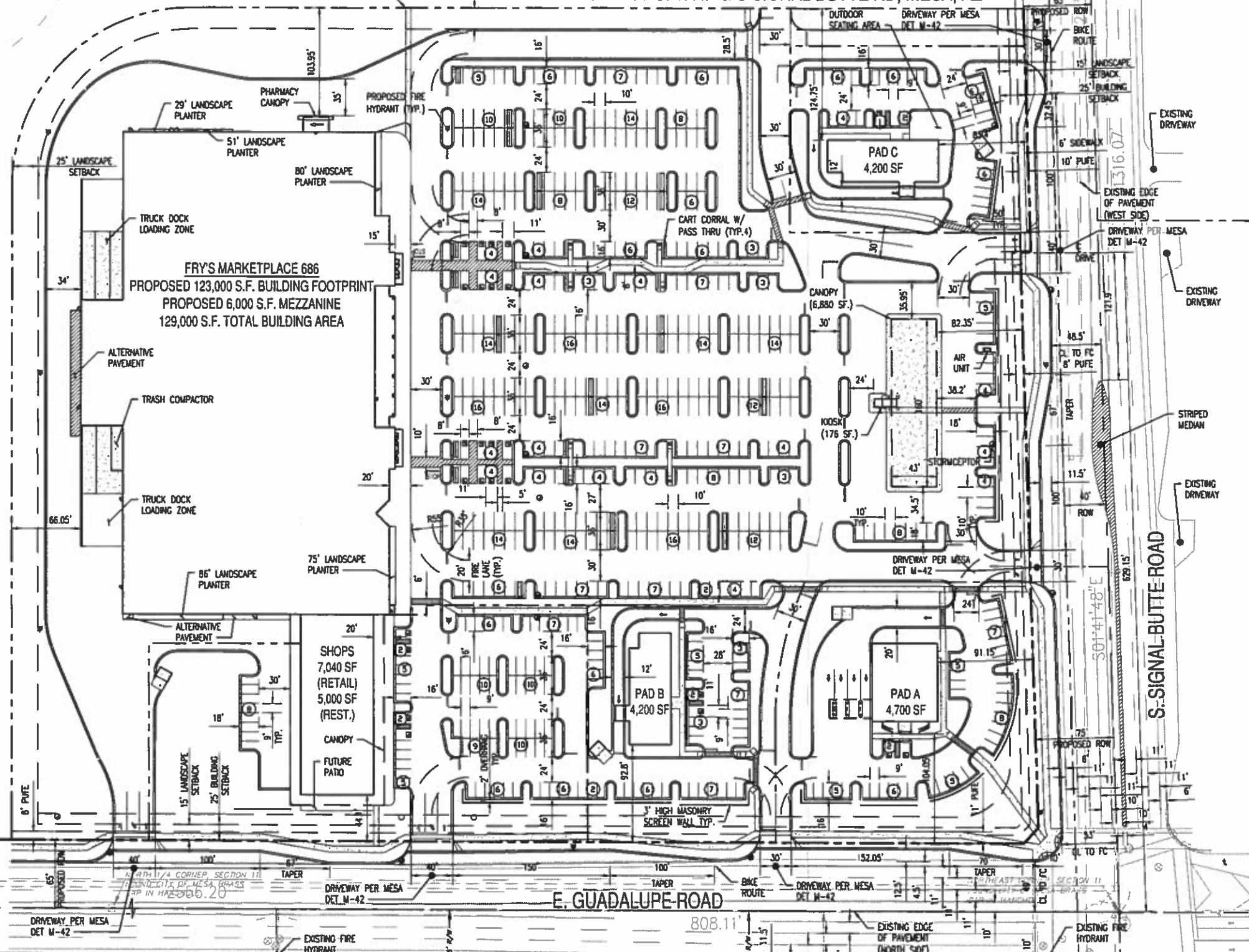
REVISION NO. DATE:  
1  
2  
3

JOB NO.: 140186

SHEET NO.: SITE PLAN

SHEET NO.: SP-1

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**LEGEND**  
CART CORRAL  
PARKING COUNT  
PROPOSED FIRE HYDRANT  
24" WIDE STOP BAR

## PROJECT TEAM

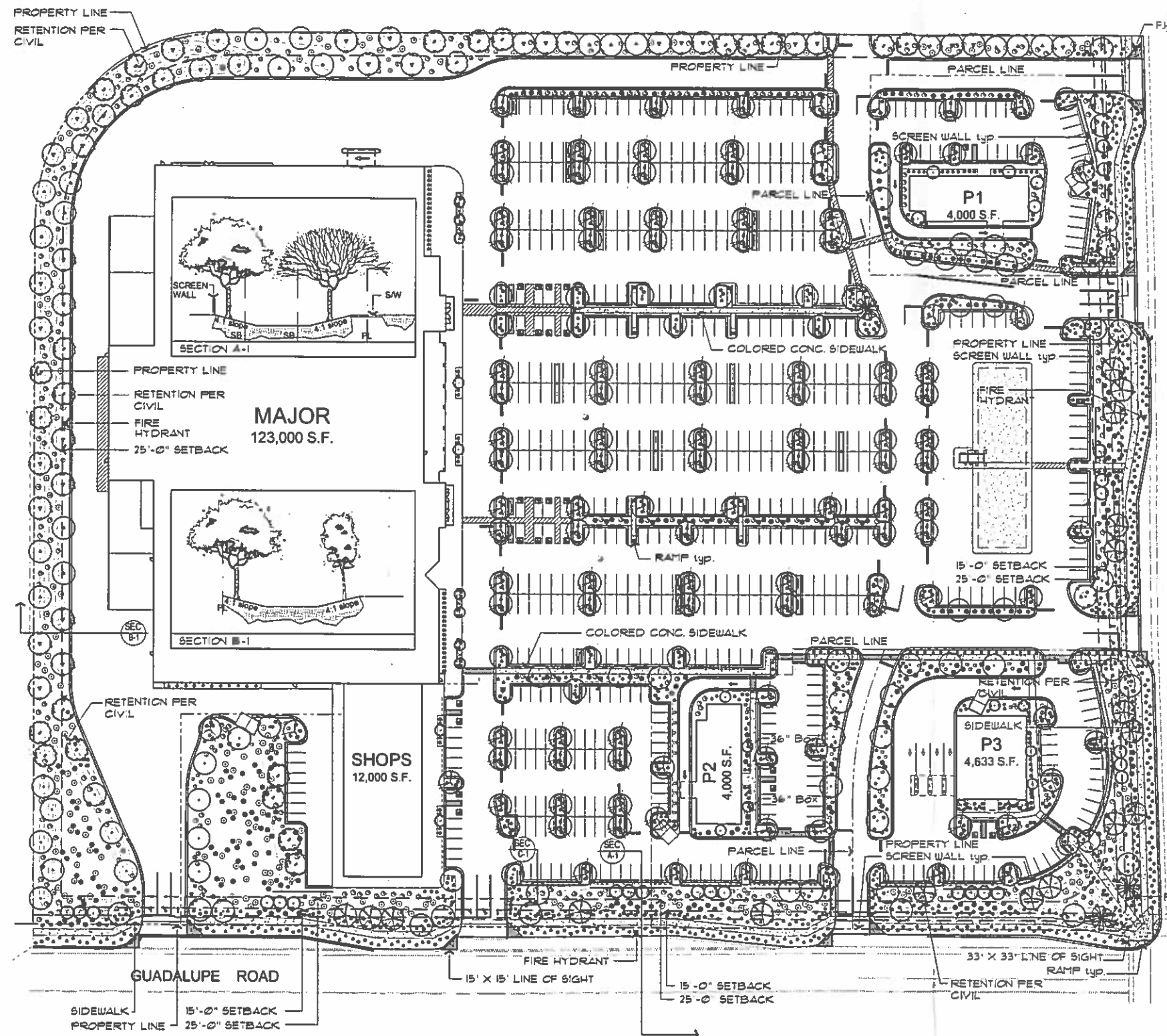
**PROPERTY OWNER**  
BLANDFORD HOMES  
3321 E. BASELINE ROAD  
GILBERT, AZ 85234  
CONTACT: PAUL DUGAS  
PHONE: 480-892-4492  
EMAIL: PAUL@BLANDFORDHOMES.COM

**DEVELOPER**  
BROWN DEVELOPMENT GROUP  
7508 E. CAMELBACK ROAD  
SCOTTSDALE, ARIZONA 85251  
CONTACT: TODD KJAR  
PHONE: (480) 483-2772  
EMAIL: TODD@BROWNGROUPINC.COM

**DESIGNER/APPLICANT**  
SUSTAINABILITY ENGINEERING GROUP  
8280 E. GELDING DR., SUITE 101  
SCOTTSDALE, ARIZONA 85260  
CONTACT: ALI FAKH  
PHONE: (480) 588-7226  
EMAIL: ALI@AZSEG.COM



**SITE PLAN**  
SCALE: 1" = 50'



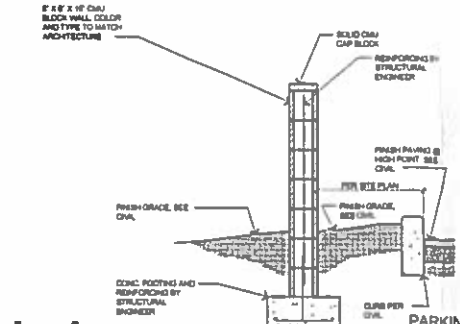
# LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
(U.O.N. - UNLESS OTHERWISE NOTED) All tree caliper required at time of planting

TREES	SIZE / CLIP / HT.	QTY	SHRUBS / ACCENTS / VINES	SIZE	QTY
Ulmus parvifolia Evergreen Elm	24" Box 36" Box low breaking stand.	68 21	Tecoma stans "Orange Jubilee" Orange Jubilee	5 Gallon	197
Pinus albertica Mondel Pine	24" Box stand.	37	Bougainvillea "Torch Glow" Torch Glow Bougainvillea	5 Gallon	102
Acacia farnesiana Sweet Acacia	24" Box stand.	16	Leucophyllum frutescens Texas Sage	5 Gallon	298
Acacia salicina Willow Acacia	24" Box stand.	25	Eremophila maculata "Valentine" Valentine Bush	5 Gallon	78
Quercus virginiana "Heritage" Southern Live Oak	24" Box stand.	117	Ruellia peruviana Desert Ruellia	5 Gallon	90
Cassia mexicana Mexican Bird of Paradise	24" Box 36" Box mult.	43 6	Hesperaloe parviflora Red Yucca	5 Gallon	620
Phoenix dactylifera Date Palm	18" Turf Feat straight trunk diamond cut, matching	3	Hesperaloe parviflora Giant Red Yucca	5 Gallon	288
Acacia stanophylla Shoestring Acacia	24" Box stand.	15	Dasylistron wheeleri Desert Spoon	5 Gallon	85
			Agave geminiflorus Twin Flower Agave	5 Gallon	60
			GROUNDCOVERS	SIZE	QTY
			Lantana montevidensis Trailing Lantana "Purple & Gold mound"	1 Gallon 50/50 max	511
			Convolvulus cretensis Bush Morning Glory	1 Gallon	310
			Decomposed Granite-Express Gold 1/2" Minus 2" min thickness in all landscape areas Submit samples to Landscape Architect		

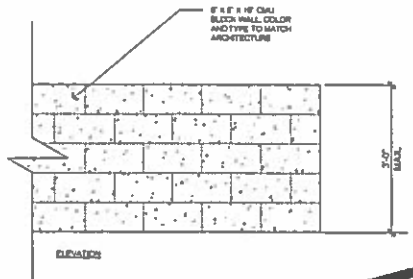
## CITY OF MESA LANDSCAPE GENERAL NOTES:

- ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE.
- ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- THE HEIGHTS AND CALIPERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT SIZE AND TYPE OF TREE.
- REQUIRED TREES AND SHRUBS SHALL BE PROVIDED PER THE SITE CALCULATIONS.
- REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 60% OF REQUIRED SHRUBS SHALL BE 5 GALLON SIZE.
- PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF THE ABOVE CALCULATIONS. TREES AND SHRUBS MAY BE CLUSTERED.
- 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.
- 1 TREE AND 3 SHRUBS FOR EVERY 18' PARKING ISLAND PARKING SHALL BE INSTALLED AT EACH END OF ROW OF STALL AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES.
- INSTALLATION OF THE FOUNDATION LANDSCAPING SHALL MEET THE CALCULATIONS PROVIDED.
- THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA. LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.
- ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.
- ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOCIATION OR OWNER'S ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTAL.
- ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN 3' TO 7'.
- RIP-RAP MUST BE OF NATURAL MATERIALS MATCHING D.O. COLORS. CONCRETE OR QUARTZ MUST BE COLORED TO MATCH D.O. COLOR.
- TREES SHALL BE PLANTED AT LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED AT LEAST 7' AWAY FROM ANY STREET LIGHT POLE OR LOCATION.



## CITY OF MESA LANDSCAPE CALCULATIONS:

LOCATION	TREES		SHRUBS	
	REQUIRED	FURNISHED	REQUIRED	FURNISHED
NORTH 92° - 00°				
1 TREE / PER 25 L.F.T.				
2 SHRUBS / PER 25 L.F.T.	37	35	76	76
EAST 121° - 00°				
Signal Butte Road				
1 TREE / PER 25 L.F.T.				
2 SHRUBS / PER 25 L.F.T.	25	25	50	107
SOUTH 88° - 40°				
Guadalupe Road				
1 TREE / PER 25 L.F.T.	35	35	70	189
2 SHRUBS / PER 25 L.F.T.				
WEST 78° - 00°				
1 TREE / PER 25 L.F.T.	32	32	64	72
2 SHRUBS / PER 25 L.F.T.				
PARKING LOT				
1 TREE / PER 15' ISLAND	140	140	420	420
3 SHRUBS / PER 15' ISLAND				
FOUNDATION PLANTING	22	22	N/A	N/A
1 TREE / PER 50 L.F.T.				
TOTAL REQ'D/FURNISH'D	295	295	688	835
SIZE REQ'D/FURNISHED				
(TREES) 36" BOX MIN 10%	27	27		
24" BOX MIN 50%	262	324		
15 GAL	0	0		
5 GAL	0	0		
TOTAL TREES	295	351		
SHRUBS 15 GAL or larger			N/A	0
5 GAL			N/A	1,634
1 GAL			N/A	843
POT/PLANT			N/A	0
Existing				
TOTAL SHRUBS				2,477



03-31-14  
13155



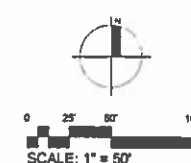
Butler Design Group, Inc.  
architects & planners

## N.W.C. Signal Butte & Guadalupe

Proposed Neighborhood Shopping Center  
Mesa, Arizona

## CONCEPTUAL LANDSCAPE PLAN

Brown Group, Inc.



LASKIN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
67 E. Wenden Ave.  
Suite 230  
Phoenix, Arizona 85012  
P (602) 840-7771  
F (602) 840-9331  
www.laskinlandscape.com



NOTE:  
THIS PRELIMINARY GRADING AND DRAINAGE PLAN  
IS CONCEPTUAL ONLY. ROAD DESIGN, FINAL  
POND DESIGN AND STORM PIPE SYSTEM, AND  
PARCEL GRADING WILL BE COMPLETED WHEN A  
TOPOGRAPHIC SURVEY IS AVAILABLE

1. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
2. PROPOSED SPOT ELEVATIONS SHOWN REPRESENT FINISHED PAVING, SIDEWALK, SLAB, GUTTER FLOWLINE, OR GROUND ELEVATION. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
5. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE STABILIZED.
6. IF STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS ARE STOCKPILED ON THE SITE, THESE MATERIALS MAY BE PLACED TO A HEIGHT OF FIVE FEET. SILT FENCE SHALL BE PLACED AROUND THE BASE OF THE STOCKPILE AND THE STOCKPILE SHALL BE SEEDDED WITH NATIVE SEED MIX IMMEDIATELY AFTER STRIPPING OPERATIONS ARE COMPLETE.
7. IF APPLICABLE, LIME TREATED SUBGRADE MATERIAL SHOULD MEET ARIZONA HIGHWAY DEPARTMENT SPECIFICATIONS. A SPECIFIC MIX DESIGN SHOULD BE PREPARED BY THE GEOTECHNICAL CONSULTANT.
8. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO PROPOSED GRADE PRIOR TO PLACEMENT OF THE FINAL LIFT OF ASPHALT.
9. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE SOILS REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE SOILS REPORT ON THE SITE AT ALL TIMES.
10. SUBGRADE WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN SUBGRADE ELEVATION. HOWEVER, ON THE FINISHED ASPHALT SURFACE, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURVES. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
11. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT, THE FOLLOWING SHALL APPLY. PRIOR TO PLACEMENT OF ANY CONCRETE, THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPES AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR THE TYPICAL SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURED WITHOUT APPROVAL OF THE ENGINEER.
12. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
13. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES TO ENSURE NO STANDING WATER.
14. PROVIDE THICKENED PAVEMENT TRANSITION AROUND STRUCTURES AND AT OPEN EDGE OF PAVEMENT SECTION.
15. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
16. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
17. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
18. THE CONTRACTOR IS ADVISED THAT ANY EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT HE SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE PROJECT AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.

Call at least two full working days  
before your birth celebration.

**ARIZONA 811**  
Report Your Dig, Inc.

C3.00

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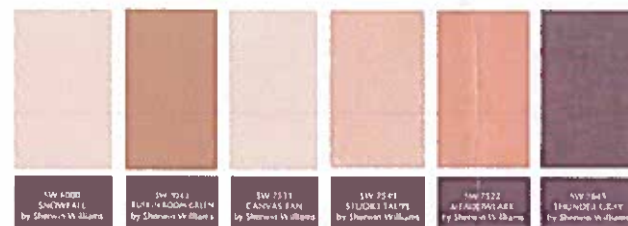




1 ENTRY MONUMENTATION ELEVATION  
w/ Crescent Ridge color/material palette



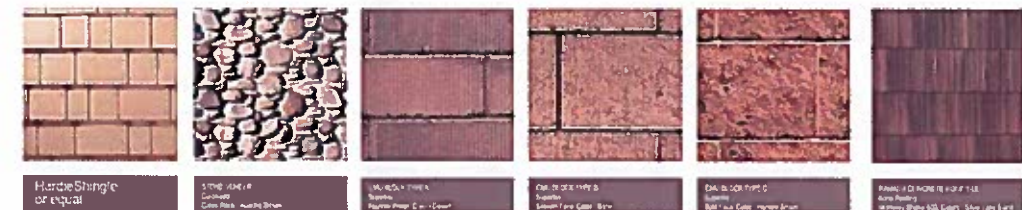
1 PRIMARY THEME WALL  
w/ Crescent Ridge color/material palette



Paint Colors



Light Fixtures



Crescent Ridge color/material palette



**APPROVED PLANS**  
**CITY COUNCIL**

DATE: 8/28/06  
WITH STIPS: YES ☒ NO ☐

**PRELIMINARY PLAT**  
**DESERT VISTA**

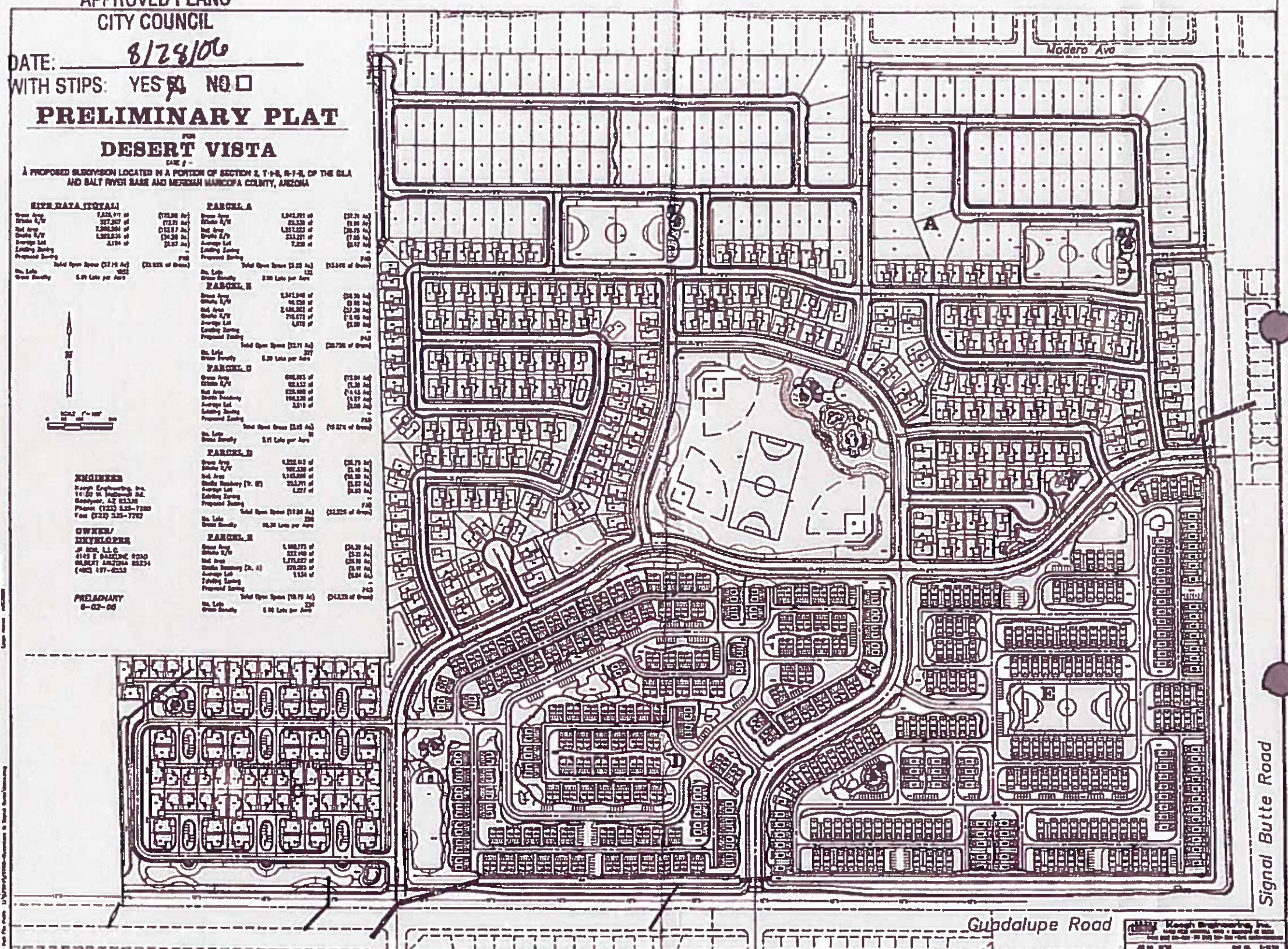
A PROPOSED SUBDIVISION LOCATED IN A PORTION OF SECTION 2, T-1-N, R-7-E, OF THE GILA AND BALT RIVER RABE AND MERIDIAN MAPS OF A COUNTY, ARIZONA

SITE DATA (TOTAL)		PARCEL A	
Grass Area	1,825.97 sf	Drain Area	1,964,772 sf
Shrub 1/2	387,897 sf	Shrub 1/2	85,330 sf
Net Area	2,213,874 sf	Net Area	1,979,442 sf
Shrub 1/2	1,883,836 sf	Shrub 1/2	2,351,051 sf
Average Lot	2,136 sf	Average Lot	7,523 sf
Landscaping		Landscaping	
Proposed Zoning		Proposed Zoning	
Total Open Space (217.16 Ac)	1925	Total Open Space (21.21 Ac)	748.76
Min. Lot		Min. Lot	121
Grass Density	5.90 Lots per Acre	Grass Density	2.08 Lots per Acre
		PARCEL B	
		Drain Area	1,547,148 sf
		Shrub 1/2	90,420 sf
		Net Area	1,637,568 sf
		Shrub 1/2	758,672 sf
		Average Lot	4,972 sf
		Landscaping	
		Proposed Zoning	
		Total Open Space (22.17 Ac)	377
		Min. Lot	5.20 Lots per Acre
		PARCEL C	
		Drain Area	696,263 sf
		Shrub 1/2	12,152 sf
		Net Area	708,415 sf
		Shrub 1/2	696,238 sf
		Average Lot	3,519 sf
		Landscaping	
		Proposed Zoning	
		Total Open Space (2.03 Ac)	748
		Min. Lot	5.71 Lots per Acre
		PARCEL D	
		Drain Area	1,322,613 sf
		Shrub 1/2	982,238 sf
		Net Area	1,140,375 sf
		Shrub 1/2	1,761,771 sf
		Average Lot	1,217 sf
		Landscaping	
		Proposed Zoning	
		Total Open Space (17.88 Ac)	748
		Min. Lot	16.20 Lots per Acre
		PARCEL E	
		Drain Area	1,666,772 sf
		Shrub 1/2	1,964,772 sf
		Net Area	1,779,227 sf
		Shrub 1/2	379,263 sf
		Average Lot	1,134 sf
		Landscaping	
		Proposed Zoning	
		Total Open Space (19.79 Ac)	748
		Min. Lot	5.98 Lots per Acre

**KNOX**  
Knox Engineering, Inc.  
14155 W. McDowell Rd.  
Glenview, AZ 85318  
Phone: (602) 335-7787  
Fax: (602) 335-7787

**OWNER/  
DEVELOPER**  
JF INC. LLC  
4143 E BARKING ROAD  
MILWAUKEE WISCONSIN 53234  
(414) 377-6233

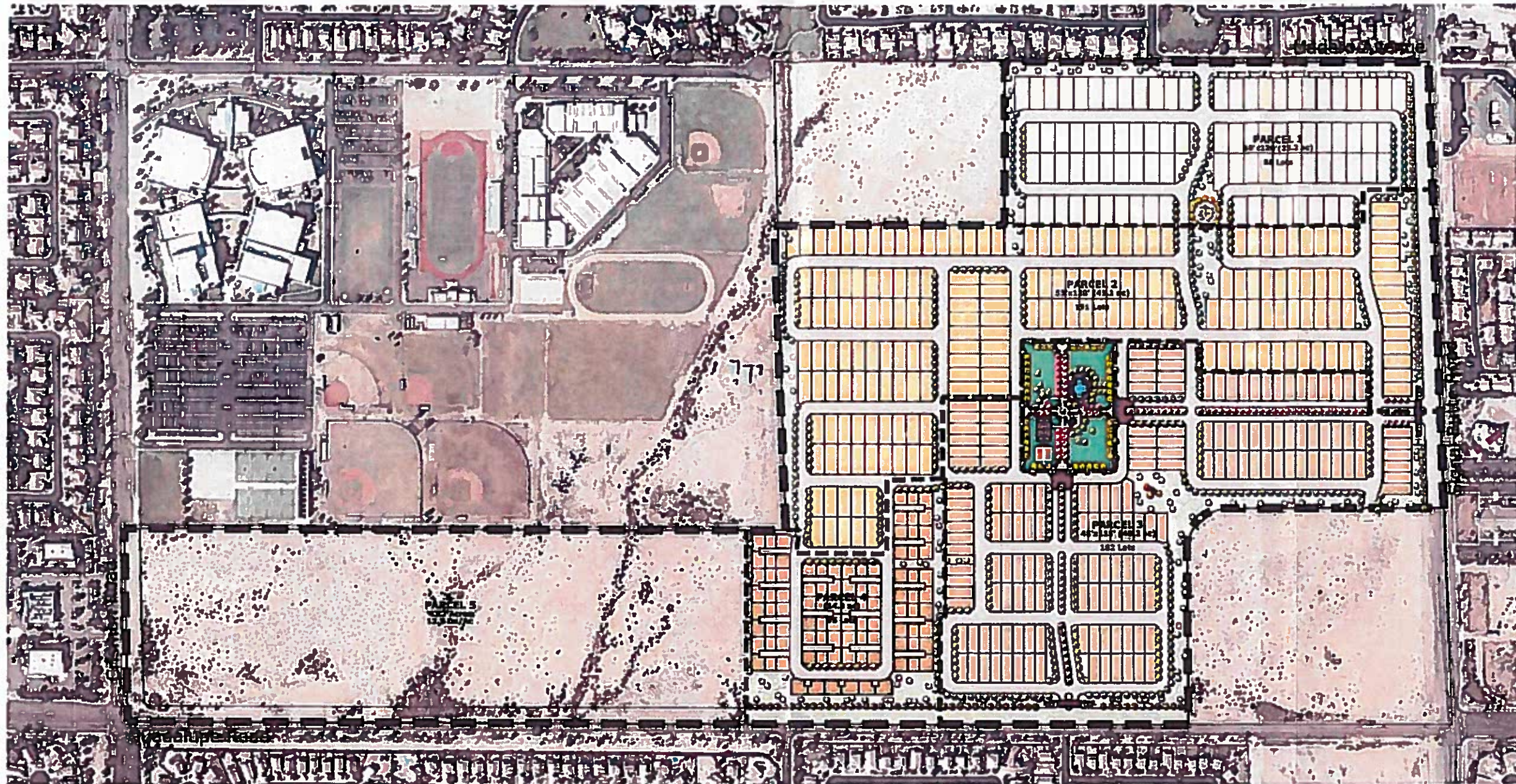
**PRELIMINARY**  
**8-02-00**



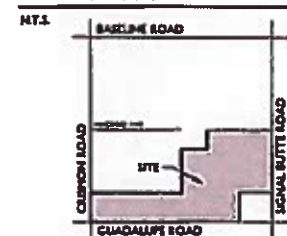
Signal Butte Road

Desert Vista Residential  
Approved in 2006  
Zoning is currently in  
place





#### VICINITY MAP



#### PROJECT TEAM

**DEVELOPER:**  
DESERT LAND GROUP, LLC  
3321 E. BASELINE ROAD  
GILBERT, AZ 85234  
TEL: (480)-892-4192  
FAX: (480)-892-5106  
CONTACT: PAUL DUGAS

**CONSULTANT:**  
EPS GROUP, INC.  
2645 S. VINEYARD, SUITE 101  
MESA, AZ 85210  
TEL: (480)-503-2250  
FAX: (480)-503-2258  
CONTACT: JOSH HANNON

#### DEVELOPMENT DATA

**LOCATION:**  
A.P.N.:  
RELATED CASE NOS.  
  
**EXISTING GENERAL PLAN**  
**PROPOSED GENERAL PLAN**  
**EXISTING ZONING**  
**PROPOSED ZONING**  
**CURRENT LAND USE**  
**PARK**  
**NEW RESIDENTIAL AREA**  
**REMAINING PARCEL 2**  
**TOTAL GROSS AREA**  
  
**TOTAL NO. UNITS**  
**RESIDENTIAL DENSITY**

NWC SIGNAL BUTTE / GUADALUPE ROADS  
304-01-976A (A PORTION THERE OF)  
ANNEX-1752, Z84-091, GP MINOR 04-004,  
GP MINOR 04-003, Z06-045  
NC, HDR 15+, MDR 6-10, MDR 4-6  
HDR 15+, MDR 6-10, MDR 4-6  
AG, RS-4, RS-9, RM-2  
RSL-2.5, RSL-4.5, RS-6, RS-7  
VACANT DESERT, UNDEVELOPED  
4.0 ACRES  
128.8 ACRES (INCLUDING PARK)  
43.7 ACRES  
172.5 ACRES  
  
537  
4.17 DU/AC (537/128.8)

Crescent Ridge Residential  
Draft site plan  
Z14-037  
July 16, 2014 meeting







*"LEED®ing and Developing Smart Projects"*

# **BROWN GROUP, INC.**

## **CRESCENT RIDGE**

### **COMMERCIAL DEVELOPMENT**

**Minor General Plan Amendment,  
Rezoning, Special Use Permit and Site Plan  
Approval**

---

## **Project Narrative**

**Northwest Corner | Signal Butte and Guadalupe Roads**

**SUBMITTED TO:**  
**CITY OF MESA PLANNING DIVISION**  
**DEVELOPMENT AND SUSTAINABILITY DEPARTMENT**  
Mesa, Arizona

**APPLICANT:**  
**SUSTAINABILITY ENGINEERING GROUP**

Prepared: April, 2014  
Resubmitted: May 2014

*8280 E. Gelding Dr., Suite 101  
Scottsdale, AZ 85260*





## **1. INTRODUCTION & PURPOSE OF THE REQUESTS:**

A retail shopping center is proposed at the northwest corner of S. Signal Butte Road and E. Guadalupe Road in Mesa, AZ. The development includes a Fry's grocery store, Fry's fuel center, and additional retail such as a bank, restaurants with drive-thru service (2), and shops. This parcel contains 17.59 undeveloped acres. This project is part of an overall parcel containing approximately 158.8 acres (according to the Maricopa County Assessors maps), Assessor's Parcel Number for the property is: 304-01-976A. On behalf of the Brown Group, Inc., we are submitting this request to obtain:

- 1) A Minor General Plan Amendment, amending the City of Mesa General Plan Land Use Map from Medium Density Residential (MDR 6-10) to Community Commercial (CC),
- 2) Rezoning of the property from Multi-family residential (RM-2) to Limited Commercial (LC) zoning, thereby allowing the development of a grocer anchored shopping center
- 3) A Special Use Permit to allow the development of a fuel center, and
- 4) Site Plan approval

A Design Review Board application is anticipated that will cover grading and drainage, landscaping, building elevations, colors and materials, and signage.

Any Minor General Plan Amendment and Rezoning considerations of the remainder of the property will be sought under separate submittal by others. This remaining property is proposed to be developed for residential use and vehicular and pedestrian connectivity between the two parcels is planned.

## **2. ADJACENT LAND USE – CONTEXT:**

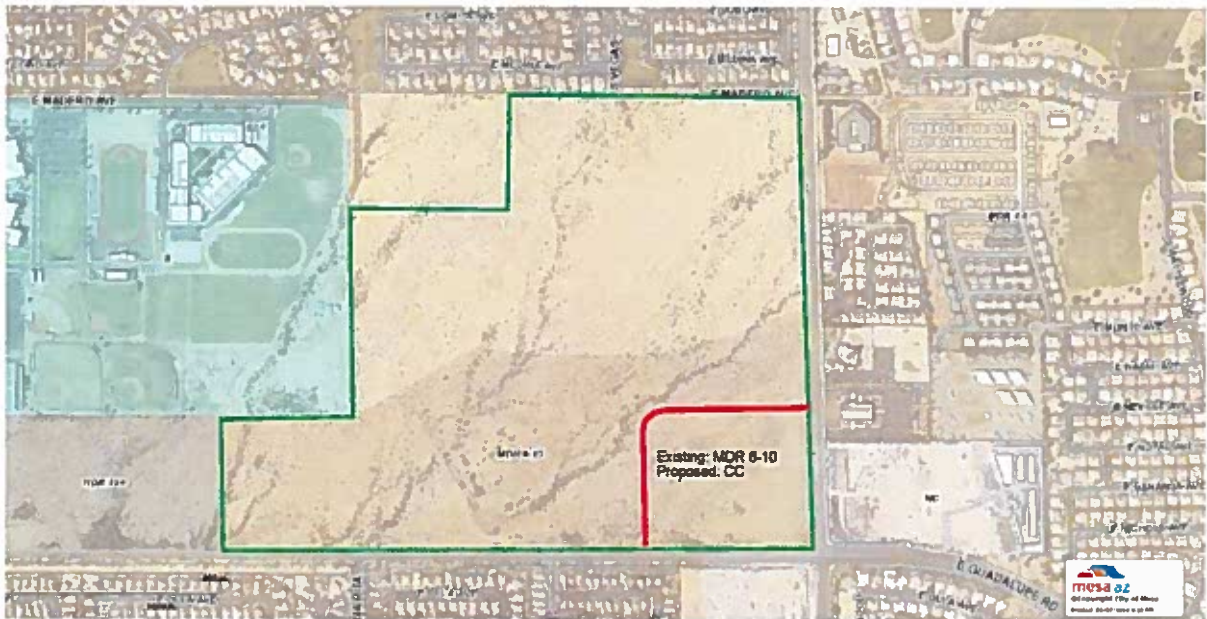
The parcel is bound by Signal Butte Road to the east and Guadalupe Road to the south and is currently undeveloped. Onsite and adjacent land use designations, zoning, and existing uses are as follows:

	GP Land Use Des.	Zoning	Land Use
Onsite	MDR 6-10	RM-2 PAD	Undeveloped
North	MDR 6-10	RM-2 PAD	Undeveloped (remainder of property)
South	NC & MDR 4-6	AG	Guadalupe Road, then Undeveloped (Walgreen's property)
South	MDR 4-6	RS-6 PAD	Guadalupe Road, then Single residence homes (Santa Rita Ranch)
East	MDR 4-6 / NC	AG / LC	Signal Butte Road, then a church and undeveloped commercial property
West	MDR 6-10	RM-2 PAD	Undeveloped (remainder of property)



### 3. CITY OF MESA 2025 GENERAL PLAN

The City of Mesa 2025 General Plan provides a vision for generalized desired future land use for the City of Mesa. According to the Land Use Plan, Figure 2-6 of the General Plan, the parcel is envisioned to be a Medium Density Residential use, currently designates as MDR6-10. The following graphic illustrates the onsite and surrounding General Plan Land Use designations:



The onsite land use designation is defined by the General Plan as follows:

**Medium Density Residential 6-10, MDR 6-10 (6.0-10.0 du/ac)**

Identifies locations where urban density detached or attached single-family residential including townhouse, and patio home is desirable. The target density for these areas is 6.5 du/ac for detached products and 8.0 du/ac for attached products. Appropriate locations offer collector or arterial road access, connections to potable water and sanitary sewer, and proximity to public safety services. The provision of park and open space (15 percent of net area excluding street system) is encouraged to provide opportunities for recreation and non-vehicular pedestrian connections like pathways, trails, etc. Other uses permitted in this category may include Office and limited Neighborhood Commercial of less than 10 acres, where deemed appropriate by the City.

The proposed commercial development of this property will require a Minor General Plan amendment to Community Commercial. There are three primary reasons underlying this request:





- 1) The MDR 6-10 land use designation does not permit commercial development since it is intended for residence land uses.
- 2) The total acreage of the parcel exceeds 10 acres. As noted above, Neighborhood Commercial uses may be permitted. However, Neighborhood Commercial is typically suited for smaller parcels of 5-10 acres and smaller building sizes than the proposed Fry's store. 10+ acres is more suitable for Community Commercial and supports larger format uses that serve a larger area.
- 3) The proposed Fry's Food and Drug Store exceeds 100,000SF in size and is not permitted within the existing MDR 6-10 designation. A Neighborhood Commercial designation which prohibits Big Box stores over 100,000SF would not be appropriate. The Community Commercial designation specifically identifies grocery stores and single large tenant anchors as suitable uses within this land use category.

For reference, the proposed Community Commercial land use designation is defined by the General Plan as follows:

**Community Commercial, CC**

Identifies retail and service-oriented businesses that serve the larger surrounding residential trade area within a one to two mile radius. Typical users include, but are not limited to, grocery store and additional large anchored tenant shopping centers with additional drug stores, fast food chains, smaller hardware/building materials stores, convenience/gas stations, and larger restaurants/cafes. Other compatible uses include larger administrative/professional offices including medical services, finance, insurance and real estate. No more than one Big Box retail user is permitted in a single location of Community Commercial designated areas. Community Commercial areas are located on, and with direct access to an arterial.

**4. JUSTIFICATION FOR THE REQUEST**

Within the General Plan there are several goals, objectives and policies established to provide this basic vision. While evaluating this proposed Minor General Plan Amendment, the following goals and related objectives and policies are applicable to this request:

***Goal LU-1: Develop a land use pattern throughout the City that creates orderly municipal growth, achieves compatibility with surrounding communities and is consistent with the General Plan.***

***Objective LU-1.1: Create the most advantageous economic and environmental balance of build-out land uses based on community and regional characteristics.***

***Policy LU-1.1a: Continue to evaluate the appropriate mix of land uses to achieve the desired mix of residential, employment, and public uses.***





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***Objective LU-1.2:*** Encourage urban growth in a planned, orderly manner with high quality development and sustainable urban development patterns.

***Policy LU-1.2b*** Update the planning-related ordinances and programs to implement the General Plan and to encourage creative and innovative design in constructing subdivisions that promote both sustainability and a sense of community.

***Goal LU-4:*** Provide for adequate supply of commercial acreage and space that provides increasing levels of annual sales tax to the City.

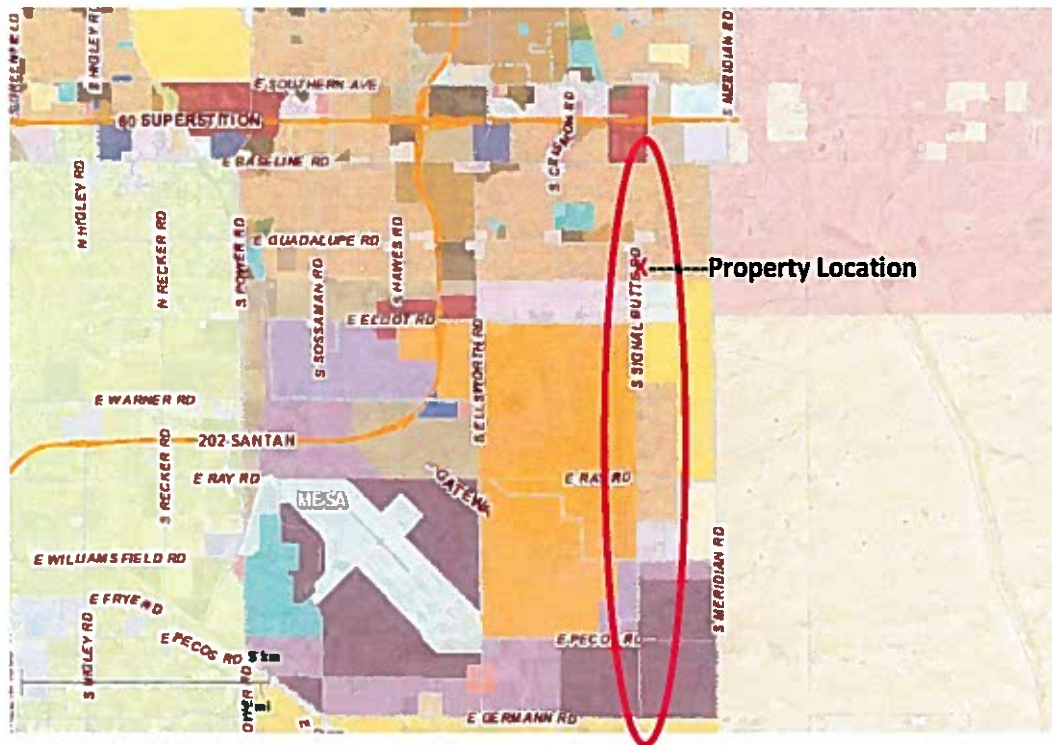
***Objective LU-4.2:*** Encourage the development of commercial type uses that support a fiscally sound community.

***Policy LU-4.2b*** Attract land uses that generate revenue to the City, while maintaining a balance of other community needs such as housing, open space, and public facilities.

### **RESPONSE:**

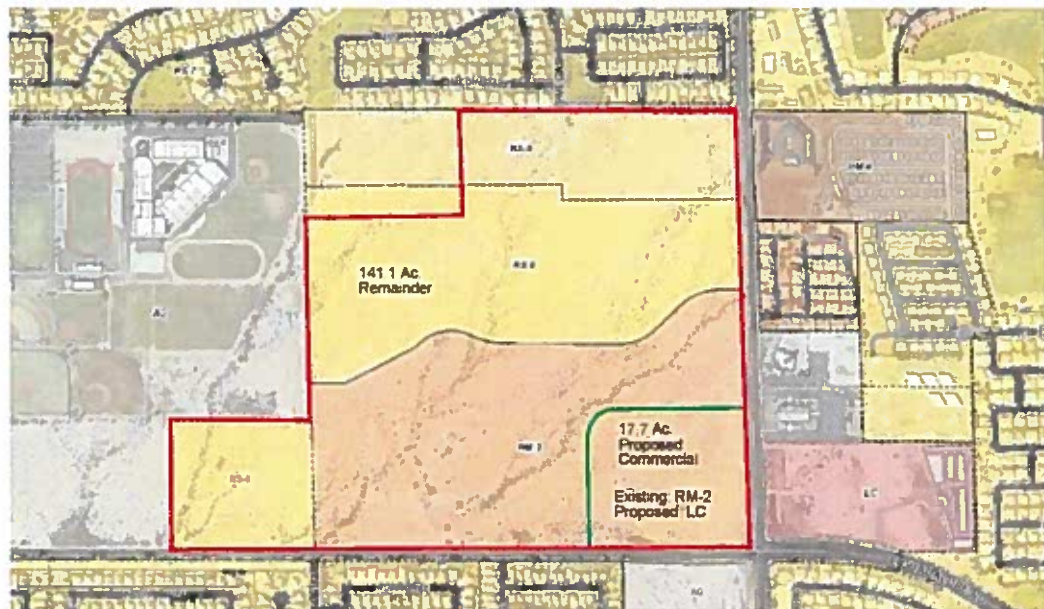
Signal Butte Road is a major transportation corridor that provides access to several large subdivisions surrounding this property and to its south. This parcel is located within the large formerly State Trust land located north of Guadalupe Road and the remainder of the property is anticipated to develop with hundreds of new single family homes. Existing subdivisions surround this site to the north, west, south, and east. Located further south along Signal Butte Road is Bella Via, Eastmark, and a recently approved project referred to as Signal Butte 105. Cumulatively, these projects have well over 2000 homes and there are currently no other commercial corners south of Baseline Road providing services to these communities. Staff and the Planning and Zoning Board have both discussed this problem in recent meetings and public hearings, noting the lack of commercial services in the area. Existing and future residents of these projects currently have to drive 3 to 4 miles north on Signal Butte Road to reach basic services at Baseline Road. The proposed grocery store will provide necessary and more convenient, commercial services to thousands of Mesa residents. The following aerial with General Plan designations illustrates the lack of commercial on Signal Butte Road:





##### **5. REZONING REQUEST: LIMITED COMMERCIAL (LC) ZONING DISTRICT**

We are requesting to rezone the proposed commercial portion of the property from RM-2 to LC. The following graphic illustrates the parcel and surrounding zoning districts





Per Table 2.2 in the Land Use section of the General Plan: Correlation Between Land Use and Zoning of the General Plan, the LC zoning district is identified as a compatible zoning district within the proposed Community Commercial land use designation. The purpose of the LC zoning district specifically cites grocery stores as an intended use, and its purpose is more clearly explained as follows in this excerpt from the Mesa Zoning Ordinance, Chapter 6 (Commercial and Mixed Use Districts):

*"to provide areas for indoor retail, entertainment and service-oriented businesses that serve the surrounding residential trade area within a one-to-ten-mile radius. Typical uses include, but are not limited to, grocery store and additional large-format store anchored tenant shopping center with additional drug stores, fast-food restaurants, hardware and building supply stores, gas stations with convenience stores, and restaurants and cafes".*

The proposed 123,000SF grocery store is considered a large-format building. Therefore, the LC zoning district is appropriate for this project.

#### **6. SPECIAL USE PERMIT – FUEL CENTER**

Also proposed is a Fry's fueling center with a 176 SF kiosk that is subject to approval of a Special Use Permit. To ensure compatibility with the surrounding neighborhood, Section 11-70-5E stipulates approval shall be based on the following required findings:

- 1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies.*
- 2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and to any other applicable City plan or policies.*
- 3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City.*
- 4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.*

#### **RESPONSE:**

The Zoning change being sought allows a fuel center by Special Use Permit. This project is a typical fuel center with a small kiosk and associated canopy, tanks, and dispensers. The use and operation is consistent with, and similar to, existing similarly developed sites in the surrounding area.





This project will provide no unusual or detrimental impacts on public health, safety, or welfare. Noise will be minimal, which is consistent with the use. No smoke, dust, vibration or odor issues are anticipated for this use. Odors associated with fueling operations are eliminated through the use of Stage I and II Vapor Recovery techniques. Lighting will be directed away from surrounding areas and meet code requirements.

Typical safety guidelines and techniques associated with fuel center operations will be implemented to minimize risk of hazards to persons.

This project is located in a well-developed area of the City. All public services, facilities, and infrastructure are available to serve this project.

#### **7. SITE PLAN APPROVAL - PROJECT CONSISTENCY WITH CITY REQUIREMENTS**

The City of Mesa has established design principles to ensure the goal of enhancing the built and natural environments while mitigating project impacts of adjacent development.

Site layout has been designed in accordance with the Development Standards for commercial and mixed use districts, Chapter 6, and General Site Development Standards, Chapter 30, of the Mesa Zoning Ordinance. Pedestrian connectivity for the surrounding residential developments are improved with proposed public access walks along both Signal Butte Road and Guadalupe Road, as-well-as internal connectivity from the public walks through the parking field to the buildings. These pedestrian connections will be enhanced with shade/landscaping and alternate paving treatments in some locations to provide a comfortable, and safe connection point for people arriving at the site on either foot or bicycle. Future transit service by Valley Metro is anticipated on both arterials and we anticipate considering those future transit stops and pedestrian needs while developing the site plan.

Three access drives are proposed on each of the two streets with deceleration lanes anticipated to be provided off the public roadways for each entrance, except where property distance constraints prohibit their use. The deceleration lanes will help to mitigate interruptions to traffic flow along each arterial for the anticipated traffic trips expected with this project. The public roads will also undergo pavement widening improvements as a result of this development's required off-site improvements. The widening of Signal Butte Road will include a raised center median. However, the design of the median will be modified from the City of Mesa standard detail M-46.03.02 to allow the incorporation of a dedicated left turn stacking lane for safe access to the project. The design of the parking field provides for safe maneuvering and efficient circulation of vehicles and conforms to emergency access requirements.



The design of the buildings takes queues from the building design standards, ensuring compatibility not only with the standards but also with the surrounding neighborhood. Roof-top mechanical equipment is screened from public view. Additional architectural review of this project will be provided through a future Design Review Board application.

The proposed building and landscape setbacks will provide a visual buffer for potential residents to the west and north, subsequently screening from view the rear of the building and loading areas. Along the south and east boundaries, a combination of softscape and hardscape materials will be used to create an overall pedestrian-level experience. The plant palette will incorporate indigenous and low water use plant material. Trees and shrubs will be carefully selected and designed to complement the architecture, blend with the surrounding environment and relate to the adjacent uses.

#### **8. GENERAL HEALTH, WELFARE, and SAFETY**

This project will provide no unusual or detrimental impacts on public health, safety, or welfare. Noise will be minimal, which is consistent with the use. No smoke, dust, vibration or odor issues are anticipated for this use. Lighting will provide for necessary onsite security while also being directed away from surrounding areas and meeting code requirements.

No unusual traffic volumes or characteristics are anticipated and the adjacent arterials are sufficient to handle all traffic demands commonly associated with grocery store and fueling facility.

#### **9. CONCLUSION**

The proposed Minor General Plan Amendment, Rezoning, Special Use Permit and Site Plan Approval requests are consistent with the vision of the Mesa 2025 General Plan of providing goods, services, and sales tax revenues to the residents of the City of Mesa. The proposed grocery store and retail development will provide much needed commercial services to the residents of several communities along Signal Butte Road that are currently underserved with the lack of commercial development along this corridor. The property's site plan has been designed to conform with all development standards of the Mesa Zoning Ordinance while providing adequate buffering to adjacent residents.





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# **BROWN GROUP, INC.**

## **CRESCENT RIDGE**

### **COMMERCIAL DEVELOPMENT**

#### **Minor General Plan Amendment, Rezoning, Special Use Permit and Site Plan Approval**

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## **Final Citizen Participation Report**

**Northwest Corner | Signal Butte and Guadalupe Roads**

**SUBMITTED TO:**  
**CITY OF MESA PLANNING DIVISION**  
**DEVELOPMENT AND SUSTAINABILITY DEPARTMENT**  
Mesa, Arizona

**APPLICANT:**  
**SUSTAINABILITY ENGINEERING GROUP**

Prepared: June 4, 2014

Case No.: PS14-016 (PLN2014-00105)

*8280 E. Gelding Dr., Suite 101  
Scottsdale, AZ 85260*



## **PURPOSE**

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The purpose of this Citizen Participation Report is to document the results of the implementation of the Citizen Participation Plan for the proposed Crescent Ridge Commercial Development located at the NWC of Signal Butte Road and Guadalupe Road. This report provides evidence that citizens, property owners, neighborhood associates, agencies, and interested parties in the vicinity of the site have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, and other materials are attached:

## **CONTACT**

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All questions and/or comments related to this proposal should be directed to:

Ali Fakih  
Sustainability Engineering Group  
8280 E. Gelding Dr.  
Suite 101  
Scottsdale, AZ 85260  
(480) 588-7226  
[ali@azseg.com](mailto:ali@azseg.com)

## **PRE-APPLICATION MEETING**

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The pre-application meeting with City of Mesa planning staff was held on March 17<sup>th</sup>, 2014. Staff reviewed the application, provided initial comments, and recommended that adjacent residents, HOA's and nearby registered neighborhoods be contacted.

## **ACTION PLAN**

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### **• INITIAL NOTIFICATION**

In order to provide effective citizen participation in regards to this application, the following actions have been taken to provide adequate opportunity to adjacent landowners or any other potentially affected individuals, agencies, or organizations to learn of and address any and all real or perceived impacts these requests may have on individuals, properties, or the community:

- A. A contact list has been created for all entities in the area potentially affected by this development which includes:
  - 1) All registered neighborhood associations within 1 mile of the project
  - 2) All Homeowners Associations within 1 mile of the project
  - 3) Neighboring landowners within 1000 feet of the project.
- B. A notification letter has been created that provides a description of the project, including a site plan with vicinity map. The neighborhood notification letter is the

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first opportunity for interested parties to learn of the proposed Minor GPA/rezoning/site plan. Contact information is included within the letter for interested parties that need additional information or have questions.

- C. A neighborhood meeting took place in the library of Desert Ridge High School, 10211 E. Madero Ave in Mesa on May 29<sup>th</sup> at 5:30 pm. The applicant presented an overview of the proposals and exhibits prepared to clarify the project intent. Minutes were taken and sign-in sheets were completed by attending citizens.
- Presenting team members included Ali Fakih and Steve Counsell from Sustainability Engineering Group, Todd Kjar with Brown Development Group, and Chris Miller with Fry's.
  - A copy of the sign-in sheets are provided in Appendix B. Seventeen (17) citizens attended. Thirteen (13) indicated their positive support for the project and two (2) indicated they did not support the project. They indicated the reason for non-support was their perception that the project would create a negative impact on the traffic. Two citizens did not indicate their support preference.
  - A copy of the meeting minutes is also included in Appendix B. This minutes provide the citizen concerns and/or comments and the associated responses provided by the project team.
  - No written comments were received by the citizens and communication with City planning staff revealed no comments have been provided to the City to date.

## • PUBLIC HEARING NOTIFICATION

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Notices for the public hearing have been provided by our office to staff for mailing by the City of Mesa Staff. Refer to Appendix C for a copy of this notification. The notices include the following:

- 1) All registered neighborhood associations within ½ mile of the project.
- 2) All Homeowners Associates within ½ mile of the project.
- 3) Neighboring landowners within 500 feet of the project.

## TENTATIVE SCHEDULE

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Pre-Application Meeting – 3/17/2014  
Citizen Participation Plan (updated) – 5/13/2014  
Neighborhood Notification – 5/14/2014  
Formal Filing – 04/07/2014  
Neighborhood Meeting – 05/29/2014  
Post Property – 06/04/2014  
Public Hearing Notification – 05/30/2014  
Citizen Participation Report – 06/04/2014  
Planning and Zoning Board Meeting – 06/18/2014

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City Council Hearing – Introduction of Ordinance – 08/04/2014

City Council Hearing – Adoption of Ordinance – 08/04/2014

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Scottsdale, AZ 85260

Sustainability Engineering Group

[info@azSEG.com](mailto:info@azSEG.com) 480.588.7226 [www.azSEG.com](http://www.azSEG.com)

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## APPENDIX "B"

### Neighborhood Meeting Information



## MEETING MINUTES

**Subject:** Crescent Ridge Commercial Development  
Fry's Marketplace 686 Neighborhood Meeting  
**Location:** Desert Ridge High School Library  
**Date:** May 29, 2014  
**Time:** 5:30 P.M.

Ali Fakhri, Principal of Sustainability Engineering Group (SEG) introduced himself and provided an introductory discussion of the overall project concept and intent. Major points of this project introduction included:

- This project was initially proposed on the SWC of this intersection (Signal Butte Rd. & Guadalupe Rd.). The current proposed location (NWC of the intersection) provides more flexibility and allows additional commercial and retail to be part of the development.
- The upcoming public hearing is for a request for a Minor General Plan Amendment, Rezoning, and Site Plan Approval to allow the commercial development. A Special Use Permit is required to allow the proposed Fuel Center.
- Fry's is a committed anchor for the overall parcel which is developer driven (Brown Development Group, Inc.).
- This commercial parcel is part of a 180 acre parcel with the remainder being proposed as a residential subdivision. These two projects are independent in terms of going through the entitlement process.
- A major focus of this development is pedestrian connectivity for the surrounding neighborhoods and for the proposed adjacent residential project.
- This project will include major roadway improvements on both Guadalupe and Signal Butte. The roadways will be widened for six (6) lanes of travel
- Asked for the citizen's support.

Ali opened the discussion to questions from the residents. Todd Kjar from Brown Development Group and Chris Miller from Fry's were introduced and provided discussion for the following citizen concerns:

- Citizen concern: A woman stated she had recently been rear-ended trying to make a left into her subdivision. She asked if a traffic signal would be installed.

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- **Response:** Ali Fakh questioned the exact location and it was determined the area in question is further north than this project. It was explained that our responsibility for road improvements only include the parcel frontage. It was not known what improvements would occur for the area in question.
- **Citizen asked:** What is the anticipated time line?
  - **Response:** Chris Miller indicated the hope is for possible construction to start late 2014 or early 2015. The store should be open in 2016. However, it is still early in the entitlement phase so no definitive dates can be provided.
- **Citizen concern:** Residents asked about the impact to traffic, were concerned about the potential increase and also the impact on pedestrians crossing the street.
  - **Response:** Todd Kjar explained the road widening and that this improves the flow of traffic. The impact of increased traffic of this project will be insignificant compared to other new developments such as Apple, Grand Canyon College, etc. Pedestrian connectivity will be improved with the new sidewalks, modified intersection traffic signal / crosswalks.
  - **Discussion continued with concern of traffic, including impact to the west and if a traffic study is required.** A supportive citizen described the road widening with respect to our frontage and the improvement it would make on current conditions. Ali responded that a traffic study for this development is not required and described aspects of the road improvements versus the potential impact of this site in comparison with other, larger impact, developments being proposed in the area and the future.
  - **Response:** Citizen proposed that if Fry's is there or not, traffic will be increased due to the realization of the growing area. A second resident restated the same idea that Fry's traffic is not a major concern given anticipated growth.
- **Citizen asked:** Once construction has begun, how long until completion?
  - **Response:** Construction can take 9 to 15 months to complete.
- **Citizen asked:** Recognizing the pad areas, are there any commitments for restaurants, etc.?
  - **Response:** Todd Kjar indicated there has been very good interest shown for the site. He described the process of choosing who comes in to the pad and that no decisions have been finalized to date.
- **Citizen asked:** How does the development compete with Walmart?
  - **Response:** Chris Miller spoke to the freshness of the product Fry's is committed to. The grocery store is proposed as a Marketplace. This will have upgraded amenities compared to a conventional grocery store or a Walmart. Service is also a key.



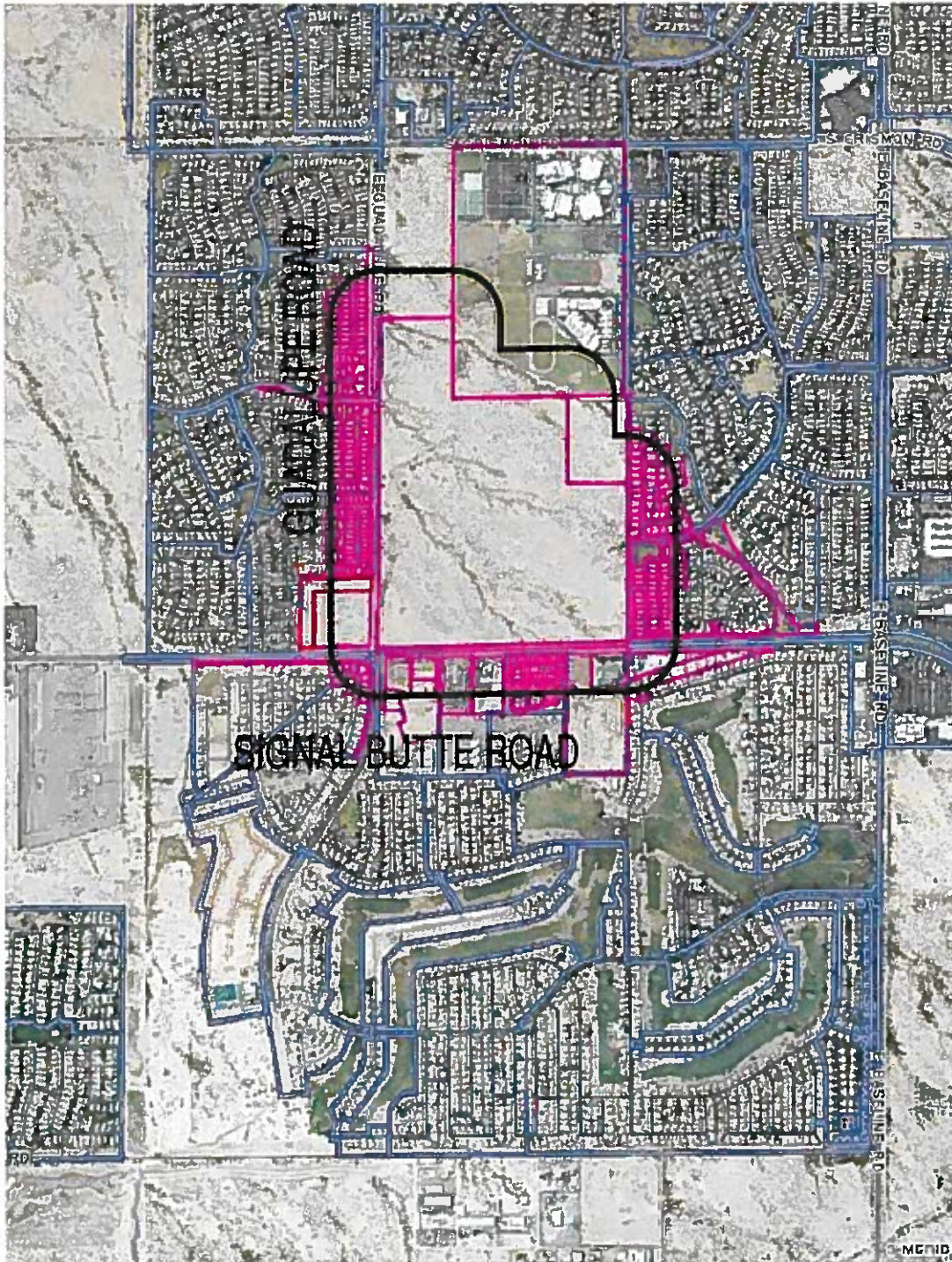
- Citizen asked: How is the project financed?
  - Response: Chris Miller responded that Fry's is part of a larger corporate umbrella and the grocery store part of the project is self-financed. As a condition of being an anchor within a development Fry's requires the Developer be bonded to ensure their financial responsibility. Fry's is responsible for approximately 70% of the development costs.
- Citizen asked: What is the relationship/roles of the parties?
  - Response: Chris Miller reiterated that he is with Fry's as the real estate coordinator. Todd Kjar is the developer. SEG team is the civil / site engineers for the project.
- Citizen asked: Has (Todd) been involved with similar project?
  - Response: Todd indicated that he is currently developing a similar project, with a Fry's, at the old Sundome in Sun City. He also discussed his involvement with project across most of the states, except in the northeast.
- Citizen asked: What is the relationship/roles of the parties?
  - Response: Chris Miller reiterated that he is with Fry's as the real estate coordinator. Todd Kjar is the developer. SEG team is the civil / site engineers for the project.
  - Response: Citizen proposed that if Fry's is there or not, traffic will be increased due to the realization of the growing area. A second resident restated the same idea that Fry's traffic is not a major concern given anticipated growth.

Chris Miller closed with a statement of commitment to listen to the citizens and encouraged them to contact him, or the council person with any concerns or to express support. Ali also provided contact information on encourage the residents to voice their support. Todd Kjar reminded the residents of the upcoming Blanford neighborhood meeting for the proposed residential project.

Meeting concluded.



# 500 FT NOTIFICATION CONTEXT AERIAL MAP



**SUSTAINABILITY  
ENGINEERING  
GROUP**

**SEG**

17787 N PERIMETER DR #107 SCOTTSDALE, ARIZONA 85255  
WWW.AZSEG.COM TEL. 480.584.7228

**BROWN DEVELOPMENT GROUP, INC.**

7508 E Camelback Rd  
Scottsdale, AZ 85251  
Office: 480.483.2772  
Fax: 480.483.7171



**PROJECT**  
**CRESCENT RIDGE  
MARKETPLACE**

**LOCATION**  
**E. GUADALUPE RD & S.  
SIGNAL BUTTE RD  
MESA, ARIZONA**

**DRAWN** \_\_\_\_\_ **MILES**  
**CHECKED** \_\_\_\_\_ **MILES**  
**PROJ. MGR.** \_\_\_\_\_ **COUNSELL**  
**FAKIH**

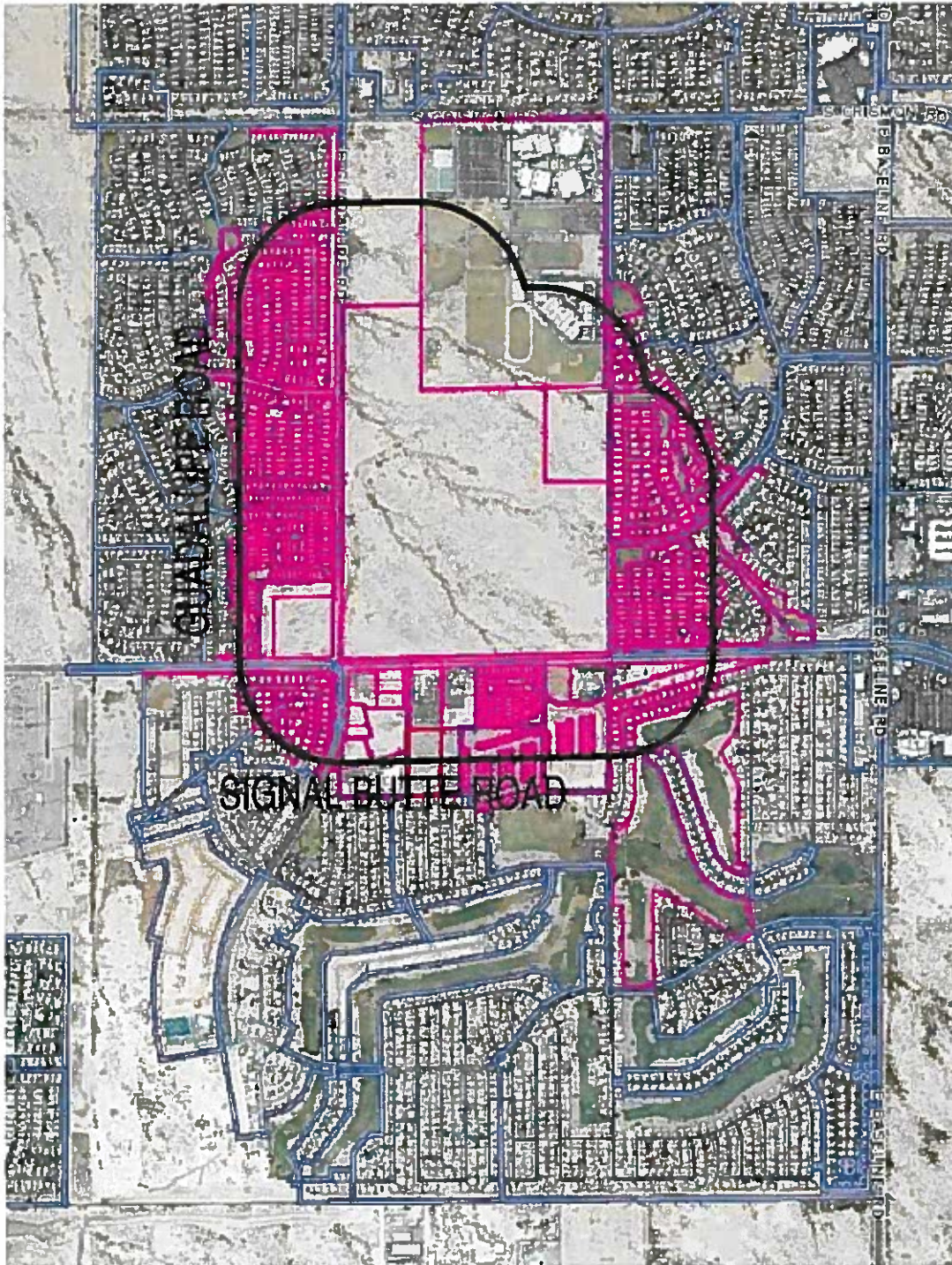
**DATE:** 04/04/2014  
**ISSUED FOR:** CPP

**JOB NO.:** 140186

**SHEET TITLE:**  
**500 FT  
NOTIFICATION**



# 1000 FT NOTIFICATION CONTEXT AERIAL MAP



**SUSTAINABILITY  
ENGINEERING  
GROUP**

**SEG**

17787 N PERIMETER DR #A107 SCOTTSDALE, ARIZONA 85255  
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**BROWN DEVELOPMENT GROUP, INC.**

7508 E Camelback Rd  
Scottsdale, AZ 85251  
Office: 480.483.2772  
Fax: 480.483.7171



**PROJECT**  
**CRESCENT RIDGE  
MARKETPLACE**

**LOCATION**  
**S. SIGNAL BUTTE RD & E.  
GUADALUPE RD  
MESA, AZ**

**DRAWN** \_\_\_\_\_ **MILES**  
**DESIGNED** \_\_\_\_\_ **MILES**  
**CHECKED** \_\_\_\_\_ **COUNSELL**  
**PROJ. MGR.** \_\_\_\_\_ **FAKOH**

**DATE:** 04/04/2014  
**ISSUED FOR:** CPP

**JOB NO.:** 140186

**SHEET TITLE:**  
**1000 FT  
NOTIFICATION**