

MEMORANDUM

To: Planning and Zoning Board
Through: John Wesley, Planning Director
From: Lisa Davis, Planner II
Date: July 16, 2014
Subject: Z14-038 - Rezone from RM-2 PAD to LC PAD, Special Use Permit and site plan for Crescent Ridge Commercial Center (20± acres). This request will allow the development of a commercial center to include one big box retail user with attached shops, a gas canopy and with two drive through restaurants and one bank pad.

Background

The almost 200 acre property located on the north side of Guadalupe Road and west of Signal Butte Road was approved for residential development in 2006, Desert Vista Development Z06-045. The approved project did not develop and the property has changed owners. The current owner has proposed a significantly different development and included the opportunity for a 20± acre commercial development at the corner of Signal Butte and Guadalupe. The goal from staff with allowing this change has been to set a higher standard for integration of commercial and residential development. In order to implement the new vision for this property, the property owner has filed two separate minor general plan amendments and rezoning requests. One for the commercial site, GPMInor14-012 and Z14-038, and the other for the 172 acre residential project, GPMInor14-010 and Z14-037.

At the June 18 Planning and Zoning (P&Z) Board meeting the Board reviewed and recommended approval of applications for GPMInor14-012 and for Z14-038 which included a rezoning, site plan, and Special Use Permit. (The staff report and minutes from this meeting are attached.) These applications are now on track for consideration by the City Council at their August 25, 2014 hearing.

Following the P&Z Board action, it was recognized that in order to address the larger design objectives for this area to have the commercial and residential developments more integrated, there should be a deviation from the standard wall requirements between commercial and residential development. Based on this, the applicant has proposed to modify their application to include a PAD to allow for deviations from the standard code.

Discussion

The application that was recommended for approval at the June 18, 2014 P&Z Board meeting has now been amended to include a PAD overlay to allow deviation from standard code. The primary purpose of the PAD is to modify the standard 6' screening wall requirement between commercial and residential properties. In order to accommodate all the site design requirements and maintain the minimum amount of parking required by the primary tenant (Fry's Grocery Store), the applicant is requesting two additional deviations. One is to reduce the landscape setback on the north property line from 20' to 8' and the other is to increase the distance between landscape islands in a portion of the parking field from the required one every 8 spaces to one every 9 or 10 spaces. Finally, in evaluating the final site plan staff has determined that the amount of parking on the property exceeds the maximum number allowed by the zoning ordinance. Therefore, a fourth PAD modification will need to be considered for the ability to exceed the maximum number of parking spaces allowed.

Required Screen Wall

Section 11-30-9 of the Zoning Ordinance requires a minimum 6-foot wall along a common property line between commercial and residential developments. The goal and purpose of this requirement is to screen the noise, lights, and activity from the residential neighborhood. This is particularly important around the loading areas.

A goal from the beginning of this project has been to better integrate the commercial and residential developments to create a better sense of neighborhood. To accomplish this, the commercial and residential developers have been working together and have provided a street connection directly between the two sites at the north property line as well as a pedestrian connection to the front of the Fry's store. To allow for better integration of the two uses the applicant is requesting to reduce the height of the wall along the north side of the property. Consistent with code requirements, the commercial development is proposing a combination of 6 and 8 foot walls inside the west and north property lines of the site to block visibility of the loading dock area at the west side of the building. Along the remainder of the northern portion of the property, the applicant is requesting a deviation from the standard 6' wall requirement to a 42" high screen wall. The residential development is proposing 30' wide landscape area adjacent to the north property line. A consistent landscape palette will tie the two properties together and can be reviewed through the Design Review application. Staff supports this deviation from code.

Reduction in landscape setback on the north property line

A landscape setback of 20' is required along the north property line. The applicant is requesting a reduction to 8' of landscape setback. This will allow for additional parking spaces. Staff has concern with reducing the amount of landscape setback for additional parking. The amount of parking provided actually exceeds the maximum amount of parking allowed per section 11-32-3.C. The maximum number of parking spaces is 125% of the minimum number of required parking spaces. In this case, the required is 476, the maximum number of parking spaces is 595 spaces and they are proposing 628 spaces. This same section of the code does also

address process to exceed the 125% that includes an Administrative Use Permit. However in order to obtain the Administrative Use Permit additional landscape is required for the site. Therefore, staff does not support this request because it is contradictory to the requirements, purpose and applicability of the Zoning Ordinance and as a new build, large green-field site they should be able to meet the code requirements.

Increase in space between landscape islands

A landscape island is required every eight consecutive parking spaces. The applicant is requesting to reduce the number of landscape islands in order to gain additional parking spaces for Fry's Marketplace. They are proposed at the north side of the site between the Fry's building and Pad C. The request is to allow a landscape island to be placed one every nine to ten spaces as opposed to the required one to eight. This would be a reduction of 3 parking islands to allow for additional parking.

As noted above staff cannot support a reduction in landscape for an increase in the number of parking spaces when the site exceeds the maximum amount of allowed parking spaces. Therefore, staff does not support this request because it is contradictory to the requirements, purpose and applicability of the Zoning Ordinance.

Exceeding the maximum allowed parking spaces

Section 11-21-3.A. of the Zoning Ordinance establishes the minimum number of parking spaces required for each type of land use. Based on those requirements and the land uses shown on the submitted site plan 476 parking spaces are required. As noted above, the maximum cap on the number of spaces allowed at 125% of the required number. Therefore, the maximum number of spaces allowed for this overall development is 595. A deviation from this code requirement can be approved through the PAD.

The minimum parking standards have been set to ensure all developments have sufficient parking spaces to handle projected customers without impacting adjacent uses. Maximum numbers of parking spaces have been set to reduce the likelihood of developments being over parked and establishing large areas of asphalt that are not needed and negatively affect the environment.

The current site plan, with the requested reductions in landscape area, provides 628 spaces, 33 over the maximum allowed. If the required landscape areas are provided the project would then have 609 parking spaces, still 14 over the maximum allowed by the zoning ordinance. The applicant has stated that the requirements for the Fry's Grocery store to locate on this site is to have the 628 parking spaces, this is why they have requested the modifications to the required landscape areas. In practice, we never see any of these parking lots totally full, even on the busiest days. Knowing the parking spaces are important to the major tenant, staff could support the deviation from code to allow 609 spaces to be provided on the property.

Conclusion

The revised site plan submitted to request the deviations from the zoning ordinance has also addressed some of the items that were conditions of approval for the site plan recommended for approval on June 18, 2014. With the revisions to the site plan, the previously depicted covered drive-thrus are not currently shown. They are intended to be incorporated as part of the high quality development. Covered drive-thrus are especially important at the west side of the buildings such as pad B. Therefore, staff has modified the list of stipulations accompanying this request and, if approved, the following stipulations would be forwarded to Council. Staff recommends approval of the request for LC PAD zoning of this property and the accompanying site plan and associated Special Use Permit with the following conditions of approval:

CONDITIONS OF APPROVAL:

1. Compliance with the basic development as described in the project narrative and as shown on the site plan, landscape plan, and building elevations except as otherwise conditioned.
2. Compliance with all requirements of Design Review approval.
3. Compliance with all City development codes and regulations.
4. All street improvements, street frontage landscaping, and perimeter theme walls to be installed with the first phase of development.
5. Design Guidelines for the Crescent Ridge Commercial Center architectural style, colors, materials and landscape materials and layout shall be reviewed and approved by the Planning Director prior to the approval of the Design Review approval for any portion of the site. Design guidelines shall include covered drive through canopies that extend to the adjacent landscape island to add to the distinctive high quality development.
6. The landscape setback at the north property line shall be the ordinance required 20'.
7. Landscape islands shall be installed at one per every eight parking spaces as required by code.
8. The maximum number of parking spaces allowed will be 609.
9. Submission of a revised site plan consistent with Council conditions of approval prior to Design Review approval.
10. Staff review and approval of the final design of the entire landscape area between the commercial development and the residential development to the north prior to issuance of a building permit for either project.



July 8, 2014

City of Mesa Planning Division
Development and Sustainability Department
55 North Center Street
Mesa, AZ 85201

RE: PAD Overlay Narrative
PLN2014-00193 – Crescent Ridge Marketplace
Rezoning, SUP, and Site Plan Review
Planning & Zoning meeting July 16, 2014

The above referenced project has been submitted to the City of Mesa and is scheduled to be on the July 16, 2014 Planning and Zoning Board hearing. This narrative provides clarification for the PAD overlay as follows:

Rezoning: Rezone the northwest corner of Guadalupe and Signal Butte Roads (17.6+/- acres) from RM-2 PAD to LC with a PAD overlay. The PAD overlay is proposed with the following requested amendments to the City of Mesa Zoning Ordinance:

1. Request to reduce the required screen wall height from six (6) feet to 42" high between the commercial and residential properties along the north property line as shown on the provided site plan.
2. Request for the landscape setback requirement to be reduced from 20' to 8' along the north property line as shown on the provided site plan.
3. Seeking relief from the requirement of a landscape island every eight parking spaces to allow additional parking as shown on the provided site plan.

The above deviations were discussed and coordinated between Brown Group, Inc. (commercial) and Blandford Homes (residential) developments.

Please feel free to contact me with any questions you may have concerning this request.

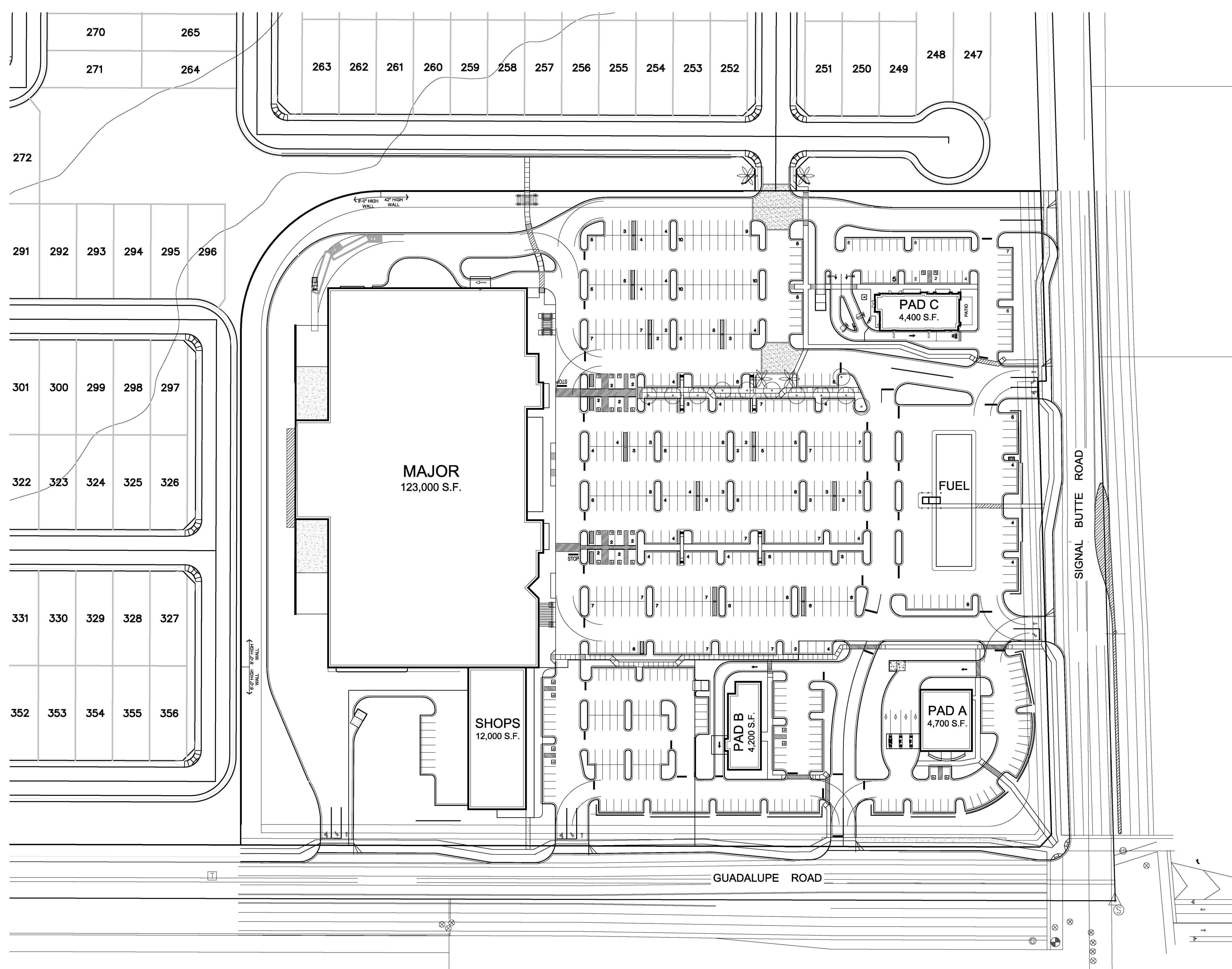
Sincerely,

A handwritten signature in blue ink, appearing to read "Ali Fakih", enclosed within a light blue oval border.

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Legal Description

THE SOUTHEAST QUARTER AND THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP ONE SOUTH, RANGE SEVEN EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN MARICOPA COUNTY, ARIZONA.

Site Data

Existing Zoning:	RM-2
Proposed Zoning:	LC-PAD
Net Site Area:	768,391 S.F. (17.64 AC.)
Total Building Area:	154,476 S.F.
Coverage: (N.I.C. Mezz.)	19.3%
Parking Provided:	628 Spaces
Parking Ratio:	4.1 / 1,000 S.F.

Proposed Heights

Major:	32'-0" (Plus Embellishments)
Shops:	22'-0" - 24'-0" (Plus Embellishments)

Parking Breakdown

Major (Incl. Gas Kisok-176 S.F. & Mezz. 6,000 S.F.) (129,176 S.F. / 375 S.F.):	345 Spaces
Shops (12,000 S.F. / 375 S.F.):	32 Spaces
Pad A (4,500 S.F. / 375 S.F.):	13 Spaces
Pad B (4,200 S.F. / 100 S.F.):	42 Spaces
Pad C (4,400 S.F. / 100 S.F.):	44 Spaces
Total Parking Required:	476 Spaces
Total Parking Provided: (Incl.'s 26 ADA Spaces)	628 Spaces

N.W.C. Signal Butte & Guadalupe

Proposed Neighborhood Shopping Center

Mesa, Arizona