



JAMES M. BABOS
ARCHITECT

2049 E. NORWOOD ST.
MESA, ARIZONA 85213
480-947-3443

November 5, 2013

A New Townhouse Complex
3FOUR5 Villas
345 South Shouse Street
Mesa, Arizona 85204
APN: 138-02-155-A

PROJECTIVE NARRATIVE

We are proposing to construct a total of fifteen (15), two and three bedroom, attached, two story town homes in two buildings. The site is approximately one acre on Shouse Street, north of Broadway Road and just west of Gilbert Road. The current RM-3 zoning was approved as part of case Z03-65. We are seeking a site plan modification from the plan approved in 2003 and the implementation of the BIZ Overlay district for this property.

There is an existing 18.60' ingress and egress easement running along the entire north property line. This easement serves three purposes: an access drive for the parking spaces for the apartment project directly north of on site, an access drive to the City of Mesa well site located at the northeast corner of our site, and for overhead utility lines serving the apartments north of our site.

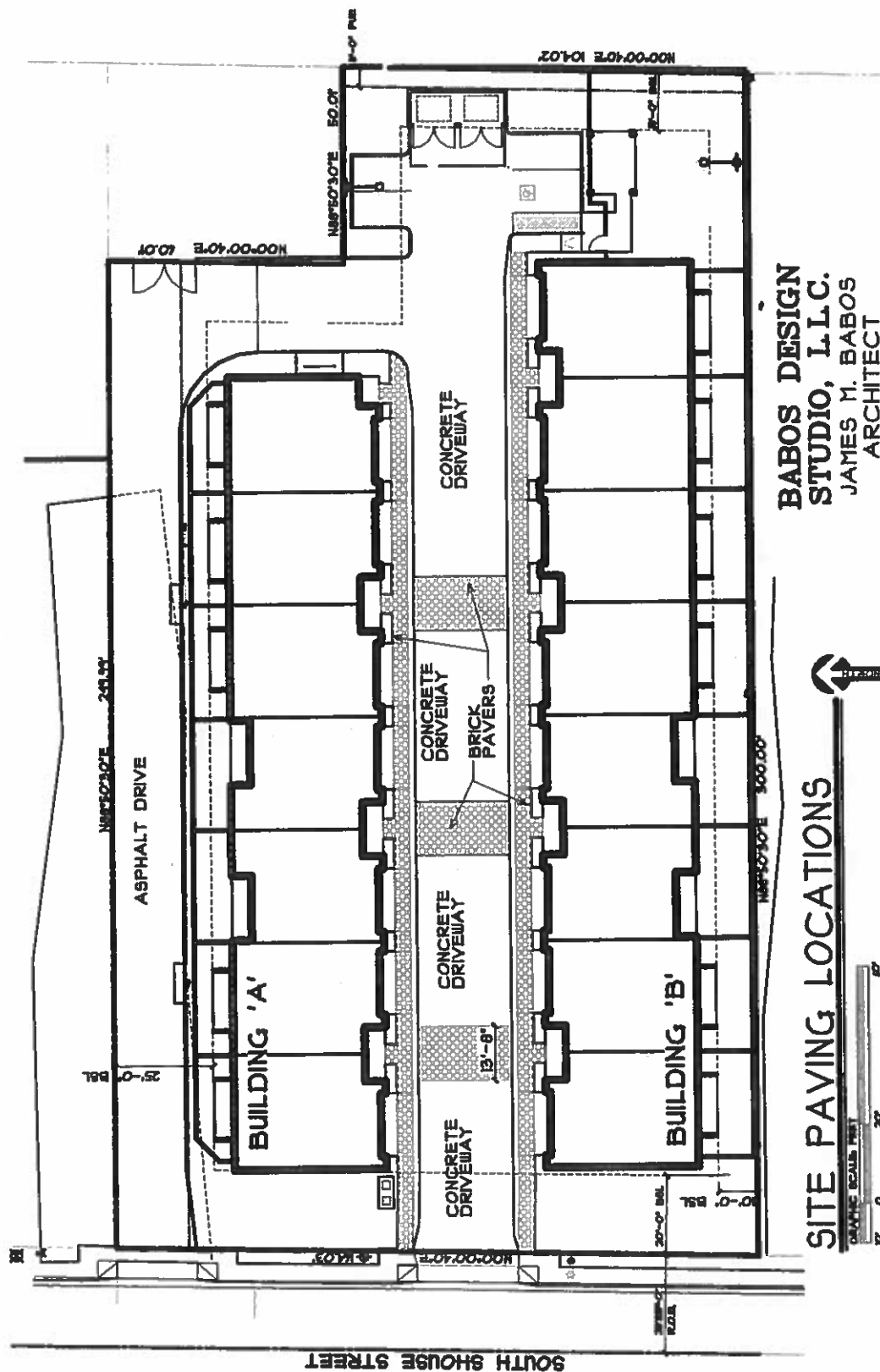
South and east of our property are commercial centers, west of our site is a church, and directly north is an apartment project. As one travels further north on Shouse the neighborhood becomes single family residential. It is our intent to provide a slightly more dense housing facility to act as a transition from the commercial buildings south and east of us to the residential north of us.

The two buildings will be platted as town homes, with two car garages, two and three bedroom units, and enclosed private rear yards, thereby encouraging a "home" feel. In addition, a common open space is designed for the southeast corner of the site, accessible only by the residents. This area will have a ramada with picnic facilities for family gathering too large for the private rear yards. The two story buildings will be constructed of pre-cast concrete insulated "sandwich" panels. The buildings exterior will be exposed concrete, with metal trim and colored accent panels. The design is intended to present a more "urban" feel to the buildings.

It appears that the site has never been developed, possibly due to its' proximity to the commercial facilities. We believe our proposal would be an excellent in-fill project by providing a transition from the commercial areas to the residential neighbors, providing town homes which will encourage family habitation, and by providing innovative buildings in design and construction.

3 FOUR 5 VILLAS

**345 SOUTH SHOUSE STREET
MESA, ARIZONA 85204**



**BABOS DESIGN
STUDIO, L.L.C.**
JAMES M. BABOS
ARCHITECT

2049 E. NORWOOD ST.
MESA, ARIZONA 85213
480-947-3443

SITE PAYING LOCATIONS

GRAPHIC SCALE: 1" = 10'

SOUTH SHOUSE STREET



AREA CALCULATIONS: MODEL B - TYPICAL		
MAIN FLOOR LIVABLE	505 SQ. FT.	
UPPER FLOOR LIVABLE	444 SQ. FT.	
TOTAL LIVABLE:	949 SQ. FT.	1449 SQ. FT.
COVERED ENTRY, PATIO,		141 SQ. FT.
CARAGE		141 SQ. FT.
BALCONY		144 SQ. FT.
TOTAL UNDER ROOF,		2213 SQ. FT.
AREA CALCULATIONS: MODEL A - TYPICAL		
MAIN FLOOR LIVABLE	580 SQ. FT.	
UPPER FLOOR LIVABLE	1034 SQ. FT.	
TOTAL LIVABLE:	1614 SQ. FT.	1254 SQ. FT.
COVERED ENTRY, PATIO,		48 SQ. FT.
CARAGE		48 SQ. FT.
BALCONY		50 SQ. FT.
TOTAL UNDER ROOF,		2270 SQ. FT.

REV	DATE	DESCRIPTION
1	11-08-15	ISSUED FOR PERMIT
2	11-08-15	ISSUED FOR PERMIT
3	11-08-15	ISSUED FOR PERMIT
4	11-08-15	ISSUED FOR PERMIT
5	11-08-15	ISSUED FOR PERMIT
6	11-08-15	ISSUED FOR PERMIT
7	11-08-15	ISSUED FOR PERMIT
8	11-08-15	ISSUED FOR PERMIT
9	11-08-15	ISSUED FOR PERMIT
10	11-08-15	ISSUED FOR PERMIT

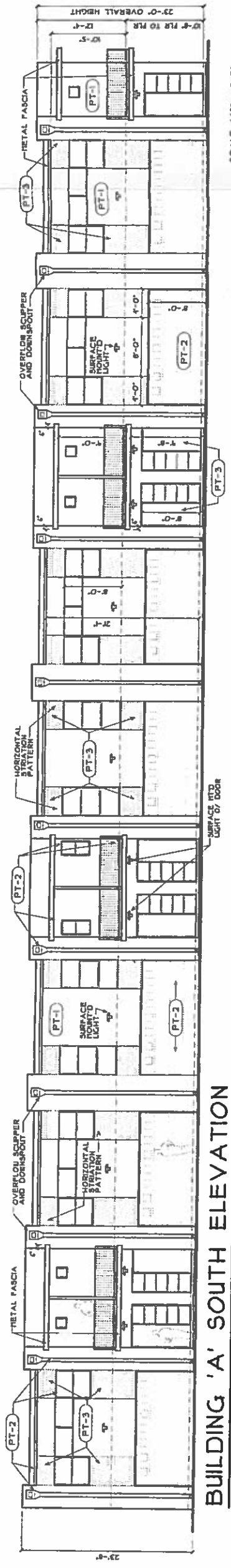
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ONE GREEN DEVELOPMENT
345 SOUTH SHOUSE STREET
MESA, ARIZONA 85204
3FOUR5 VILLAS

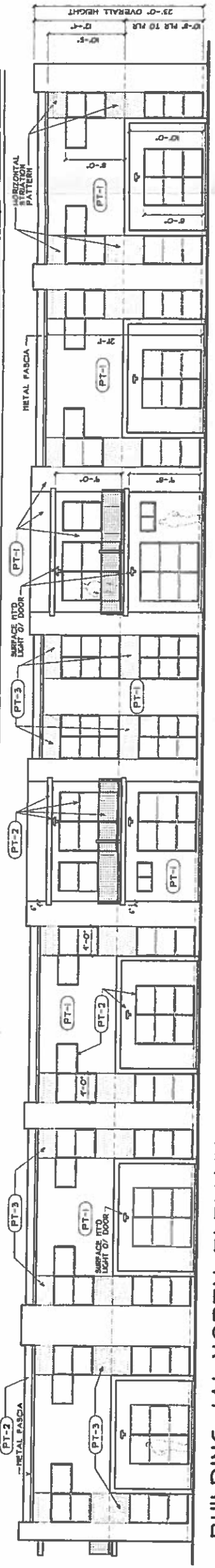


BABOS DESIGN STUDIO, L.L.C.
JAMES H. BABOS
ARCHITECT
2044 E. MONROE ST.
MESA, ARIZONA 85205
480-447-3443

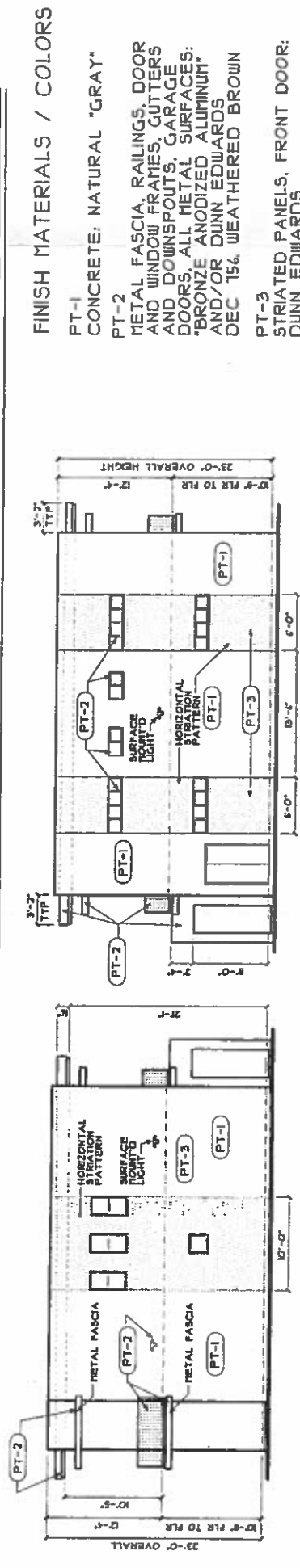
DATE	11-08-15
CHECKED	
SCALE	1/8" = 1'-0"
SHEET	3



BUILDING 'A' SOUTH ELEVATION



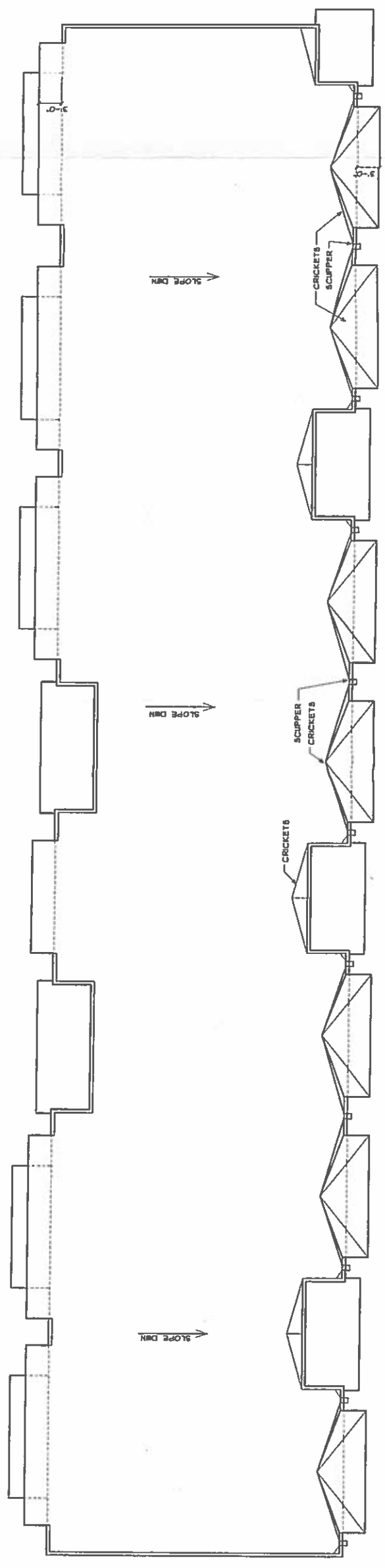
BUILDING 'A' NORTH ELEVATION



'A' EAST ELEVATION

'A' WEST ELEVATION

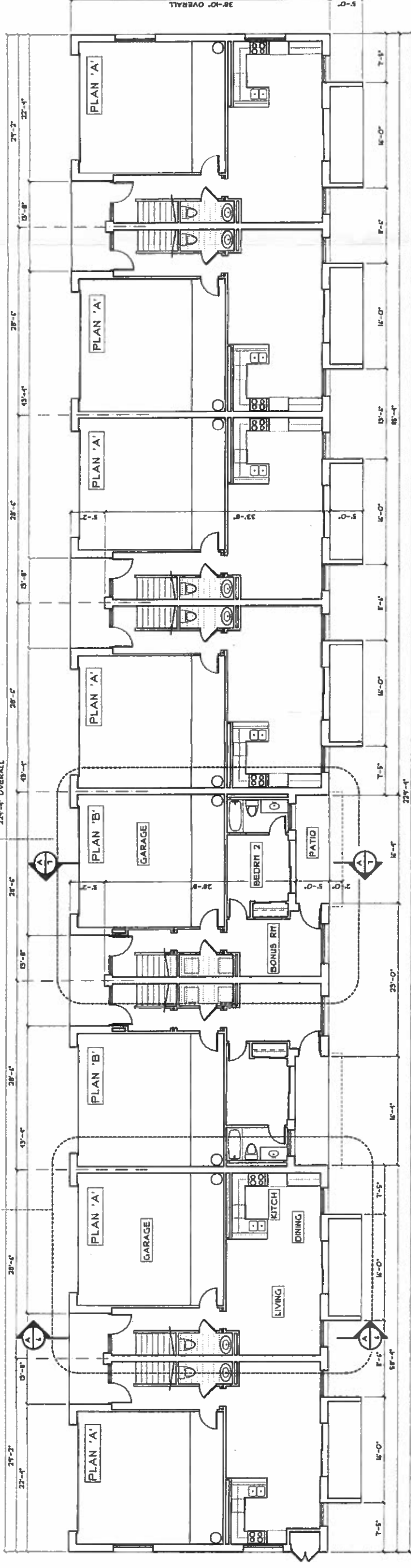
- FINISH MATERIALS / COLORS**
- PT-1 CONCRETE: NATURAL "GRAY"
 - PT-2 METAL FASCIA, RAILINGS, DOOR AND WINDOW FRAMES, GUTTERS AND DOWNSPOUTS, GARAGE DOORS, ALL METAL SURFACES: "BRONZE ANODIZED ALUMINUM"
 - PT-3 DEC 15% WEATHERED BROWN STRIATED PANELS, FRONT DOOR: DUNN EDWARDS DEA 150, SCARLET PAST
- HORIZ STRIATION: "SPEC FORMLINERS, INC." PATTERN #108, 1/2" SINE WAVE, 1/2" DEEP RECESS, 1" REPEAT PATTERN



BUILDING 'A' ROOF PLAN

SEE SHEET #24
FOR ENLARGED
MODEL 'A' PLAN

SEE SHEET #1
FOR ENLARGED
MODEL 'B' PLAN

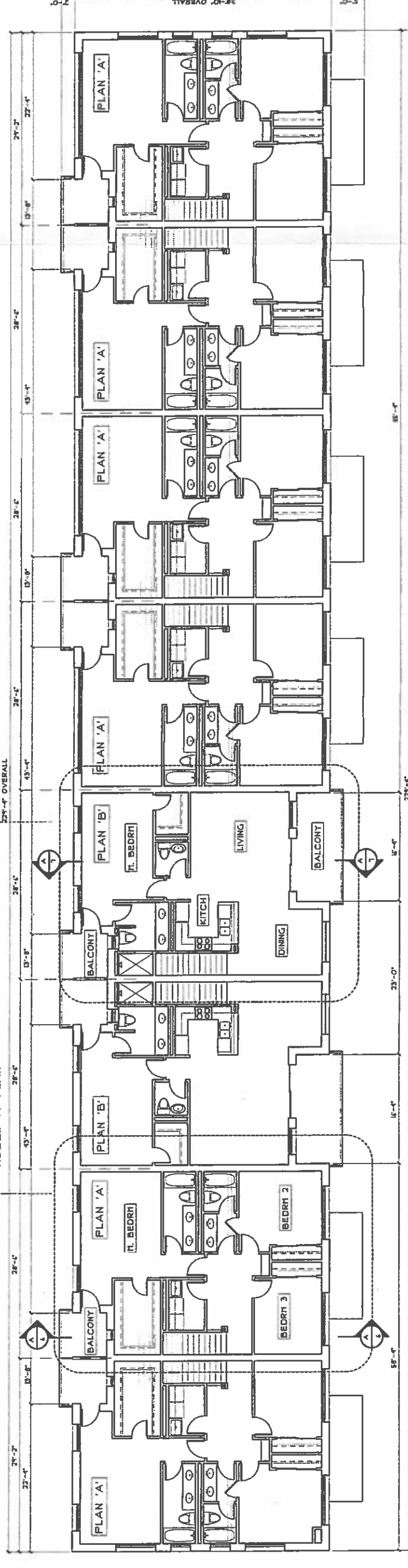


BUILDING 'B' LOWER FLOOR PLAN

SCALE: 1/8" = 1'-0"

SEE SHEET #1
FOR ENLARGED
MODEL 'B' PLAN

SEE SHEET #6
FOR ENLARGED
MODEL 'A' PLAN



BUILDING 'B' UPPER FLOOR PLAN

SCALE: 1/8" = 1'-0"

AREA CALCULATIONS:

MODEL 'B' - TYPICAL	
MAIN FLOOR LIVABLE	505 SQ. FT.
UPPER FLOOR LIVABLE	141 SQ. FT.
TOTAL LIVABLE	646 SQ. FT.
COVERED ENTRY, PATIO	117 SQ. FT.
GARAGE	481 SQ. FT.
BALCONY	14 SQ. FT.
TOTAL UNDER ROOF	2235 SQ. FT.

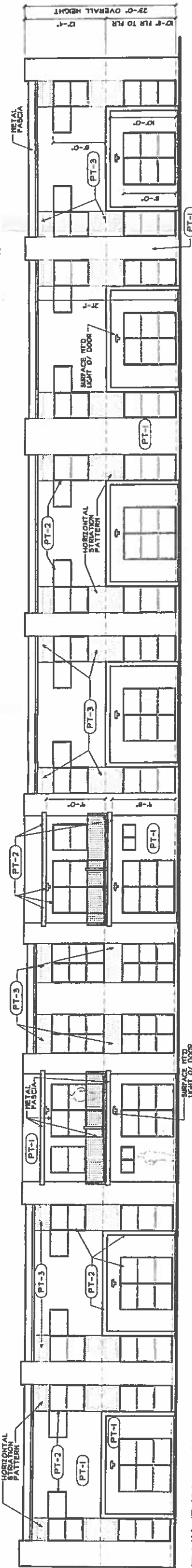
AREA CALCULATIONS:

MODEL 'A' - TYPICAL	
MAIN FLOOR LIVABLE	590 SQ. FT.
UPPER FLOOR LIVABLE	1034 SQ. FT.
TOTAL LIVABLE	1624 SQ. FT.
COVERED ENTRY, PATIO	115 SQ. FT.
GARAGE	48 SQ. FT.
BALCONY	50 SQ. FT.
TOTAL UNDER ROOF	2270 SQ. FT.

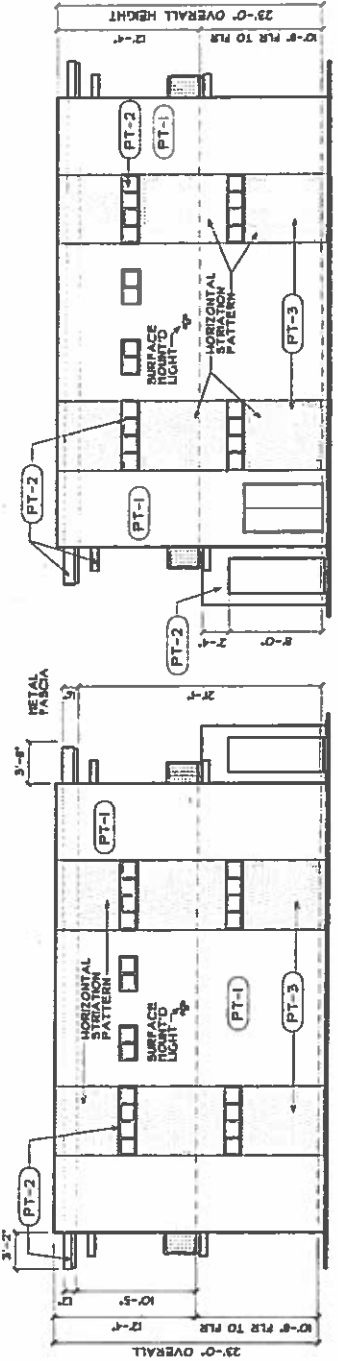
AREA CALCULATIONS:

BUILDING 'B'	
MAIN FLOOR LIVABLE	4584 SQ. FT.
UPPER FLOOR LIVABLE	822 SQ. FT.
TOTAL LIVABLE	5406 SQ. FT.
COVERED ENTRY, PATIO	1210 SQ. FT.
GARAGE	3878 SQ. FT.
BALCONY	444 SQ. FT.
TOTAL UNDER ROOF	10044 SQ. FT.
FOOTPRINT	1386 SQ. FT.

BUILDING 'B' SOUTH ELEVATION



'B' EAST ELEVATION

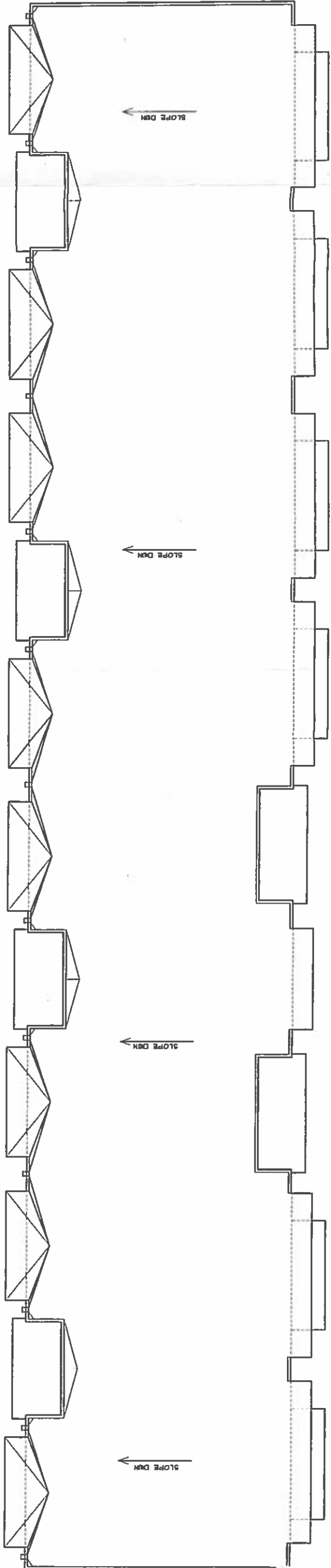


PT-1

PT-2
METAL FASCIA, RAILINGS, DOOR
AND WINDOW FRAMES, GUTTERS
AND DOWNSPOUTS, GARAGE
DOORS, ALL METAL SURFACES:
"BRONZE ANODIZED ALUMINUM"
AND/OR DUNN EDWARDS
DEC 154, WEATHERED BROWN

PT-3
STRIATED PANELS. FRONT DOOR;
DUNN EDWARDS
DEA 150, SCARLET PAST

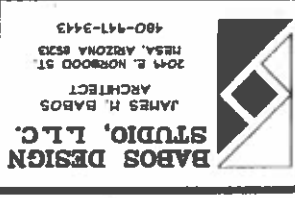
HORIZ STRATION:
"SPEC FORMLINERS, INC." PATTERN
#1108. 1/2" SINE WAVE; 1/2" DEEP
RECESS. 1" REPEAT PATTERN



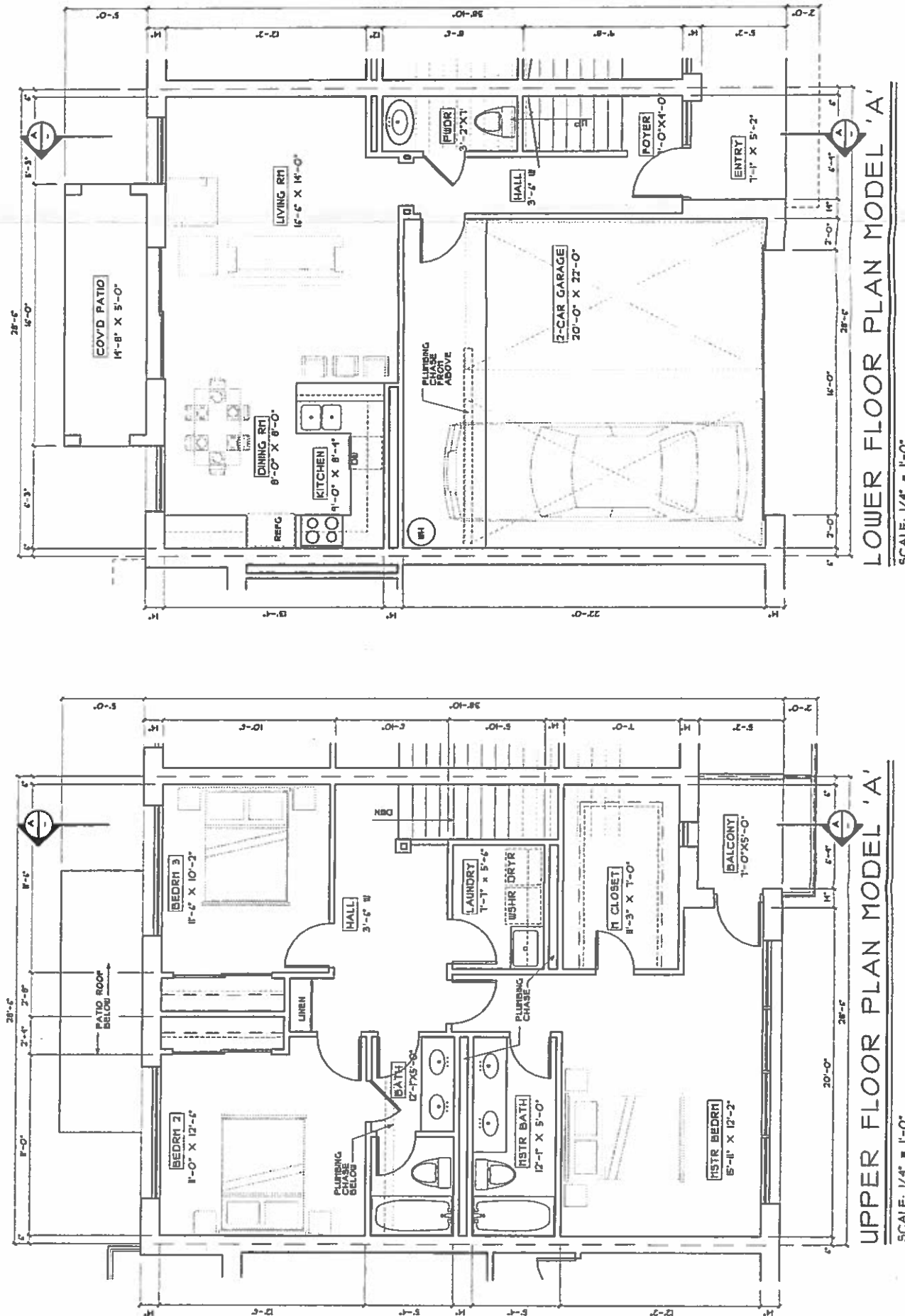
BUILDING 'B' ROOF PLAN

AREA CALCULATIONS: MODEL 'A' - TYPICAL	
MAIN FLOOR LIVABLE	590 SQ. FT.
UPPER FLOOR LIVABLE	1034 SQ. FT.
TOTAL LIVABLE	1624 SQ. FT.
COVERED ENTRY, PATIO	115 SQ. FT.
GARAGE	481 SQ. FT.
BALCONY	50 SQ. FT.
TOTAL UNDER ROOF: 2770 SQ. FT.	

ONE GREEN DEVELOPMENT
3 FOUR 5
345 SOUTH SHOUSE STREET
MESA, ARIZONA 85204

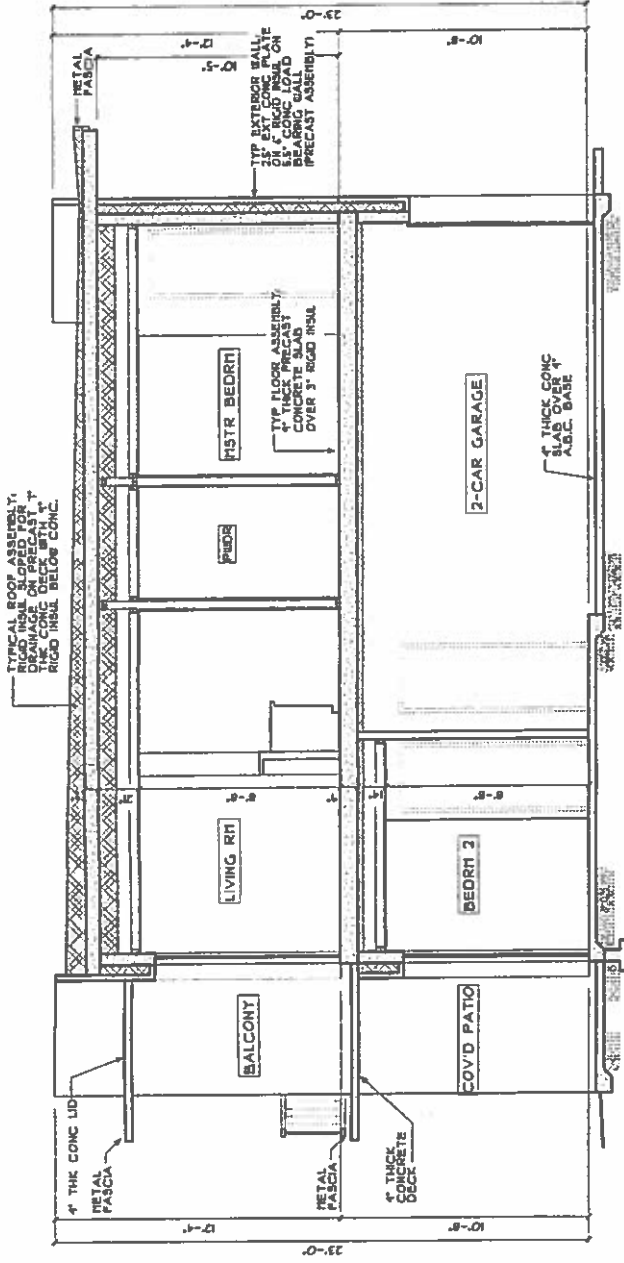


DRAMA	DATE	SCALE	JOB NO.	SHEET
FLOOR PLAN MODEL 'A'	11-06-13	1/4" = 1'-0"	13183HOUSE	
CHECKED				



UPPER FLOOR PLAN MODEL 'A'

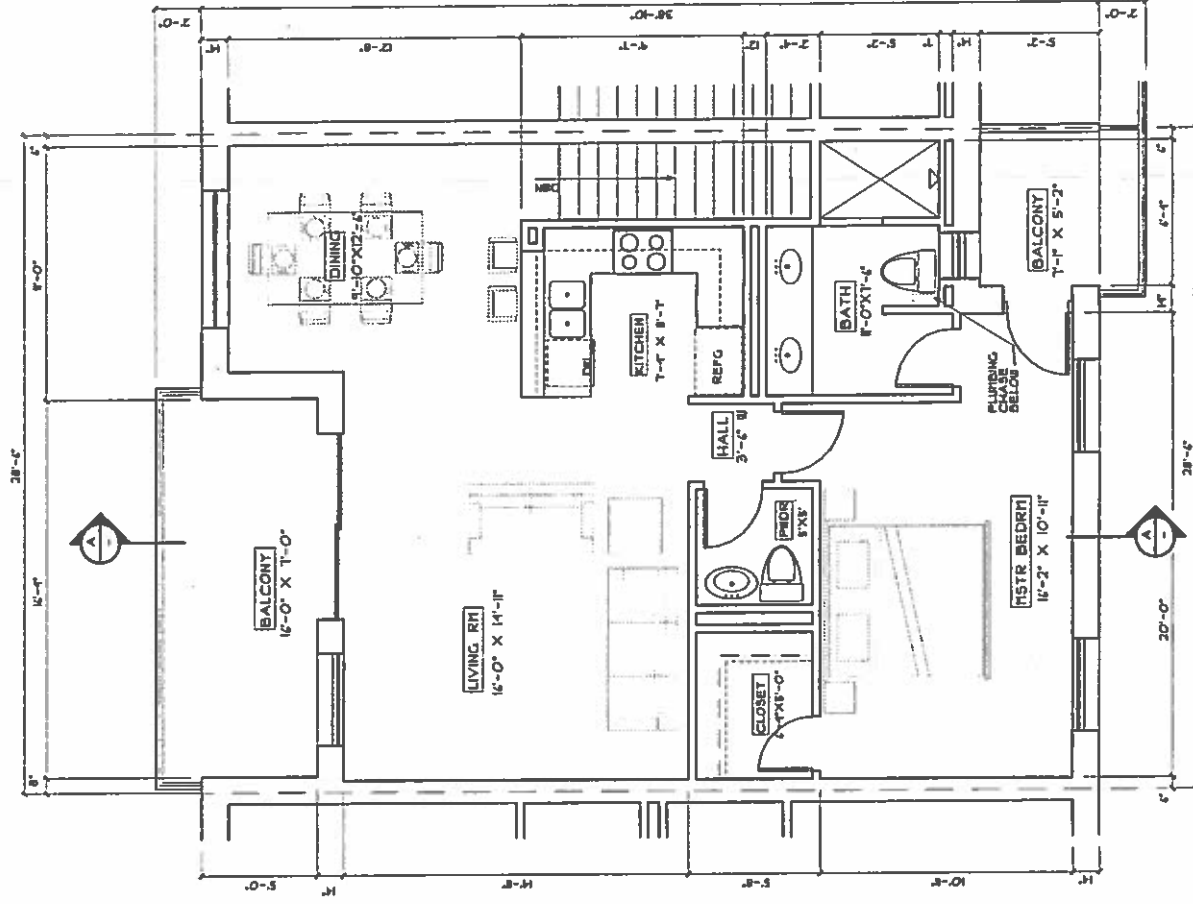
LOWER FLOOR PLAN MODEL 'A'



SECTION A - A MODEL 'B' SCALE: 1/4" = 1'-0"

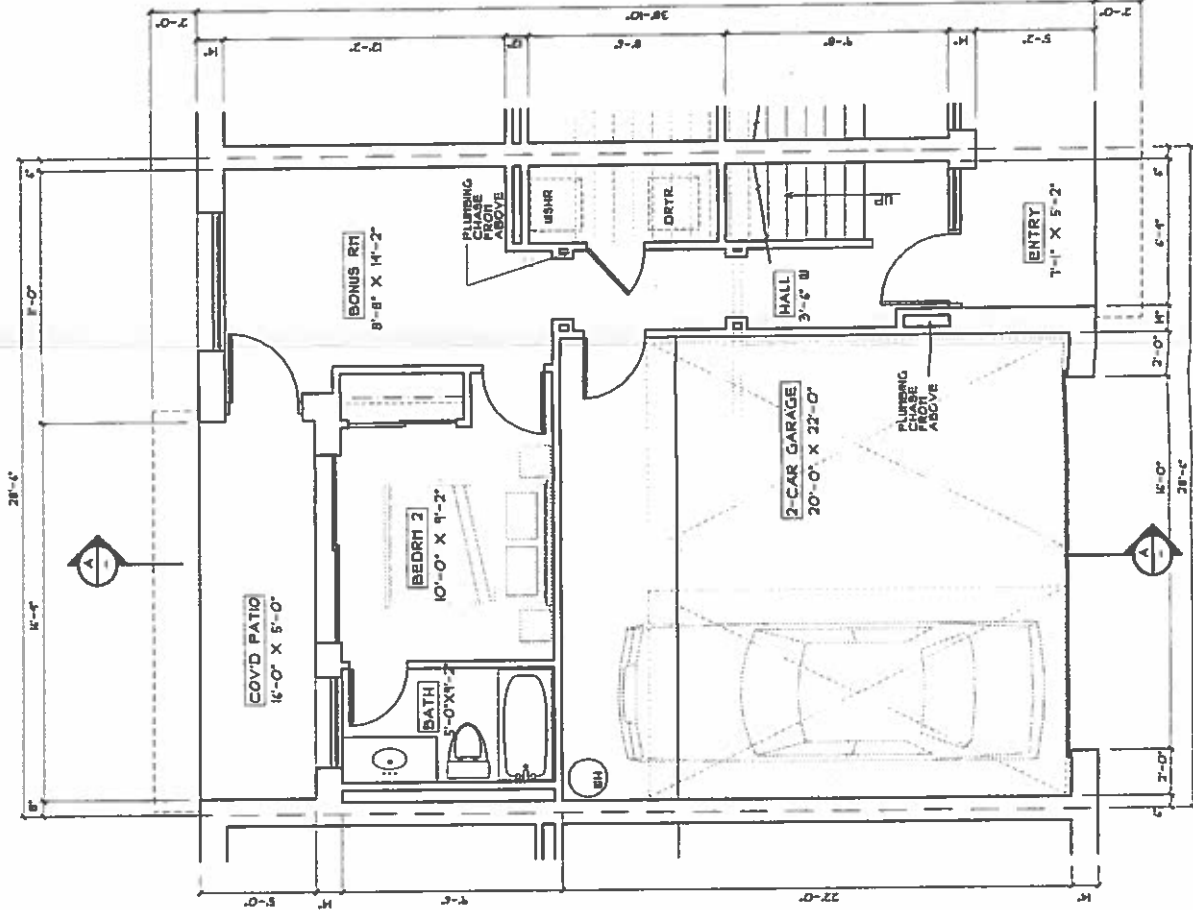
AREA CALCULATIONS:
MODEL 'B' - TYPICAL

MAIN FLOOR LIVABLE	505 SQ. FT.
UPPER LIVABLE	144 SQ. FT.
TOTAL LIVABLE	649 SQ. FT.
COVERED ENTRY, PATIO, BALCONY	48 SQ. FT.
TOTAL UNDER ROOF	223 SQ. FT.



UPPER FLOOR PLAN MODEL 'B'

SCALE: 1/4" = 1'-0"



LOWER FLOOR PLAN MODEL 'B'

SCALE: 1/4" = 1'-0"

DATE	11-08-13
SCALE	1/4" = 1'-0"
JOB NO.	1318-HOUSE
SHEET	1
DESIGN	
CHECKED	
DATE	
SCALE	
JOB NO.	
SHEET	

BABOS DESIGN STUDIO, L.P.C. ARCHITECT
2041 E. HORSBROOK ST.
MESA, ARIZONA 85204
480-947-3443

ONE GREEN DEVELOPMENT
345 SOUTH SHOUSE STREET
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GENERAL NOTES (REVISED 06-15-12)

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

2. THE INFORMATION SHOWN ON DRAWINGS CONCERNING THE TYPE AND LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER OR THE ENGINEER'S AGENT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.

- A. CALL 602-263-1100 OR 811 FOR BLUE STAKE SERVICES.
- B. CALL SALT RIVER POWER FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT 602-336-6888.
- C. CALL CITY OF MESA ELECTRICAL FOR POLE BRACING, ELECTRICAL SERVICE OR CONSTRUCTION SCHEDULING AT 480-644-2261 WITHIN CITY OF MESA ELECTRICAL SERVICE TERRITORY (DOWNTOWN MESA).
- D. WHEN EXCAVATING IN OR ADJACENT TO A CITY PARK OR AQUATIC FACILITY THE CONTRACTOR SHALL CONTACT AQUATICS AND PARKS MAINTENANCE AT 480-644-3097 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND UTILITY FACILITIES.
- E. WHEN EXCAVATING IN OR ADJACENT TO LANDSCAPING WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL CONTACT TRANSPORTATION FIELD OPERATIONS AT 480-644-3038 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND IRRIGATION FACILITIES.

3. THE CITY OF MESA HAS ADOPTED THE CITY OF PHOENIX 2007 TRAFFIC BARRICADE MANUAL. COPIES ARE AVAILABLE AT 101 EAST JEFFERSON STREET, PHOENIX, ARIZONA. TELEPHONE 602-262-8235 OR HTTP://PHOENIX.GOV/STREETS/TRAFFIC/INDEX.HTML. CITY OF MESA HAS ISSUED A SUPPLEMENT TO THE PHOENIX TRAFFIC BARRICADE MANUAL. COPIES ARE AVAILABLE AT DEVELOPMENT SERVICES, 45 N. CENTER ST., MESA, ARIZONA. TELEPHONE 480-644-2100 OR BOTH MANUALS ARE AVAILABLE ONLINE AT: HTTP://WWW.MESA2.GOV/TRANSPORTATION/BARRICADES.ASPX.

4. CONTRACTOR TO NOTIFY TRAFFIC OPERATIONS AT 480-644-3128 PRIOR TO SIGN REMOVAL AND WHEN READY TO PERMANENTLY RELOCATE SIGN.

5. CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL IRRIGATION DRY-UPS, RELOCATIONS, AND REMOVALS BY OTHERS.

6. CONTRACTOR SHALL POT-HOLE EXISTING UTILITIES AHEAD OF CONSTRUCTION TO ALLOW FOR ANY NECESSARY ADJUSTMENTS IN GRADE LINE AND TO VERIFY PIPE MATERIALS FOR ORDERING THE APPROPRIATE TRANSITION AND TIE-IN FITTINGS THAT MAY BE REQUIRED.

7. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL ABANDONED UTILITIES THAT INTERFERE WITH PROPOSED IMPROVEMENTS. THE CITY OF MESA UTILITIES DEPARTMENT LOCATING SECTION WILL ASSIST THE CONTRACTOR AS NEEDED, IN DETERMINING IF THE UTILITY (GAS, WATER, AND WASTEWATER ONLY) IS ABANDONED BY CALLING 480-644-4500.

8. PRIOR TO START OF CONSTRUCTION ON PRIVATE PROPERTY (EASEMENTS), THE CONTRACTOR SHALL GIVE THE OWNER SUFFICIENT TIME (MINIMUM 48 HOURS) TO REMOVE ANY ITEMS IN CONFLICT WITH CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE TO REMOVE AND REPLACE ALL OTHER CONFLICTS AS REQUIRED.

9. THE CONTRACTOR SHALL COORDINATE WORK SCHEDULES TO PREVENT ANY CONFLICTING WORK CONDITIONS WITH THE CITY OF MESA UTILITY AND TRANSPORTATION CREWS.

10. THE CONTRACTOR IS ADVISED THAT A DUST CONTROL PERMIT AND A DUST CONTROL PLAN MAY BE REQUIRED BY THE MARICOPA COUNTY AIR QUALITY DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT, IF NECESSARY, AND COMPLY WITH ITS REQUIREMENTS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE DUST CONTROL PERMIT AND DUST CONTROL PLAN TO THE CITY FOR REVIEW.

11. INSPECTIONS SHALL BE PROVIDED BY THE CITY OF MESA. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION.

12. THE JOB SITE SHALL BE CLEANED OF ANY DEBRIS OR SPOIL RESULTING FROM THIS PROJECT AT THE COMPLETION OF CONSTRUCTION.

13. ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR SPECIFICATIONS, BUT REQUIRED TO COMPLETE THIS PROJECT, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THIS CONTRACT WORK (NO ADDITIONAL COST TO THE CITY).

14. WHEREVER PAVEMENT REPLACEMENT PER MESA STD DETAIL M-19.4 OR MAG STD DETAIL STREET TRENCH BACKFILLING AND PAVEMENT REPLACEMENT POLICY STATEMENT, REVISED SEPTEMBER 29, 1999.

15. FOR PURPOSES OF PAVEMENT PER MAG STD DETAIL 200 OR MESA STD DETAIL M-19.4, INTERSECTIONS ARE DEFINED BY THE CURB RETURNS IN ALL DIRECTIONS.

16. ANY SURVEY MARKERS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY A REGISTERED LAND SURVEYOR AT NO ADDITIONAL COST TO THE CITY.

17. ALL EXISTING PAVEMENT MARKINGS, SIGNS, AND SIGNAL EQUIPMENT THAT ARE NOT PART OF THIS PROJECT BUT NEED TO BE REMOVED, REPLACED, OR REPAIRED BECAUSE OF CONTRACTOR'S WORK WILL BE DONE AT THE CONTRACTOR'S EXPENSE.

18. THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PUBLIC SERVICES OR SYSTEMS AS THE CITY INSPECTOR DEPENDS ON DAMAGES. ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES OR SYSTEMS AS A RESULT OF CONTRACTOR'S NEGLIGENCE SHALL BE BORNE BY THE CONTRACTOR.

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL BE REQUIRED TO OBTAIN SEPARATE PERMIT FOR RELOCATION OF EXISTING UTILITIES.

PROJECT DESCRIPTION

A NEW APARTMENT PROJECT IN MESA. THE SITE IS +- 1 ACRE. THERE WILL BE TWO BUILDINGS, ONE WITH 7 UNITS AND ONE WITH 8 UNITS FOR A TOTAL OF 15 UNITS. EACH UNIT WILL BE TWO STORIES IN HEIGHT AND A TWO CAR GARAGE ON THE LOWER LEVEL. THE BUILDINGS WILL BE CONSTRUCTED OF PREFABRICATED CONCRETE SANDWICH PANELS OF VARYING THICKNESS.

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 14-36-301 OF THE RULES OF THE ARIZONA STATE BOARD OF TECHNICAL REGISTRATION, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY MARICOPA COUNTY IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

FINISHED FLOOR ELEVATION IS ABOVE THE 100-YEAR PEAK RUNOFF EVENT IF CONSTRUCTED ACCORDING TO THE APPROVED PLANS AND RELEVANT ASSUMED DATUM.

JOHN D. ULIBARRI, PE

GRADING AND DRAINAGE PLANS FOR

3 FOUR 5 VILLAS



SITE MAP NTS

ABBREVIATIONS

AC	ACRE
B/C	BACK OF CURB
BOT	BOTTOM
B/P	BOTTOM OF PIPE
CF	CUBIC FEET
C.O.P.	CITY OF PHOENIX
(C)(M)	CALCULATED MEASURED
EL	ELEVATION
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
G	GROUND
HWE	HIGH WATER ELEVATION
INV	INVERT
LF	LINEAR FEET
M.E.C.D	MARICOPA COUNTY ENGINEERING DEPT.
M.C.R.	MARICOPA COUNTY RECORD
NTS	NOT TO SCALE
PROP.	PROPOSED
(R)	RECORD
RIM	TOP OF RIM
ROW	RIGHT-OF-WAY
S	SANITARY SEWER
SF	SQUARE FEET
SW	TO BE ABANDONED
T&A	TYPICAL
TIP	VOLUME PROVIDED
VP	WATERMAIN

PARCEL DATA

LOT ADDRESS: 345 SOUTH SHOUSE STREET
MESA, ARIZONA 85204
APN NO. 138-02-115-A
ZONING: RM - 3
LOT AREA: 47,045 S.F. (1.08 ACRE)

PARKING (C.O. MESA ZONING ORD CHAP 32)
REQUIRED: 2.1 SPACES PER DWELLING UNIT
PROVIDED: 15 CAR SPACES
15-2 CAR GARAGES = 30
2 COMPACT SPACES
1 VAN ACCESSIBLE A.D.A.
30 + 2 + 1 = 33 SPACES

OPEN SPACE (C.O. MESA ZONING ORD 11-5-5)
REQUIRED: 175 S.F. PER UNIT 15 x 175 = 2625 SF REQD
PROVIDED: 15,000 S.F. OPEN SPACE IN 1891 SF
PRIVATE AREAS AT 160 SF (2 BEDROOM UNITS) 4 x 224 = 896 SF
PRIVATE AREAS AT 136 SF (3 BEDROOM UNITS) 11 x 136 = 1496 SF
TOTAL: 1891 + 896 + 1496 = 4283 SF

SETBACKS

	REQD	ACTUAL
FRONT:	20'-0"	20'-0"
NORTH SIDE:	30'-0"	25'-2"
SOUTH SIDE:	30'-0"	10'-2"
BLDG A WEST:	30'-0"	18'-6"
BLDG B WEST:	30'-0"	36'-3"

LEGAL DESCRIPTION

THE SOUTH 104.00 FEET OF THE NORTH 464.00 FEET OF THE FOLLOWING DESCRIBED PARCEL.

THAT PART OF THE EAST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 23, BEVERLY ESTATES, ACCORDING TO BOOK 64 OF MAPS, PAGE 37, RECORDS OF MARICOPA COUNTY, ARIZONA, THENCE NORTH 88 DEGREES 50 MINUTES 30 SECONDS EAST ALONG THE NORTH LINE OF LOTS 23, 21 AND 20, A DISTANCE OF 300.00 FEET, THENCE SOUTH 00 DEGREES 00 MINUTES 40 SECONDS WEST PARALLEL TO THE EAST LINE OF SHOUSE STREET (SHOWN ON THE PLAT OF BEVERLY ESTATES AS STAPLEY STREET) AS SHOWN ON SAID PLAT TO THE NORTH LINE OF EAST 4TH AVENUE, AS SHOWN ON SAID PLAT, THENCE WEST ALONG SAID NORTH LINE, A DISTANCE OF 100.00 FEET TO THE CORNER OF LOT 3, OF SAID BEVERLY ESTATES, THENCE ON A CURVE CONCAVE TO THE NORTHEAST WITH A TANGENT 20.00 FEET TO A CORNER OF LOT 3, THENCE NORTH 46 DEGREES 00 MINUTES 20 SECONDS EAST ALONG THE EAST LINE OF SHOUSE STREET (SHOWN ON THE PLAT OF BEVERLY ESTATES AS STAPLEY STREET) A DISTANCE OF 497.35 FEET TO THE POINT OF BEGINNING, EXCEPT THE EAST 50.00 FEET TO THE SOUTH 60 FEET OF THE NORTH 380.00 FEET OF SAID NORTH 464.00 FEET.

BASIS OF BEARING

NORTH 88°50'00" EAST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MONUMENTED AT THE SOUTHEAST CORNER WITH A BRASS CAP IN A HANDHOLE AND AT THE INTERSECTION OF SHOUSE STREET AND BROADWAY ROAD WITH A BRASS CAP IN A HANDHOLE.

SURVEYING NOTE

BOUNDARY AND EXISTING SURVEY INFORMATION PROVIDED BY A CERTAIN ALTAACSM LAND TITLE SURVEY, PREPARED BY SURVEY ARIZONA DATED SEPTEMBER 2, 2013

OWNER/DEVELOPER:

ONE GREEN DEVELOPMENT, LLC
MR. MORTEN PEDERSEN, PRESIDENT
105 SOUTH DELAWARE DRIVE, STE 5
APACHE JUNCTION, ARIZONA 85120
MORTEN PEDERSEN@CONFACUSA.COM
(480) 299 - 1801

ARCHITECT

BABOS DESIGN STUDIO, LLC
JAMES M. BABOS, ARCHITECT
2049 EAST NORWOOD STREET
MESA, ARIZONA 85213
(480) 947 - 3443; JBABOS@AOL.COM

CIVIL ENGINEER:

JUD DEVELOPMENT SERVICES
JOHN D. ULIBARRI, ENGINEER
70 S. VAL VISTA DRIVE, SUITE A-3136
GILBERT, AZ 85296
(480) 744-5833

JULIBARRI@JUDDSERVICES.COM

CONTRACTOR:

TO BE DETERMINED

JUD DEVELOPMENT SERVICES, INC.
70 S. Val Vista Drive
Suite A-3136
Gilbert, Arizona 85296
www.juddservices.com
480-744-5833



NO.	DESCRIPTION / DATE

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3 FOUR 5 VILLAS
345 SOUTH SHOUSE STREET/STESA, ARIZONA 85204
GRADING AND DRAINAGE PLAN

CALL TWO WORKDAYS BEFORE YOU OR BEFORE THE CITY OF MESA 602-263-1100 1-800-STAKE

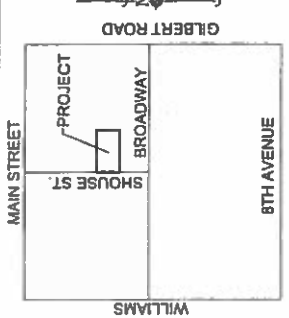
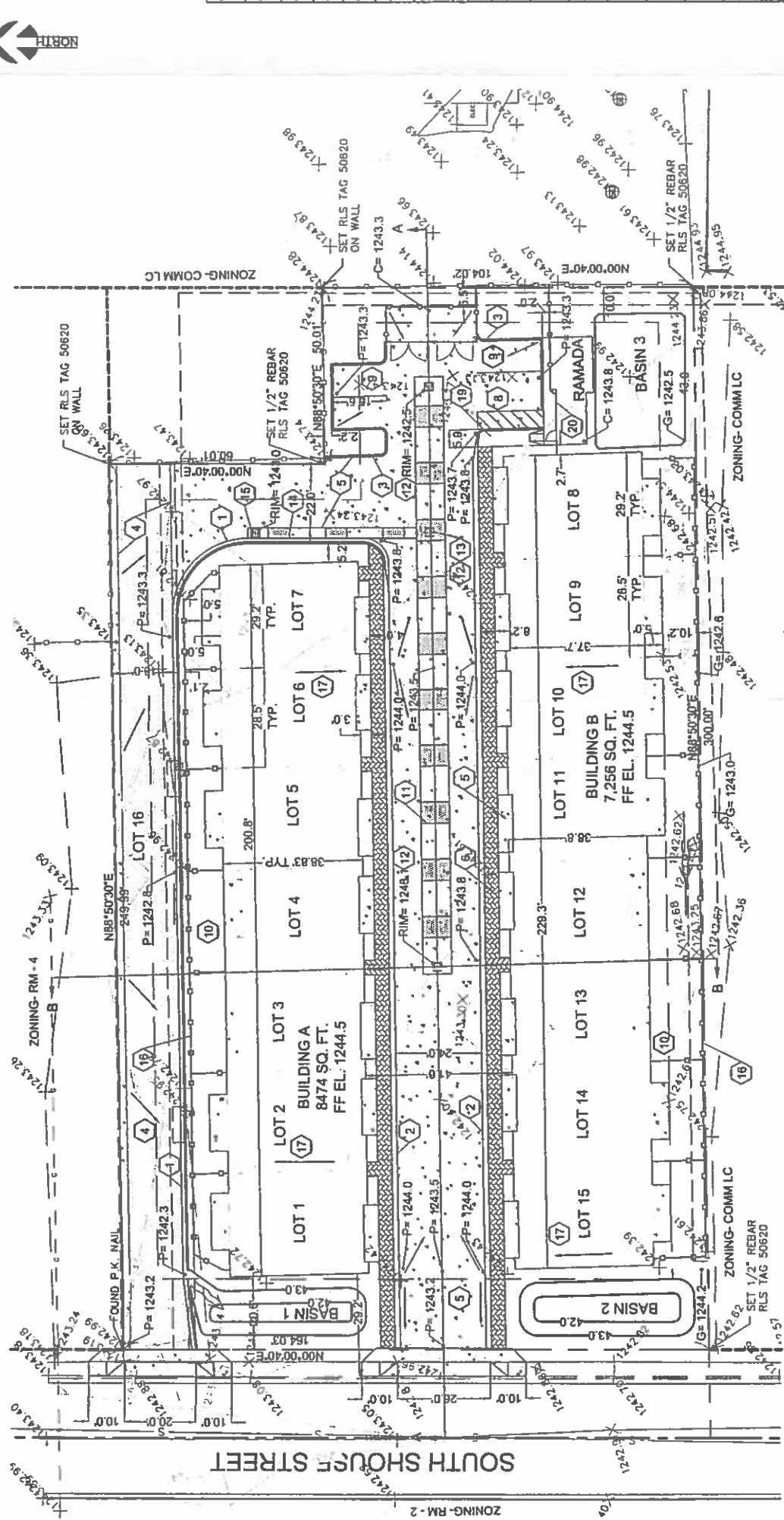
JOB NO. 13028 MESOG
DATE: NOVEMBER 5, 2012
DRAWN BY: DK
CHECKED BY: JDU

SHEET NUMBER

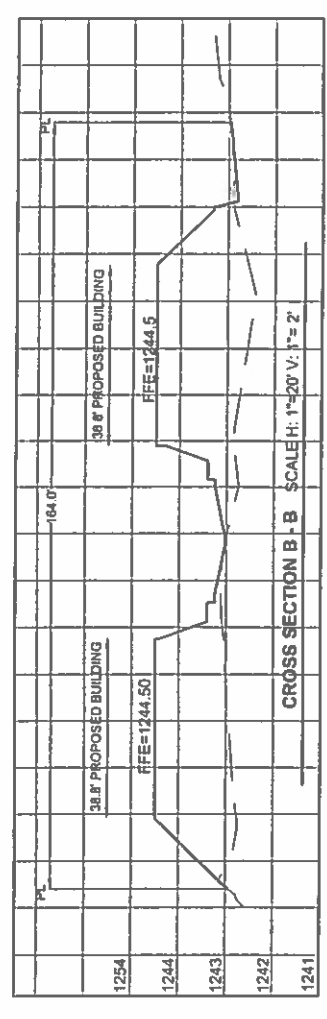
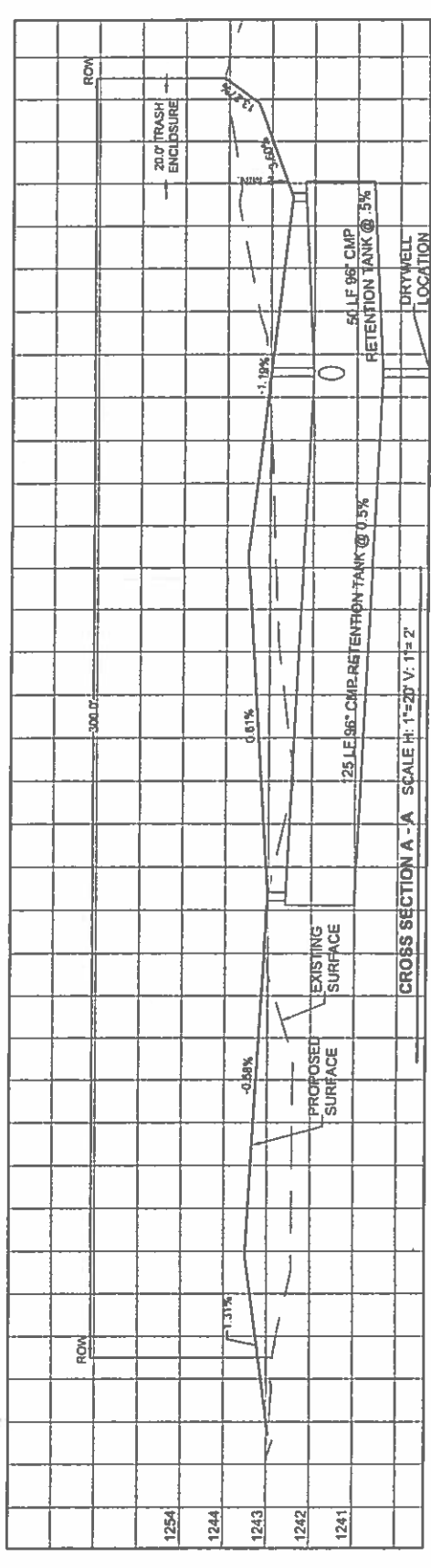
C1

LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT
- BASEMENT LINE
- PAVEMENT
- CONCRETE
- EX. OVERHEAD ELECTRICAL
- EX. GAS LINE
- EX. SEWER LINE
- EX. WATER LINE
- EX. FENCE
- EX. WALL
- SETBACK LINE
- PROP. SEWER LINE
- PROP. WATER LINE
- PROP. WALL
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. WATER OR GAS VALVE
- EX. SEWER MANHOLE
- EX. TEE FITTING
- PROP. FIRE HYDRANT
- PROP. WATER METER
- PROP. FDC
- PROP. REDUCER
- PROP. TEE FITTING
- FND BRASS CAP AS NOTED
- FND MONUMENT AS NOTED
- CHISELED "X" & EPOXIED BRASS 1 #40937 IN CONCRETE
- SET 1/2" REBAR W/LS CAP #40937
- SET PK NAIL W/ WASHER TAG LS 1
- NOT FOUND
- BACK FLOW PREVENTOR
- CLEANOUT
- EX. BACK FLOW PREVENTOR
- EX. CLEANOUT
- EX. JUNCTION BOX
- EX. LIGHT POLE
- EX. METER POLE
- EX. POWER POLE
- EX. POWER POLE WITH LIGHT
- EX. TRAFFIC LIGHT
- EX. TRAFFIC SIGNAL BOX
- EX. TRANSFORMER
- EX. WATER BOX
- EX. WATER METER
- EX. TREE PALM
- EX. TREE
- PROP. STORM INLET
- EXTREME OVERFLOW ROUTE
- PROPOSED DRAINAGE FLOW
- PROP. SEWER CLEANOUT
- EX. GAS METER



GRADING PLAN CALLOUTS	
1	6" CURB & GUTTER
2	3" ROLL CURB & GUTTER
3	6" VERTICLE CURB
4	ASPHALT ACCESS DRIVE
5	CONCRETE PRIVATE DRIVE
6	48" BRICK PAVEMENT SIDEWALK
7	CONCRETE DRIVEWAY
8	16" HANDICAP STALL (TYP)
9	9' X 18' PARKING STALL (TYP) UNLESS OTHERWISE NOTED ON PLANS
10	INDIVIDUAL ON-LOT RETENTION SHALL BE PROVIDED IN REARYARD AREAS
11	96" DIA. CMP UNDERGROUND RETENTION SYSTEM
12	24" RISER, HEAVY-DUTY FRAME & GRATE
13	DRYWELL IN ACCORDANCE WITH GEOTECHNICAL SOILS REPORT
14	24" DIA. PVC STORM PIPE
15	24" DIA. INLET, FRAME & OPEN GRATE
16	6" HIGH MASONRY BLOCK FENCE
17	BUILDING DRAINS FROM BACK TO FRONT
18	NEW DRIVEWAY APRON SHALL BE CONSTRUCTED WITHIN EXISTING RIGHT OF WAY LIMITS.
19	5" CONCRETE SIDEWALK
20	DECORATIVE 5' HIGH IRON FENCE



ON-LOT RETENTION
VOLUME REQUIRED (VR) = 9,327 C.F.
96" DIA. UNDERGROUND SYSTEM A= 50.28 SQ.FT.
LENGTH = 175 L.F.
24" STORM SEWER
LENGTH = 45 L.F.
BASIN 1 HWL = 1242.0' TFS = 1242.3' BOT = 1241.0'
VOLUME BASIN 1 = 510 C.F.
BASIN 2 HWL = 1242.0' TFS = 1242.3' BOT = 1240.5'
VOLUME BASIN 2 = 519 C.F.
BASIN 3 HWL = 1242.0' TFS = 1242.3' BOT = 1241.5'
VOLUME BASIN 3 = 380 C.F.
VOLUME PROVIDED (VP) = 6796 + 510 + 519 + 380 = 10,771 C.F.



SOUTHEAST CORNER OF SECTION 24--1-5
INTERSECTION GILBERT RD. AND BROADWAY RD.
FOUND BRASS CAP IN HANDHOLE

PARCEL DATA

LOT ADDRESS: 345 SOUTH COURSE STREET
 MESA, ARIZONA 85204
 138-02-115-A
 RM - 3
 47,045 S.F. (1.08 ACRE)

LOT AREA:

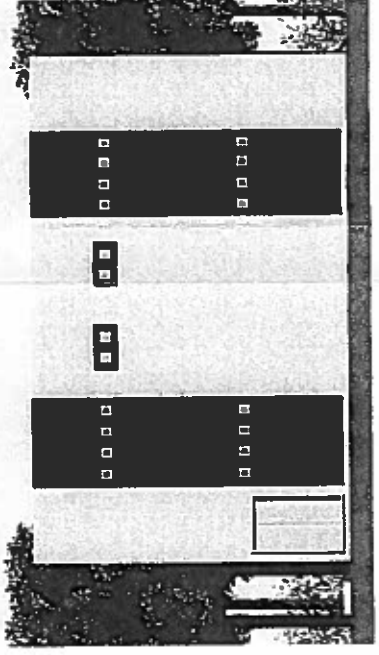
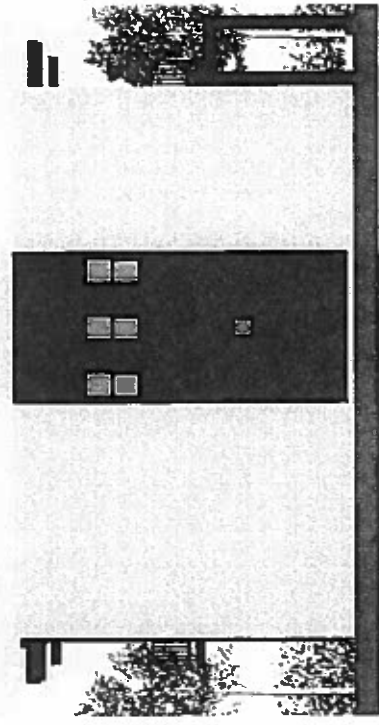
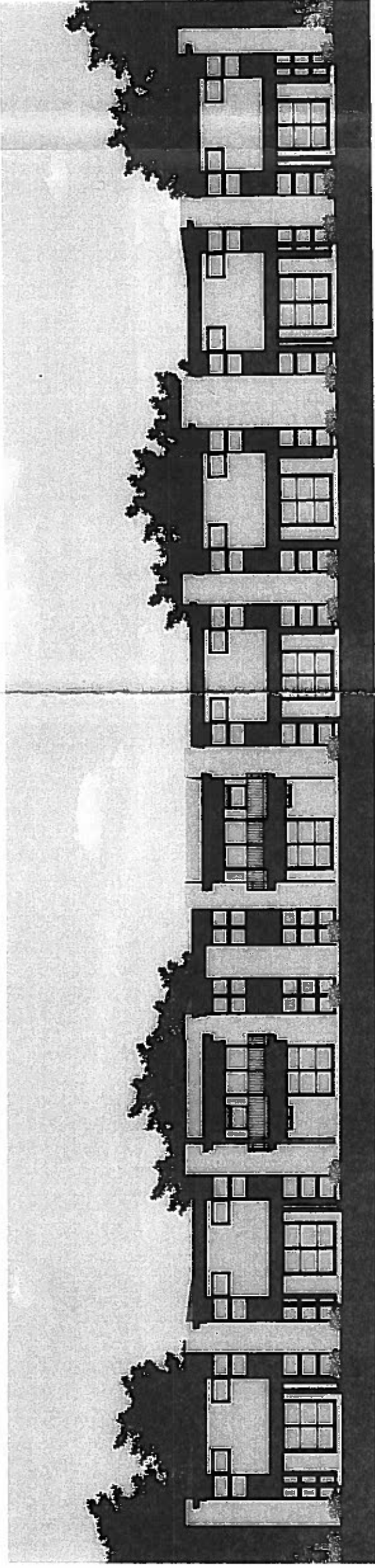
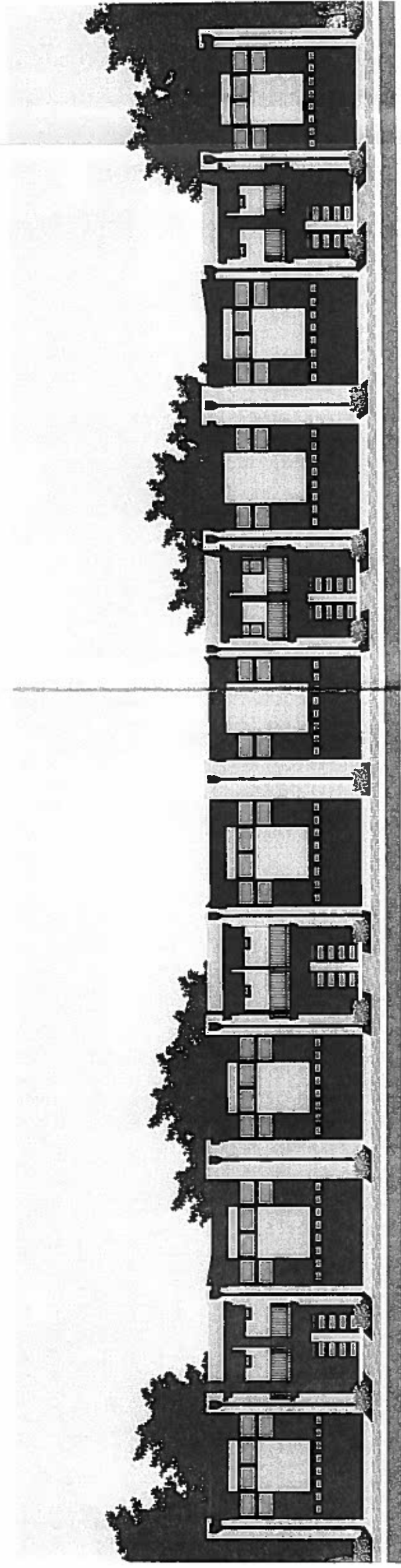
PARKING (C.O. MESA ZONING ORD CHAP 32)
 REQUIRED: 2.1 SPACES PER DWELLING UNIT
 2.1 x 15 = 32 SPACES
 PROVIDED: 38 PARKING SPACES
 15 - 2 CAR GARAGES = 30
 2 COMPACT SPACES
 1 VAN ACCESSIBLE A.D.A.
 30 + 2 + 1 = 33 SPACES

LOT AREA:

C.O. MESA ZONING ORD 11-5-5)
 REQUIRED: 175 S.F. PER UNIT 13 x 175 = 2625 SF
 PROVIDED:
 PUBLIC - OPEN SPACE 'A' 1891 SF
 PRIVATE - 4 AREAS AT 160 SF (2 BEDROOM UNITS)
 4 x 224 = 896 SF
 PRIVATE - 11 AREAS AT 136 SF (3 BEDROOM UNITS)
 11 x 136 = 1496 SF
 TOTAL: 1891 + 896 + 1496 = 4283 SF

SETBACKS

	REQ'D	ACTUAL
FRONT:	20'-0"	20'-0"
NORTH SIDE:	30'-0"	25'-2"
SOUTH SIDE:	30'-0"	10'-2"
ADJ. A WEST:	30'-0"	28'-6"
ADJ. B WEST:	30'-0"	30'-3"



'B' EAST ELEVATION

'B' WEST ELEVATION

214-003

2 of 2 sheets

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BABOS DESIGN
STUDIO, L.L.C.
JAMES M. BABOS
ARCHITECT
2049 E. NORMOOD ST
MESA, ARIZONA 85213
480-947-3443

ONE GREEN DEVELOPMENT
3 FOUR 5
VILLAS
345 SOUTH SHOUSE STREET
MESA, ARIZONA 85204

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