

PROJECT NARRATIVE

Date: 1/8/2024
To: Emily Johnson, Emily.Johnson@mesaaz.gov
From: Cherry Miao, cmiao@publicstorage.com
Subject: 810 S Country Club Dr.
Case #: ZON23-00609/DRB23-00614

RE: Responses to 2nd Review Consolidated Comments (dated 11/16/2023)

We appreciate the opportunity to present our proposal for the development of a modern, safe, and state of the art self-storage building in Mesa, Arizona. This narrative responds to the City Planner's comments and provides additional information as requested.

Project Summary

The proposed project is a new 3-story 135,042 SF, climate-controlled self-storage building to be located at 810 S. Country Club Drive, Mesa, Arizona. This development will replace the previous facility that was partially burned down, the damaged building was later completely demolished. The proposed project will be the same use with minimal to no impact on public services, facilities, and infrastructure.

Existing zoning of the site is GC (C-3) General Commercial and will remain as-is. The Mesa 2040 General Plan Character Area designation on the property is Neighborhood. The site is also located in the Transit Corridor per the plan. The surrounding area is characterized by a combination of single-family homes, multi-family complexes, and commercial developments providing a diverse range of services and amenities for the local community. The immediate vicinity also includes schools, parks, and places of worship, and local community serving businesses.

General Plan: Neighborhood (within Transit Corridor)

The Mesa 2040 General Plan Character Area designation on the property is "Neighborhood". Our proposed redevelopment aligns with the goals of the "Neighborhood" Character Area. The climate-controlled self-storage facility will offer a safe and secure storage solution, which is compatible with the surrounding residential uses. We are committed to designing the facility in a way that blends seamlessly with the neighborhood, promoting a sense of community.

We acknowledge the Transit Corridor designation and commit to adhering to the Form and Guidelines outlined in Chapter 7 of the Mesa 2040 General Plan. The proposed 3-story self-storage building is designed to engage the street effectively, avoiding blank walls longer than 20 feet. The principal functional entry faces 8th Avenue, providing a welcoming facade to the public space. We revised the design to incorporate trees and awnings to enhance the pedestrian experience.

Previously, the main access to the facility was off of S. Country Club Drive close to the intersection, which created a potentially unsafe situation on this 6-lane arterial. Proposed site plan shifts the primary building entrance to 8th Avenue, at farthest location from the intersection.

Zoning: General Commercial: GC

We confirmed that the proposed 3-story climate-controlled self-storage facility aligns with the permitted use in the General Commercial (GC) zoning district. We will obtain a Council Use Permit (CUP) to comply with the zoning requirements.

Council Use Permit (CUP):

- 1) The project conforms to the following criteria in Section 11-70-6(D) of the MZO:
 - a) Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies:

Response: The proposed redevelopment aligns with the Mesa 2040 General Plan's Neighborhood Character Area, which aims to provide safe and secure places for people to live, with associated nonresidential uses that complement the neighborhood fabric. Our climate-controlled self-storage facility offers a safe and convenient storage solution that supports the neighborhood's needs. Our facilities integrate many safety and security features, including site lighting and security cameras with 24hr. monitoring. The site also has secure fencing that with controlled entry and exit points that are only accessible by code. Additionally, the project adheres to any other applicable City plans and policies, ensuring that it contributes positively to the community's well-being and safety.

- b) The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies:
 - i) Please confirm the lot coverage listed in this response. See Comment #1 under Site Plan

Response: The location of the proposed 3-story climate-controlled self-storage building at 810 S. Country Club Dr. aligns with the purpose of the General Commercial (GC) district. The size, design, and operating characteristics have been carefully planned to comply with the Mesa 2040 General Plan and other relevant City plans or policies. The project respects the neighborhood's character and enhances the surrounding area by providing a visually appealing structure that integrates a variety of high quality building materials including CMU blocks, EIFS, metal wall panel, and glazing (spandrel and storefront). This mix of material palette offers a blend of textures and translucency.

Except for deviations from certain code requirements listed in the BIZ section, the current lot coverage is 79%, which is below maximum allowed to incorporate appropriate setbacks and access.

- c) The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City:
- i) Narrative response says there is a commitment to low-impact use and energy efficiency, please expand upon this in the BIZ section when talking about environmental performances standards are being provided.

Response: The proposed self-storage facility has been designed with the neighboring properties and the community's welfare in mind. The building design incorporates architectural accents and a variety of materials to create visual interest. The juxtaposition of the earthy textures of the CMU base and modern glazing accents, and the contrast of neutral base colors with PS brand accent create a mindfully designed building that blends seamlessly into the urban setting while incorporating distinctive local inspired elements.

The facility's 24-hour security surveillance and secure access points will safeguard customers and neighboring properties. Our commitment to low-impact use and energy efficiency also ensures minimal disruptions to the surrounding neighborhood and environment at large. Wherever possible, the project will utilize high efficiency air conditioning system that is typically better than energy code minimum.

- d) Adequate public services, public facilities, and public infrastructure are available to serve the proposed project:

Response: The proposed self-storage facility will have minimal impact on existing public services, facilities, and infrastructure since it replaces a previously functioning site. The development will continue to rely on existing utility services, and no additional strain on public infrastructure is anticipated. As part of our commitment to being a good neighbor, we will collaborate with relevant city departments to ensure that the project aligns with all required standards and regulations to maintain the smooth functioning of public services.

Bonus Intensity Zone Overlay District (BIZ):

We understand the significance of the BIZ and sincerely believe the requested deviations are crucial to a well-functioning self-storage facility that will best serve the community.

The justification for each deviation requested through the BIZ needs to demonstrate more of what is being provided in return based on the above criteria proportionate to the deviations being requested. Staff is concerned with the deviations being requested and what is being provided.

Deviation #1 – Increase in Building Height

- Standard: Maximum per code is 30'
- Requested: 40'-0" at top of roof mechanical screens; 38'-0" at architectural features and corner towers.

- **Justification:** These design enhancements will significantly contribute to the overall functionality, aesthetics, and visual impact of the proposed 3-story climate-controlled self-storage facility.
 1. **Optimal Storage Capacity:** The requested increase in building height allows us to optimize the storage capacity of the facility, providing customers with additional storage options. By utilizing vertical space effectively, we can maximize the storage capacity of the site. This approach optimizes land usage and helps preserve green areas, aligning with sustainable development practices and respecting the neighborhood's character.
 2. **Design Aesthetics:** The increased building height at the main parapet and architectural features allows us to create a visually appealing structure that stands out in a positive way. The additional height provides an opportunity to incorporate innovative design elements, textures, and materials, further contributing to the building's attractiveness and enhancing the streetscape, and also meets the minimum 2 ft of vertical modulation requirement. The higher roof screening height ensures the roof top mechanical units are tastefully shielded from street views, providing thoughtful architectural design throughout the building.
 3. **Enhanced Visibility and Wayfinding:** The additional height of the corner towers enhances the facility's visibility from various vantage points, making it easily recognizable and accessible to both new and existing customers. Improved wayfinding will facilitate customer navigation within the facility, enhancing the overall customer experience.
 4. **Urban Context and Transitioning:** As the site is located in the Transit Corridor, the requested height increase supports the transition to an urban building form as envisioned in the Mesa 2040 General Plan. The taller parapet and architectural features contribute to the urban character and support the objectives of the designated area.
 5. **Superior Design:** Public Storage is committed to providing superior design for this facility that goes above and beyond the typical prototypical model. The improved design utilizes a variety of materials including EIFS, CMU (split-face & precision smooth), metal panels, and glazing (spandrel and clear). This mixed palette juxtaposes textured with smooth, matt with gloss, and solid with transparent. The parapet modulations, color palette, and façade pop-outs create a rhythm and pattern and break up the massing of the building, creating an enhanced streetscape.

Deviation #2 – Request for Reduced Landscape Yards

- **Standard:** Required is 15'-0" when adjacent to non-residential districts
- **Requested:** Requesting 10'-0" at south and west property lines
- **Justification:** We are requesting a reduction in landscape yards for valid reasons that prioritize the efficient use of space, promote safety, and align with the overall design and functionality of the proposed self-storage facility. This reduction in landscape yards offers several benefits to the development and the surrounding community.
 1. **Safety:** By reducing landscape yard, the design ensures adequate width for fire truck access and Fire Department aerial laddering in case of an emergency.
 2. **Space Optimization:** By reducing the landscape yards to 10', we can allocate more space to the main building and storage areas, maximizing the overall storage capacity. This

ensures that we can provide the community with a wider range of storage options in a compact and efficient layout.

3. **Landscaping Quality:** Despite the reduced width, we will ensure that the landscape design is of high quality, incorporating drought-tolerant and visually appealing plantings. The landscape will complement the building's design, enhancing the facility's overall aesthetics and positively contributing to the streetscape.
4. **Urban Context:** As the site is located in the Transit Corridor, a 10' landscape yard aligns with the urban building form and streetscape envisioned in the Mesa 2040 General Plan. This design choice supports the transition into an urban environment and promotes walkability within the area.

Deviation #3 – Reduction of Driveway Throat Setback from Street to First Parking Space

- Standard: 50'-0"
- Requested: 42'-0"
- Justification: We have opted to relocate the site entrance from Country Club Dr. to 8th Ave. to optimize traffic flow and improve circulation. This reduction in the throat setback, specifically locating the rental office at the northwest corner of the building adjacent to the entrance throat, offers several advantages that prioritize customer convenience and accessibility.
 1. **Safety and Visibility:** Placing the rental office close to the street ensures high visibility. Enhanced visibility contributes to the facility's security, creates a recognizable point of entry, and promotes a safe and secure environment for all customers.
 2. **Enhanced Customer Convenience:** A reduced throat setback significantly improves customer convenience and minimizes the travel distance from parking to the office entrance. By narrowing the distance between the street and the rental office, we alleviate any undue burden for our customers. This efficient design fosters a positive customer experience, encouraging repeat business and building strong relationships with the community.
 3. **Traffic Flow Efficiency:** The reduction in the throat setback streamlines traffic flow within the facility, especially in the area around the rental office. Customers can easily find and access parking spaces close to the office, minimizing congestion and enhancing overall operational efficiency.

Deviation #4 – Not Providing 900 SF Plaza

- Standard: 900 SF plaza
- Requested: none provided
- Justification:
 1. **Use:** Due to the proposed use of the site (self-storage), the public plaza will not be utilized and therefore not a highest and best use for the space. Instead, we made sure that our design complies with the 80% max lot coverage and has integrated sufficient landscape area near the public entrance, please see comment response to Deviation #3 above.

2. **Alternate Public Amenity:** We are proposing a new bus shelter at S Country Club as an alternate public amenity. We believe this improvement will better serve the community and more utilized than a plaza space.

Deviation #5 – Landscape Area in Foundation Base

- Standard: 6 trees (west building elevation)
- Requested: 4 trees

- Standard: 4 trees (south building elevation)
- Requested: 0 trees

- Justification for west building elevation deviation: As a self-storage facility, our customers need adequately designed parking and loading spaces. Due to Mesa’s requirement, parking share not exceed 125% of the minimum required, we are using the area south of the gate to provide loading areas for customers. Trees in that area will become obstructions for customers trying to move large items in and out of the lobbies.

- Justification for south building elevation deviation: We are providing 8 trees at the landscape area adjacent to the south property line, which his across the driveway from south landscape foundation base. The driveway will be used by Fire Department and trees in the south landscape foundation base will have canopies that can obstruct fire truck circulation around the property.

Superior Design

Comment BIZ 2.d. i - Exceeds Standards: Landscape standards are not be exceeded. Please see Landscape section comments.

Response: We are exceeding the following landscape standards, more details in the landscape comment revision section:

- Section 11-33-2 Section E planted open scape: we exceed the required 50%
- Perimeter landscaping: we are proposing 503 shrubs, which greatly exceeds the 127 shrubs required.
- Tree size in parking area: 24” box min required, 10% at 36”; We are proposing for all to be 36” box

Comment BIZ 2.e. i - Great Public Spaces: Thank you for providing responses to comments, but in the Superior Design section, please directly address how you are meeting the elements listed above.

Response: Great public space

- Details and features that create attractive, comfortable environments for pedestrians: we updated both building and landscape design to incorporate more detail that makes the building more attractive to look at and improve the pedestrian experience:
 - Attractive architectural features:

- Mixture of materials and textures: CMU (textured and precision smooth), architectural metal panel, EIFS panel, and glass (clear and spandrel).
 - Additional architectural expressions including pop-outs at parapet and facades to create meaningful relief for larger planes, adding visual interest at every perspective.
 - Significantly reduced accent color (orange), so it is tastefully integrated into the design and adds character and enhances wayfinding for the public, but not overpowering.
- Ensure safe, useful and well integrated open or public spaces: we redesigned the parking area near the public office entry to enlarge the landscaped plaza area that creates a pleasant open space on both sides of the office entry, making the experience safe and welcoming,
 - Include high quality amenities: we are proposing to replace the existing bus shelter along S. Country Club Dr. with a new one that will serve as a high quality amenity to the community.
 - Per Staff's suggestion, we also revised the east (facing S Country Club Dr.) and north (facing 8th Ave.) elevations to include more details at the base by replacing sections of CMU with EIFS and widening the spandrel glazing portion to improve the look of the building from street perspective.

We thank the City Staff for their thorough review of our redevelopment proposal. Our project narrative addresses all the comments provided, and we are fully committed to meeting the requirements of the Mesa 2040 General Plan, Mesa Zoning Ordinance, and Quality Development Design Guidelines. We look forward to contributing to the improvement and enhancement of the neighborhood with our modern, climate-controlled self-storage facility while adhering to the highest standards of design and sustainability. We believe our proposed project aligns with the goals and objectives of the City, and we are eager to work collaboratively with the City Council to obtain the necessary approvals and permits for this development. Should you require any further information or clarification, please do not hesitate to contact us.

Thank you for your time and consideration.

Sincerely,

Cherry Miao
Public Storage
cmiao@publicstorage.com
(707) 595-7149

ENTITLEMENT COMMENT RESPONSE LETTER

Date: 12/6/2023
To: Emily Johnson, Emily.Johnson@mesaaz.gov
From: Cherry Miao, cmiao@publicstorage.com
Subject: 810 S Country Club Dr.
Case #: ZON23-00609/DRB23-00614

RE: Responses to 2nd Review Consolidated Comments (dated 11/16/2023)

Changes have also been made to site plan and landscape design to reflect superior design principals, please see drawing package. Detailed responses (in blue) are included as exhibits in the following pages:

<u>Response Exhibit</u>	<u>Subject</u>	<u>Page (Page # of 8 on bottom of page)</u>
A	Parking	1
B	Photometric Plan	2
C	Elevations	3
D	Landscape Plans	4
E	Transportation Review	5 - 8

Thank you for your time and consideration.

Sincerely,

Cherry Miao
Public Storage
cmiao@publicstorage.com
(707) 595-7149



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
NOTE: ALL PLANT MATERIAL IS TO BE MAINTAINED IN THEIR NATURAL STATE.				
	CELTIS RETICULATA	CANYON HACKBERRY	24" BOX 36" BOX	13 6
	OLNEYA TESOTA	IRONWOOD	36" BOX	4
	PARKINSONIA DESERT MUSEUM	DESERT MUSEUM PALO VERDE	36" BOX	3
	PINUS ELDARICA	AFGHAN PINE	24" BOX 15 GAL	9 9
	AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL	14
	CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	5 GAL	51
	DALEA PULCHRA	BUSH DALEA	5 GAL	72
	EUPHEDRA NEVADENSIS	DESERT TEA	5 GAL	28
	HESPERALOE FUNIFERA	GIANT HESPERALOE	5 GAL	35
	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	5 GAL	63
	MUHLENBERGIA 'REGAL MIST'	PINK MUHLY GRASS	5 GAL	89
	RUPELLIA PENNSULARIS	BAJA RUELLIA	5 GAL	28
	CONVOLVULUS CNEORUM	BUSH MORNING GLORY	1 GAL @ 30" OC	
	LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 GAL @ 30" OC	
	ANGULAR 3/4" COBBLE			
	ANGULAR 2-3" BOULDER			

- LANDSCAPE NOTES**
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
 - LANDSCAPING IS TO CONFORM TO ALL APPLICABLE CODES & ORDINANCES.
 - PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE LANDSCAPING AS SHOWN.
 - ALL TREES WITHIN 5' OF HARDSCAPE TO HAVE A 12" DEEP LINEAR ROOT BARRIER.
 - ALL PLANTER AREAS TO RECEIVE A 3" LAYER OF 3/4" COBBLE.
 - SOIL COMPACTION TO BE NO GREATER THAN 8% ON LANDSCAPE AREAS.
 - ALL FINISH GRADES TO BE 1-1/2" BELOW FINISH SURFACE PAVING.
 - AGRONOMICAL SOIL TESTING REPORT TO BE PROVIDED BY CONTRACTOR.
 - USE ONLY APPROVED PLANTING MEDIA AT DESIGNATED UNDERGROUND PLANTER LOCATIONS.

CITY OF MESA DESIGN GUIDELINES PER MESA ZONING ORDINANCE 11.03

11.03.02) GENERAL REQUIREMENTS - OPEN SPACE	11.03.04) NON-RESIDENCE LINES ADJACENT TO OTHER NON-SINGLE RESIDENCE	TREE SIZE REQUIREMENTS
50% OF ALL REQUIRED OPEN SPACE SHALL CONTAIN PLANT MATERIAL	MINIMUM 50% - 24" BOX	REQUIRED - 9
TOTAL OPEN SPACE = 14,626 SQ. FT.	MINIMUM 25% - 36" BOX	REQUIRED - 9
LANDSCAPE SQ. FT. REQUIRED = 9,626	BALANCE = 15 GAL.	REQUIRED - 9
LANDSCAPE SQ. FT. PROVIDED = 9,607		
11.03.04) PERIMETER LANDSCAPING	TREE SIZE REQUIREMENTS	
1 (ONE) TREE	MINIMUM 25% - 36" BOX	REQUIRED - 6
6 (SIX) SHRUBS PER 25 LF OF STREET FRONTAGE	MINIMUM 50% - 24" BOX	REQUIRED - 11
STREET FRONTAGE = 529 LINEAR FT.	BALANCE = 15 GAL.	REQUIRED - 5
TREES PROVIDED = 1		
SHRUBS REQUIRED = 127	PROVIDED	
TREES PROVIDED = 22	15 GAL = 5	25%
SHRUBS PROVIDED = 503	24" BOX = 11	50%
	36" BOX = 6	25%
11.03.04) NON-RESIDENCE LINES ADJACENT TO OTHER NON-SINGLE RESIDENCE	TREE SIZE REQUIREMENTS	
1 (ONE) TREE PER 100' OF EXTERIOR BUILDING WALL	MINIMUM 50% - 24" BOX	REQUIRED - 9
20 (TWENTY) SHRUBS PER 100 LF OF PROPERTY LINE	MINIMUM 25% - 36" BOX	REQUIRED - 9
PROPERTY LINE = 791 LINEAR FT.	BALANCE = 15 GAL.	
TREES PROVIDED = 18	PROVIDED	
TREES REQUIRED = 18	15 GAL = 9	50%
SHRUBS PROVIDED = 141	24" BOX = 9	50%
SHRUBS REQUIRED = 141		
11.03.04) INTERIOR PARKING LANDSCAPE ISLANDS	TREE SIZE REQUIREMENTS	
1 (ONE) SHADE TREE	MINIMUM 10% - 16" BOX	REQUIRED - 1
3 (THREE) SHRUBS	BALANCE = 24" BOX	REQUIRED - 2
TREES PROVIDED = 3		
TREES REQUIRED = 3	PROVIDED	
SHRUBS PROVIDED = 9	24" BOX = 0	0%
SHRUBS REQUIRED = 9	36" BOX = 3	100%
11.03.04) LANDSCAPE AREA IN FOUNDATION BASE	TREE SIZE REQUIREMENTS	
1 (ONE) TREE PER 100' OF EXTERIOR BUILDING WALL	MINIMUM 10% - 16" BOX	REQUIRED - 1
REAR EXTERIOR WALL	BALANCE = 24" BOX	
TREES PROVIDED = 6	TOTAL FOUNDATION TREES REQUIRED = 14	
TREES REQUIRED = 4	(ADJUSTED REQUIREMENT = 4)	
SHRUBS PROVIDED = 4	ADJUSTED REQUIRED	
TREES REQUIRED = 4	24" BOX = 3	
TREES PROVIDED = 6	36" BOX = 1	
	PROVIDED	
	24" BOX = 3	
	36" BOX = 1	



810 S. COUNTRY CLUB DRIVE | MESA, AZ 85210
APN: 134-17-017F

FINAL LANDSCAPE PLAN
1.23.24

NORTH

SHEET 8

KSP

STUDIO
architecture + engineering
23 ORCHARD ROAD, SUITE 200
LAKE FOREST, CA 92650
T 949.380.3970 F 949.380.3771



CELTIS RETICULATA



PARKINSONIA 'DESERT MUSEUM'



OLNEYA TESOTA



PINUS ELДАРICA



AGAVE VILMORINIANA



CALLIANDRA CALIFORNICA



CONVOLVULUS CNEORUM



DALEA PULCHRA



EUPHEDRA NEVADENSIS



HESPERALOE FUNIFERA



LANTANA MONTEVIDENSIS



LEUCOPHYLLUM FRUTESCENS



MUHLENBERGIA 'REGAL MIST'

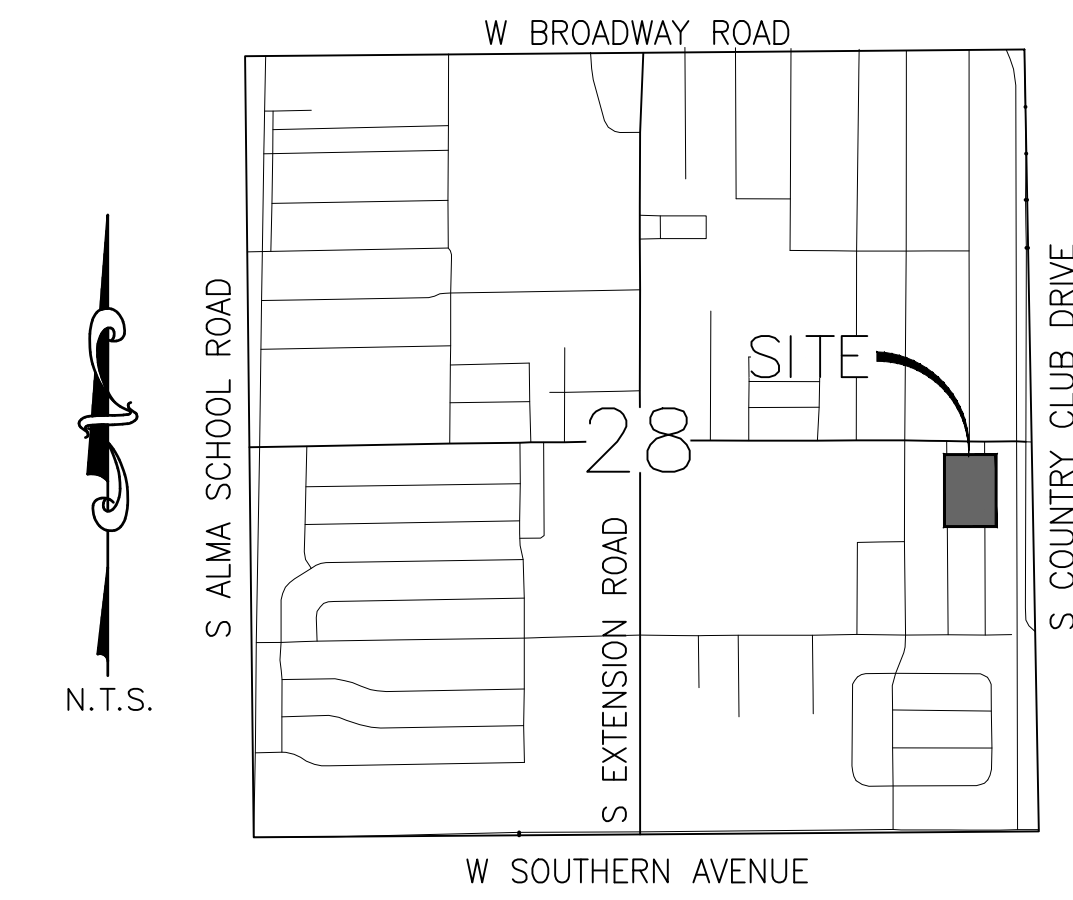


RUELLIA PENINSULARIS

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN

FOR PUBLIC STORAGE 810 S COUNTRY CLUB DRIVE MESA, ARIZONA 85210

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 1 NORTH, RANGE 5 EAST OF
THE GILA & SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA



VICINITY MAP
SEC 28, T. 1 N., R. 5 E.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THE EAST 300 FEET OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE NORTH 45 FEET; AND EXCEPT THE EAST 50 FEET; AND

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT 45 FEET SOUTH AND 50 FEET WEST OF THE NORTHEAST CORNER OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
THENCE SOUTH, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 28, A DISTANCE OF 25 FEET;
THENCE WEST, 5 FEET;
THENCE NORTH, 10 FEET;
THENCE NORTHWESTERLY TO A POINT 45 FEET SOUTH AND 70 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 28;
THENCE EAST, PARALLEL TO THE NORTH LINE OF SAID NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 28, A DISTANCE OF 20 FEET TO THE POINT OF BEGINNING; AND
EXCEPT THE SOUTH 275 FEET THEREOF.

APN

134-17-017F

AREAS

SUBJECT PROPERTY CONTAINS 85,042 SQUARE FEET OR 1.952 ACRES, MORE OR LESS.

DISTURBED AREA: 1.95 ACRES
EXISTING ZONING: GC

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2264 M, DATED NOVEMBER 4, 2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

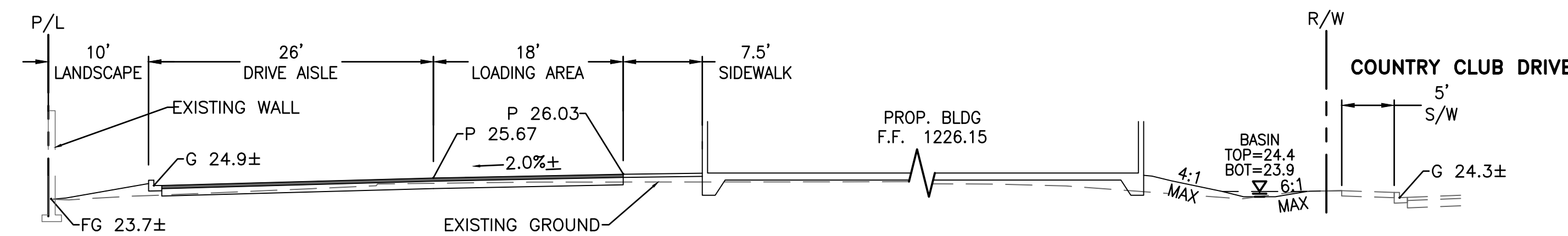
ZONING

ZONE: GC
ZONING INFORMATION OBTAINED FROM MARICOPA COUNTY ASSESSORS WEBSITE.

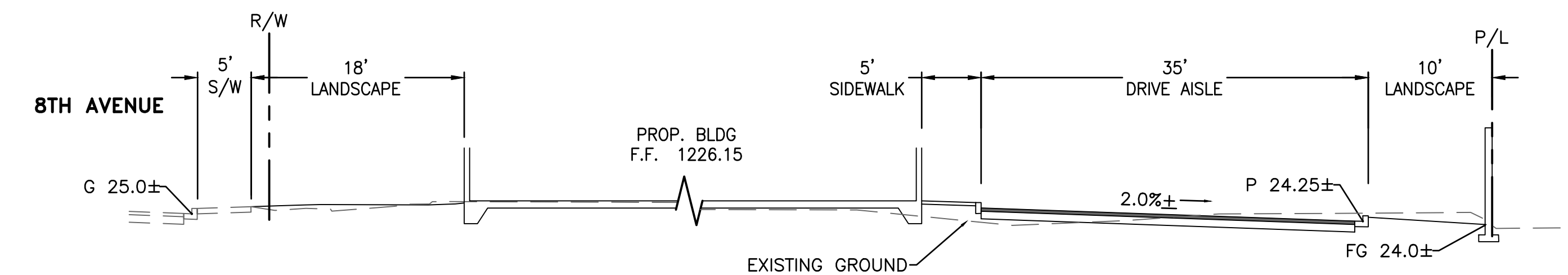
*PER 2021 ALTA MINIMUM STANDARD DETAIL REQUIREMENTS: CURRENT ZONING CLASSIFICATION, BUILDING SETBACK REQUIREMENTS AND HEIGHT AND FLOOR SPACE AREA RESTRICTIONS ARE TO BE PROVIDED TO THE SURVEYOR BY THE INSURER. THE CLASSIFICATION, REQUIREMENTS AND RESTRICTIONS HAVE NOT BEEN PROVIDED AT THE TIME OF THIS SURVEY. THE ZONING CLASSIFICATIONS SHOWN ARE FOR REFERENCE.

DRAINAGE STATEMENT

THIS WAS AN EXISTING DEVELOPED SITE WITH NO PERVIOUS COVER. THE NEW SITE WILL BE EXEMPT FROM PROVIDING ANY ONSITE RETENTION AS THERE WAS NONE PRIOR. PROPOSED DRAINAGE AND GRADING IS IN ACCORDANCE AND IN SUBSTANTIAL CONFORMANCE TO THE EXISTING DRAINAGE FLOWS. THIS ITEM WAS DISCUSSED WITH CITY OF MESA AT THE PRE-APP MEETING AND WAS CONFIRMED WITH CITY OF MESA ENGINEERING STAFF.



SECTION A-A
N.T.S.



SECTION B-B
N.T.S.

LEGEND

<ul style="list-style-type: none"> ○ FOUND BRASS CAP IN HAND HOLE ○ FOUND BRASS CAP FLUSH ○ FOUND MONUMENT AS SHOWN ○ SET 1/2" REBAR WITH CAP 	<ul style="list-style-type: none"> — EASEMENT LINE — PROPERTY LINE — BOUNDARY LINE — RIGHT OF WAY 	<ul style="list-style-type: none"> ⊕ EXISTING CATCH BASIN ⊕ EXISTING STORM DRAIN MANHOLE ⊕ EXISTING SIGN ⊕ EXISTING SANITARY SEWER MANHOLE ⊕ EXISTING SEWER CLEANOUT ⊕ EXISTING TRAFFIC SIGNAL ⊕ EXISTING FIRE HYDRANT 	<ul style="list-style-type: none"> ⊕ EXISTING BACKFLOW PREVENTER ⊕ EXISTING WATER VALVE ⊕ EXISTING UTILITY POLE ⊕ EXISTING POST ⊕ EXISTING SHUT OFF SWITCH ⊕ EXISTING PULL/JUNCTION BOX ⊕ EXISTING ELECTRIC UTILITY 	<ul style="list-style-type: none"> ⊕ EXISTING TELEPHONE MANHOLE ⊕ EXISTING LIGHT POLE —OHE— EXISTING OVERHEAD ELECTRIC —S— EXISTING STORM DRAIN —S— EXISTING SEWER MAIN —W— EXISTING WATER MAIN 	<ul style="list-style-type: none"> C CONCRETE ELEVATION CO CURB OPENING ELEVATION GR GRATE ELEVATION P PAVEMENT ELEVATION —S— PROPOSED STORM DRAIN —W— PROPOSED WATER LINE —S— PROPOSED SEWER LINE ○ PROPOSED SEWER CLEANOUT 	<ul style="list-style-type: none"> ⊕ PROPOSED CATCH BASIN ⊕ PROPOSED STORM DRAIN MANHOLE ⊕ PROPOSED RETENTION AREA BOUNDARY ⊕ RETENTION DRAINAGE AREA DESIGNATOR
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ARCHITECT

KSP STUDIO
23 ORCHAD ROAD,
SUITE 200
LAKE FOREST, CA 92630
PHONE: (949) 370-2057
CONTACT: AMELIA ANAN

ENGINEER:

OPTIMUS CIVIL DESIGN GROUP
4650 EAST COTTON CENTER BLVD.,
SUITE 140
PHOENIX, ARIZONA 85040
PHONE: (602) 393-5234
FAX: (602) 286-9400
CONTACT: JEFF BEHRANA P.E.

OWNER/DEVELOPER

PUBLIC STORAGE
701 WESTERN AVENUE
GLENDALE, CA 91201
PHONE: (919) 570-8915
CONTACT: AARON ANDERSON

DEVELOPMENT MANAGER

VIVO DEVELOPMENT PARTNERS, LLC
4650 EAST COTTON CENTER BLVD.,
SUITE 200
PHOENIX, AZ 85040
PHONE: (602) 750-7606
CONTACT: DEVAN WASTCHAK

BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 5 EAST AS RECORDED BOOK 956, PAGE 44 MARICOPA COUNTY RECORDS.
SAID LINE BEARS NORTH 00 DEGREES 04 MINUTES 31 SECONDS EAST.

BENCHMARK

FOUND CHISELED X (BRASS TAG MISSING) ON TOP OF CURB LOCATED AT THE NORTHWEST CORNER OF COUNTRY CLUB DRIVE AND SOUTHERN AVENUE

ELEVATION = 1217.14 (CITY OF MESA, NAVD88 DATUM)

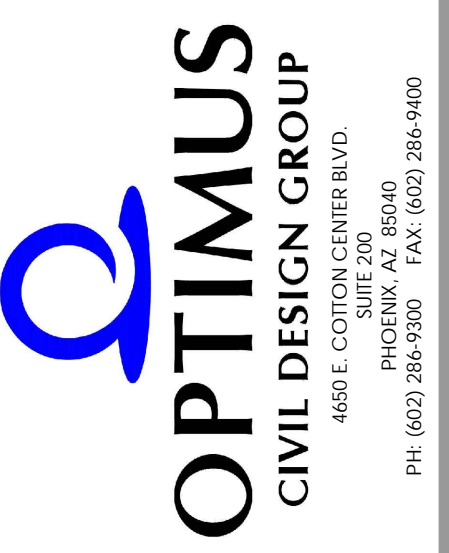
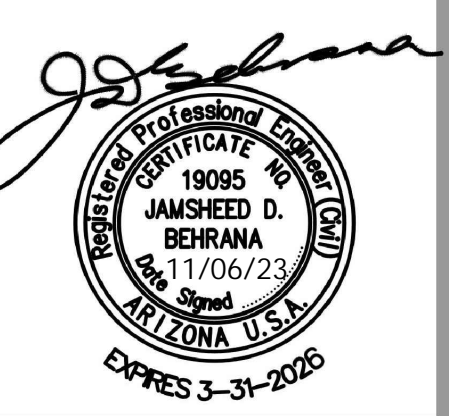
INDEX OF PLAN SHEETS

- 1 (C-1) COVER SHEET
- 2 (C-2) PRELIMINARY GRADING & DRAINAGE PLAN
- 3 (C-3) PRELIMINARY UTILITY PLAN

NO.	REVISION	DATE



PUBLIC STORAGE
COVER SHEET
810 S COUNTRY CLUB DRIVE
MESA, ARIZONA 85210
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

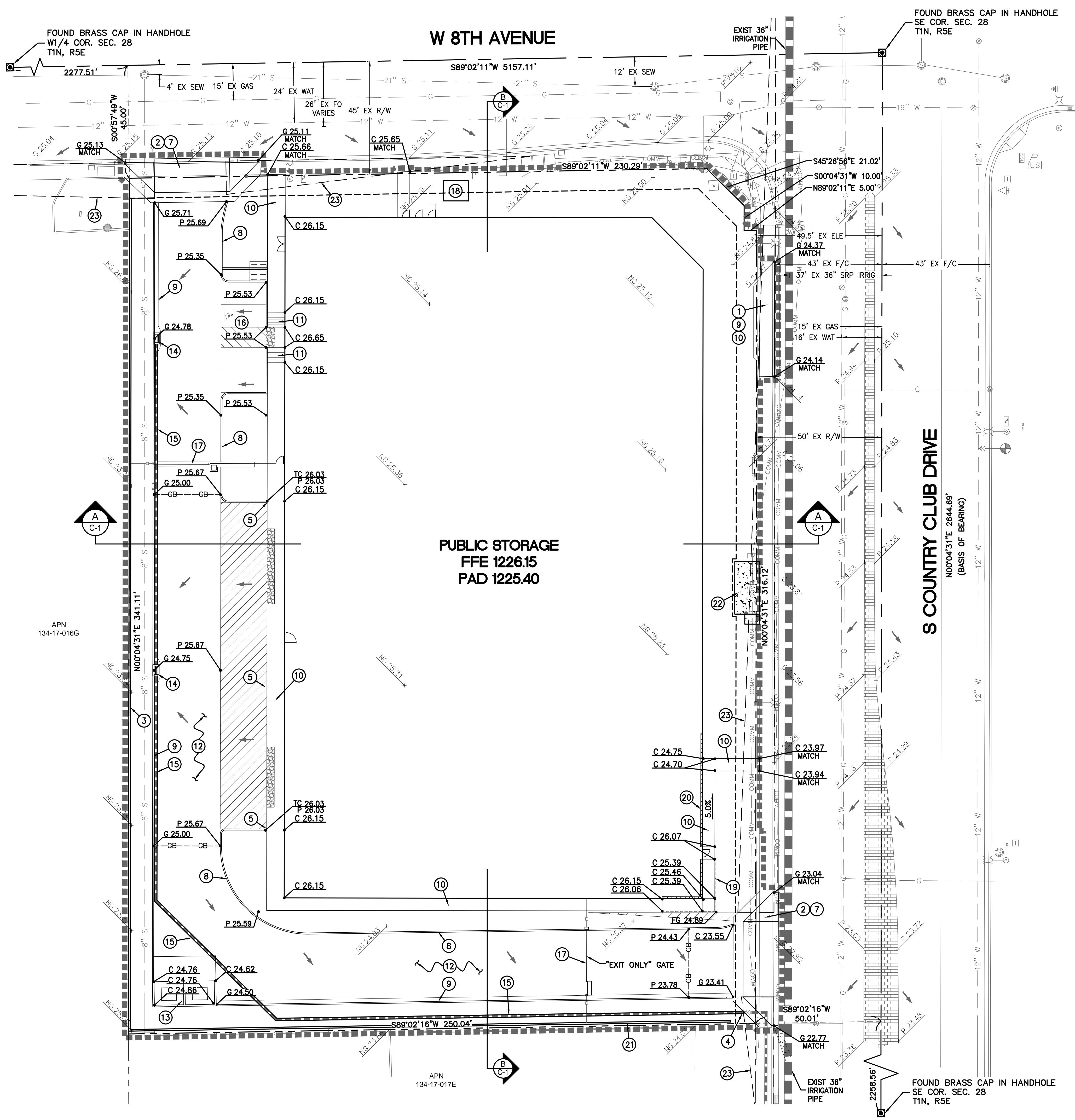


DESIGNED: AJR
DRAWN: JK
CHECKED: JDB
DATE: 6/2023
JOB NO.: 231421

DRAWING NO
C-1
1 of 3



USE OF THIS INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY OPTIMUS CIVIL DESIGN GROUP. OPTIMUS CIVIL DESIGN GROUP SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.



GRADING AND DRAINAGE NOTES

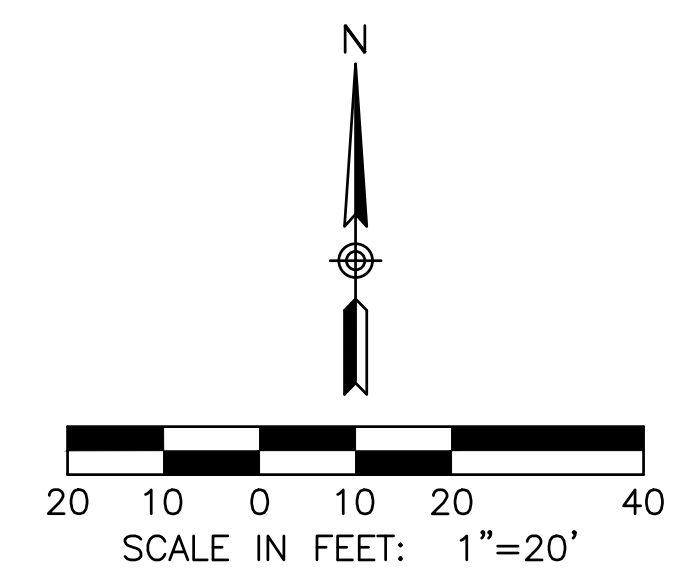
- 1 REMOVE EXISTING DRIVEWAY.
- 2 REMOVE EXISTING CURB, GUTTER AND SIDEWALK.
- 3 EXISTING 6' CMU WALL TO BE EXTENDED TO 8'.
- 4 CONNECT TO EXISTING 12" STORM DRAIN.
- 5 FLUSH PAVEMENT.
- 6 PROPOSED STEPS.
- 7 DRIVEWAY PER C.O.M. STD DTL M-42.
- 8 PROPOSED SINGLE CURB.
- 9 PROPOSED CURB AND GUTTER.
- 10 PROPOSED SIDEWALK.
- 11 PROPOSED ADA RAMP.
- 12 PROPOSED ASPHALT PAVEMENT.
- 13 PROPOSED TRASH ENCLOSURE.
- 14 PROPOSED CATCH BASIN.
- 15 PROPOSED STORM DRAIN.
- 16 PROPOSED ADA PARKING. 2% MAX SLOPE IN ALL DIRECTIONS.
- 17 PROPOSED ACCESS GATE.
- 18 PROPOSED TRANSFORMER PAD.
- 19 PROPOSED TURNDOWN WALK WITH 6" REVEAL.
- 20 PROPOSED STEM WALL.
- 21 PROPOSED 8' SCREEN WALL.
- 22 PROPOSED BUS SHELTER PER CITY OF MESA STANDARDS. (EXISTING SIDEWALK AND CURB TO REMAIN).
- 23 SIGHT VISIBILITY TRIANGLE.

■ LIMITS OF CONSTRUCTION/DISTURBANCE.

NOTE:

ALL EXISTING ONSITE STORM DRAIN LINES, CATCH BASINS, CONCRETE PADS AND ASPHALT ARE PLANNED TO BE DEMOLISHED NOT SHOWN ON THIS PRELIMINARY PLAN. THEY BE SHOWN ON A DEMOLITION PLAN AT CONSTRUCTION DOCUMENT SUBMITTAL.

ALL EXISTING OVERHEAD UTILITIES, TWELVE KILOVOLT (12kv) OR LESS WITHIN PUBLIC RIGHT-OF-WAY ADJACENT TO DEVELOPING PROPERTIES, SHALL BE RELOCATED UNDERGROUND. THIS REQUIREMENT SHALL APPLY TO ALL UTILITIES INCLUDING ELECTRIC DISTRIBUTION LINES, ELECTRIC SERVICE LINES, TELEPHONE CABLES AND LINES, AND LINES USED FOR OTHER COMMUNICATION SYSTEMS SUCH AS CABLE TRANSMITTED TELEVISION. THE UNDERGROUND INSTALLATION SHALL COMPLY WITH ALL UTILITY COMPANY'S REQUIREMENTS.



NO.	REVISION	DATE



PUBLIC STORAGE
PRELIMINARY GRADING AND DRAINAGE PLAN
 810 S COUNTRY CLUB DRIVE
 MESA, ARIZONA 85210
 A PORTION OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 5 EAST
 OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



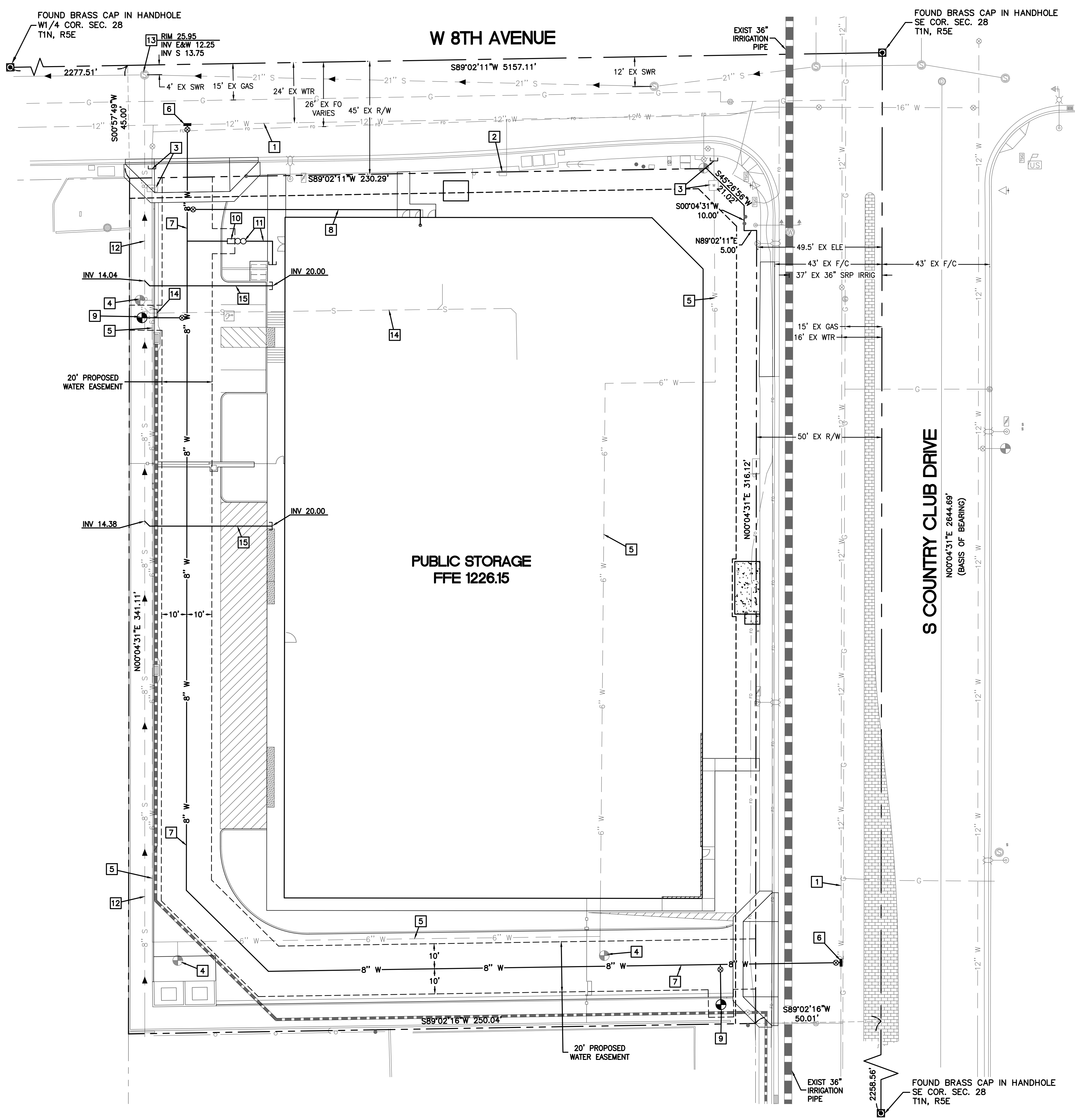
OPTIMUS
 CIVIL DESIGN GROUP
 4601 E. COUNTRY CLUB BLVD.
 PHOENIX, AZ 85044
 PH: (602) 266-9300 FAX: (602) 266-9400

DESIGNED: AJR
 DRAWN: JK
 CHECKED: JDB
 DATE: 6/2023
 JOB NO.: 231421

DRAWING NO
C-2
 2 of 3

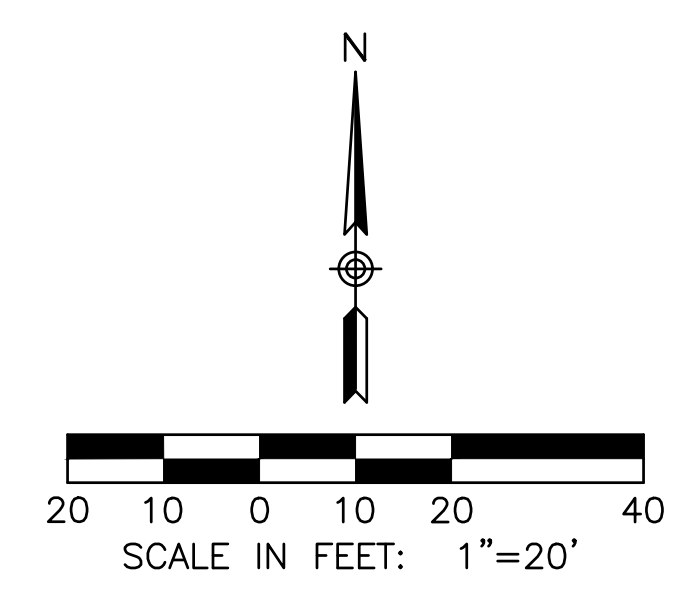


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UTILITY CONSTRUCTION NOTES

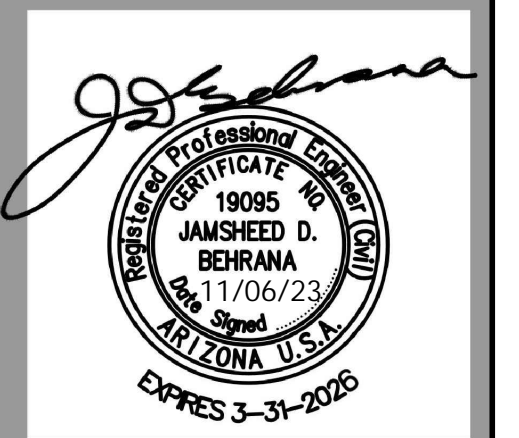
- 1 EXISTING 12" PUBLIC WATER MAIN.
- 2 EXISTING 1" DOMESTIC WATER METER TO BE USED FOR IRRIGATION.
- 3 EXISTING WATER VAULT TO BE REMOVED AND WATER LINE CAPPED.
- 4 EXISTING FIRE HYDRANT TO BE REMOVED.
- 5 EXISTING 6" WATER LINE TO BE ABANDONED IN PLACE.
- 6 CONNECT TO EXISTING MAIN.
- 7 8" PUBLIC WATER LINE.
- 8 6" FIRE SERVICE LINE.
- 9 FIRE HYDRANT.
- 10 1.5" DOMESTIC WATER METER.
- 11 1.5" BACKFLOW AND WATER SERVICE LINE.
- 12 EXISTING 8" SEWER LINE. S=0.38%.
- 13 EXISTING SEWER MANHOLE.
- 14 PLUG EXISTING SEWER SERVICE LINE AND ABANDON SERVICE LINE.
- 15 6" SEWER SERVICE LINE.



NO.	REVISION	DATE



PUBLIC STORAGE
PRELIMINARY UTILITY PLAN
 810 S COUNTRY CLUB DRIVE
 MESA, ARIZONA 85210
 A PORTION OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 5 EAST
 OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



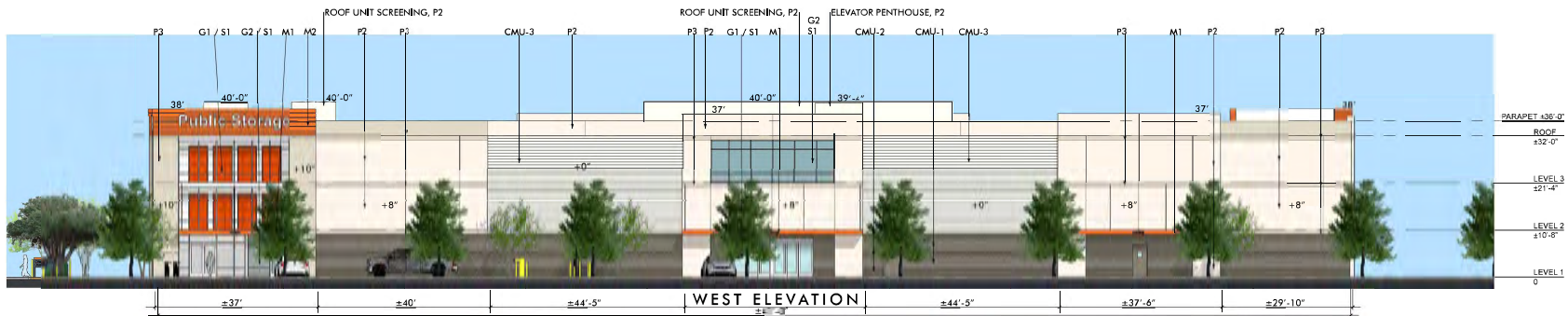
OPTIMUS
 CIVIL DESIGN GROUP
 4600 E. COUNTRY CLUB DRIVE, SUITE 200
 PHOENIX, AZ 85044
 PH: (602) 266-9300 FAX: (602) 266-9400

DESIGNED: AJR
 DRAWN: JK
 CHECKED: JDB
 DATE: 6/2023
 JOB NO.: 231421

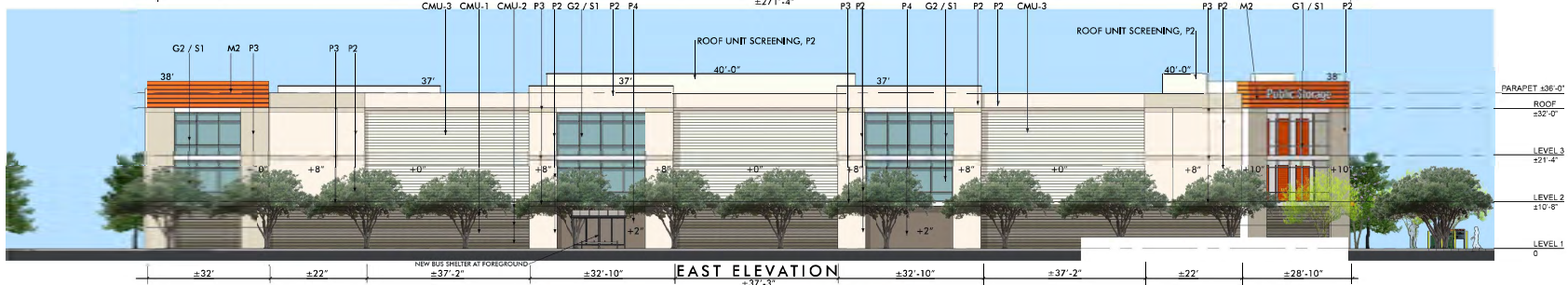
DRAWING NO
C-3
 3 OF 3



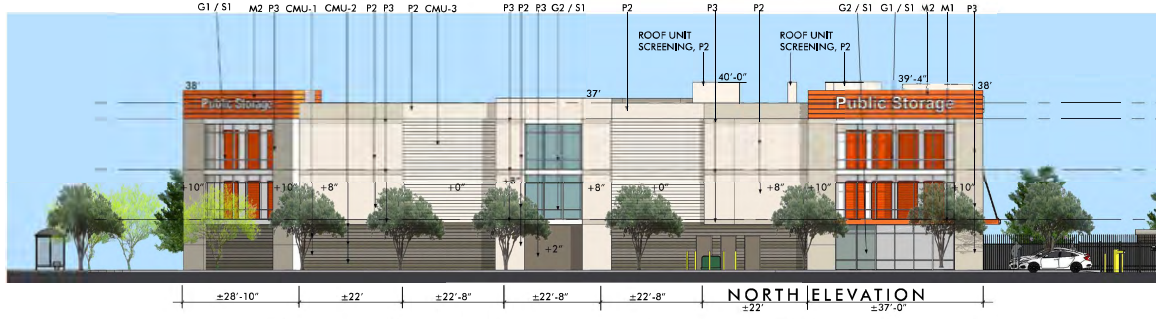
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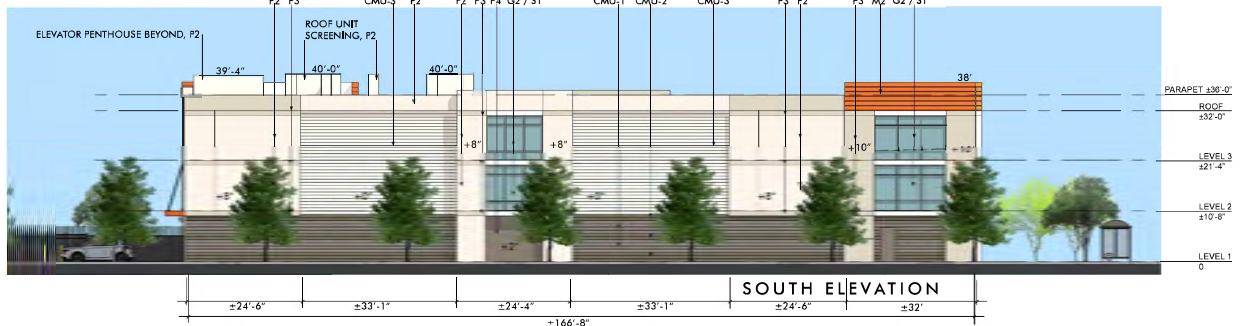
EIFS - 49.34%
 CMU - 37.24%
 METAL - 2.93%
 Glazing - 9.55%
 Spandrel - 0.98%



EIFS - 34.5%
 CMU - 47.83%
 METAL - 3.81%
 Glazing - 4.47%
 Spandrel - 13.22%



EIFS - 44.44%
 CMU - 32.54%
 METAL - 6.91%
 Glazing - 18.6%
 Spandrel - 4.57%



EIFS - 45.46%
 CMU - 49.66%
 METAL - 3.17%
 Spandrel - 7.03%

MATERIALS & FINISHES	
P1	EIFS, PAINTED PS ORANGE
P2	EIFS, PAINTED WINTER MOOD PPG14-16
P3	EIFS, PAINTED MOTH GRAY PPG14-29
P4	EIFS, PAINTED ROLLER COASTER PPG108-5
CMU-1	CMU BLOCK-PRECISION, PLACER CREEK BY ANGELUS BLOCK
CMU-2	CMU BLOCK-SPLIT FACE, PLACER CREEK BY ANGELUS BLOCK
CMU-3	CMU BLOCK-PRECISION, PAINTED WINTER MOOD PPG14-16
G1	CLEAR GLAZING
G2	SPANDREL
M1	METAL CANOPY, PS ORANGE
M2	MORIN METAL PANEL, PS ORANGE
S1	CLEAR ANODIZED ALUMINUM FRAMING SYSTEM

East elev.: $271'4" - 20'8" = 250'8" \times 36' + 64' = 9024' + 64' = 9088' \text{ sq. ft.}$
 North elev.: $166'8" - 20'8" = 146' \times 36' + 74' + 20'6" = 5350'6" \text{ sq. ft.}$
 Stopping part: $28'10" \times 38' = 10968' \text{ sq. ft.}$
 Total sq. ft.: $9088' + 5350'6" + 10968' = 15,534'$
 Orange:
 $28'10" \times 6' = 173' \text{ sq. ft.}$
 $37' \times 6' = 222' \text{ sq. ft.}$
 $25' \times 8' = 168' \text{ sq. ft.}$
 $32' \times 6' = 192' \text{ sq. ft.}$
 Total orange sq. ft.: $603'$
 $603'8" \text{ from } 15,534' = 3.88\%$
 $5\% \text{ from } 15534' \text{ sq. ft. is } 777' \text{ sq. ft.}$
 $603'8" < 777'$



810 S. COUNTRY CLUB DRIVE | MESA, AZ 85210
 APN: 134-17-017F

ELEVATIONS
 01.22.24

Scale: 3/32" = 1'-0"





810 S. COUNTRY CLUB DRIVE | MESA, AZ 85210
APN: 134-17-017F

CONCEPT VIEW
01.22.24





810 S. COUNTRY CLUB DRIVE | MESA, AZ 85210
APN: 134-17-017F

CONCEPT VIEW
01.22.24



Citizen Participation Plan for Public Storage at 810 S. Country Club

November 6, 2023

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for the Public Storage development. This site is located at 810 S. Country Club Dr., at the southwest corner of S. Country Club Dr. and W. 8th Ave. and is an application for development of a new 3-story climate-controlled self-storage building. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Cherry Miao
2200 E. McFadden Ave.
Santa Ana, CA 92705
(707) 595-8472 x3409
Email: cmiao@publicstorage.com

Pre-Submittal Conference: The Pre-submittal Conference with City of Mesa Development Services staff was held on May 16, 2023. Staff reviewed the application and recommended that adjacent residents, the Mesa School District and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - a. All registered neighborhood associations within one mile of the project.
 - b. Homeowners Associations within one half mile of the project.
 - c. Interested neighbors - focused on 1,000 feet from site but may include more.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan, and invitation to one neighborhood meeting to be held at Eagle Community Center.
 - a. This meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.
3. Presentations will be made to groups of citizens or neighborhood associations upon request.

Schedule:

- 1st Pre-Submittal Conference - March 21, 2023
- 2nd Pre-Submittal Conference - May 16, 2023
- Application Submittal - August 21, 2023
- Neighborhood meeting - November 29, 2023
- Submittal of Citizen Participation Report – by December 24, 2023 (assuming January 24, 2024 Public Hearing date)
- Notification material - by January 9, 2023 (assuming January 24, 2024 Public Hearing date)
- Planning and Zoning Board Hearing - January 24, 2024 (anticipated date based on City schedule)

Citizen Participation Report for 810 S Country Club

ZON23-00609 / DRB23-00614

December 5, 2023

Overview: This report provides results of the implementation of the Citizen Participation Plan for 810 S Country Club. The proposed project is a new 3-story Public Storage facility located at 810 S Country Club Dr. at the intersection of S Country Club Dr. and W 8th Ave. This development will replace the previous facility that was damaged in a fire and then demolished. This development requires Design Review (DRB23-00614) and Planning and Zoning (ZON23-00609) approval. This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

Contact:

Cherry Miao

701 Western Ave, Glendale, CA 91201

(707) 595-8472 x3409 / (707) 595-7149

Email: cmiao@publicstorage.com

Neighborhood Meeting: The following are dates and locations of all meetings where citizens were invited to discuss the proposal (comments, sign in lists and other feedback are attached);

- **Notice:** We used City provided mailing lists for noticing address. Radius for the Design Review case is 500ft, the Planning and Zoning case is 1,000ft. For this reason, we mailed out neighborhood meeting notice to everyone on the 1,000ft radius list to capture everyone in the applicable notice area on 11/14/23 via UPS.
- **When:** 11/29/23, 6pm-7pm
- **Where:** Virtual (Microsoft Teams) and in-person (at Eagles Community Center) options were available to anyone interested in attending.
- **Number of attendees:** none in addition to meeting host and Staff.

Summary of Citizen Concerns:

As of the date of this report (12/4/23), we have not received any citizen concern.

Correspondence and Telephone Calls:

As of the date of this report (12/4/23), we have not received any comment letter, petition, or other pertinent information from the residents.

Reference Material:

- Exhibit A: Mailing list used for mailing (1,000ft)
- Exhibit B: Notice
- Exhibit C: Sign-in sheet

Exhibit A

Mailing List (1,000 ft)

OBJECTID *	APN *	Owner Name *	Longitude	Latitude	Property Address	Mailing Address
132982	13417112	ERRAN ANDREW	-111.843547	33.399997	540 W EDGEWOOD AVE MESA 85210	540 W EDGEWOOD AVE MESA AZ USA 85210
133155	13417235	SMITH JASON/WESTFALL CHERYL	-111.843278	33.397862	536 W ENID AVE MESA 85210	536 W ENID AVE MESA AZ USA 85210
133835	13417236	WATSON KERRY	-111.843495	33.397859	542 W ENID AVE MESA 85210	542 W ENID AVE MESA AZ USA 85210
133978	13417237	NASH DARYL J & BONNIE J	-111.843704	33.397857	548 W ENID AVE MESA 85210	548 W ENID MESA AZ USA 85202
134500	13416001	V AND D AGOSTINO FAMILY TRUST	-111.840313	33.403132	407 W 6TH DR MESA 85210	6729 E PERSHING RD SCOTTSDALE AZ USA 85254
134501	13416002	V AND D AGOSTINO FAMILY TRUST	-111.840497	33.403131	413 W 6TH DR MESA 85210	407 W 6TH DR MESA AZ USA 85205
134502	13416003	GJONZENELI MURAT/BEKA	-111.840711	33.403127	419 W 6TH DR MESA 85210	465 W RAY RD CHANDLER AZ USA 85225
134504	13416004B	MARTINEZ RICARDO	-111.840916	33.403159	425 W 6TH DR MESA 85210	425 W 6TH DR MESA AZ USA 85210
134506	13416005	SANCHEZ GABRIEL FRANCISCO ARANA	-111.841106	33.403122	431 W 6TH DR MESA 85210	431 W 6TH DR MESA AZ USA 85210
134507	13416006	CAMARGO NOLBERTO VALDEZ	-111.841303	33.40312	437 W 6TH DR MESA 85210	437 W 6TH DR MESA AZ USA 85210
134508	13416007	MARTINEZ KIERAN	-111.841499	33.403117	443 W 6TH DR MESA 85210	PO BOX 41051 MESA AZ USA 85274
134509	13416008	HODGE MICHAEL D	-111.841696	33.403114	449 W 6TH DR MESA 85210	449 W 6TH DR MESA AZ USA 85210
134510	13416009	AMAYA GILBERTO & MARIA LUISA	-111.841892	33.403111	453 W 6TH DR MESA 85210	453 W 6TH DR MESA AZ USA 85201
134511	13416010	SALCIDO BABIES TRUST	-111.842089	33.403109	461 W 6TH DR MESA 85210	461 W 6TH DR MESA AZ USA 852102313
134512	13416011	OBISPO ALMA DELIA/IRIS	-111.842285	33.403106	507 W 6TH DR MESA 85210	507 W 6TH DR MESA AZ USA 85210
134513	13416012	WELLS LORI ANN	-111.842481	33.403103	513 W 6TH DR MESA 85210	513 W 6TH DR MESA AZ USA 85210
134534	13416090	VILLEDA ANTONIO O/ELIDA L	-111.843566	33.400811	542 W 8TH AVE MESA 85210	542 W 8TH AVE MESA AZ USA 85210
134537	13416043F	M.C. JOHNSON INVESTMENT PROPERTIES	-111.840473	33.401058	750 S COUNTRY CLUB DR MESA 85210	6460 E TRAILRIDGE CIR UNIT 8 MESA AZ USA 852157789
134539	13416081	ANDRADE MARIA SOTELO	-111.843573	33.401098	543 W DEL CAMPO AVE MESA 85210	543 W DEL CAMPO AVE MESA AZ USA 85210
134547	13416043C	TRAILER TERRACE	-111.841211	33.401537	730 S COUNTRY CLUB DR MESA 85210	200 GOAT MOTH HL SOQUEL CA USA 95073
134549	13416043G	DAHLTEK PROPERTIES LLC	-111.840486	33.402031	720 S COUNTRY CLUB DR MESA 85210	5967 S MACK CT GILBERT AZ USA 85298
134550	13416044B	MESA RIDGE NSMM LLC	-111.842204	33.402651	650 S COUNTRY CLUB DR MESA 85210	914 E OSBORN RD 214 PHOENIX AZ USA 85014
134552	13416047	2018-1 1H BORROWER LP	-111.842244	33.400774	757 S VINEYARD MESA 85210	8665 E HARTFORD DR STE 200 SCOTTSDALE AZ USA 85255
134553	13416048	RODRIGUEZ ROQUE/ROSALINA	-111.842246	33.400947	751 S VINEYARD MESA 85210	751 S VINEYARD MESA AZ USA 85210
134554	13416049	CARRENO MIGUEL ANGEL CALBA/GONZALEZ ANGELICA M	-111.842247	33.401118	745 S VINEYARD MESA 85210	745 S VINEYARD MESA AZ USA 852102337
134555	13416050	ESPINOZA JOSE JESUS	-111.842248	33.401291	739 S VINEYARD MESA 85210	739 S VINEYARD MESA AZ USA 85210
134556	13416051	TORRES ERIC A	-111.84225	33.401465	733 S VINEYARD MESA 85210	733 S VINEYARD MESA AZ USA 85210
134557	13416052	CARTER WILMA D	-111.842253	33.401638	727 S VINEYARD MESA 85210	727 S VINEYARD MESA AZ USA 85210
134558	13416053	CARTER MARY J	-111.842255	33.401816	715 S VINEYARD MESA 85210	2548 NAVAJO WAY LAKESIDE AZ USA 859293184
134559	13416082	GARCIA LUIS	-111.843351	33.401101	537 W DEL CAMPO AVE MESA 85210	537 W DEL CAMPO AVE MESA AZ USA 85210
134560	13416083	GUJAR PRACHI	-111.84313	33.401103	531 W DEL CAMPO AVE MESA 85210	531 W DEL CAMPO AVE MESA AZ USA 85210
134561	13416054	DENDY HOLLY J	-111.842228	33.402028	715 S VINEYARD MESA 85210	715 S VINEYARD MESA AZ USA 85202
134562	13416091	MENDEZ HERIBERTO PEREZ	-111.843788	33.400808	548 W 8TH AVE MESA 85210	548 W 8TH AVE MESA AZ USA 85210
134563	13416055	ORTEGA DANIEL QUIJADA/DE QUIJADA ERNESTINA O	-111.842317	33.402244	508 W DEL ORO AVE MESA 85210	508 W DEL ORO AVE MESA AZ USA 85210
134564	13416056	PLOUGHE PAUL	-111.842626	33.402244	514 W DEL ORO AVE MESA 85210	514 W DEL ORO AVE MESA AZ USA 85210
134565	13416057	MARICOPA REVITALIZATION PARTNERSHIP LLC	-111.842853	33.402231	520 W DEL ORO AVE MESA 85210	710 W 8TH AVE MESA AZ USA 85210
134566	13416058	NAVARRO ARMANDO O/PETRA V	-111.843064	33.402228	526 W DEL ORO AVE MESA 85210	526 W DEL ORO AVE MESA AZ USA 85210
134567	13416059	JIMENEZ DIANA OTERO/MENDIOLA MAURICIO AVILES	-111.843267	33.402225	532 W DEL ORO AVE MESA 85210	532 W DEL ORO AVE MESA AZ USA 85210
134568	13416060	SFR ACQUISITIONS 3 LLC	-111.843469	33.402223	538 W DEL ORO AVE MESA 85210	6500 INTERNATIONAL PKWY STE 1100 PLANO TX USA 75093
134569	13416061		-111.843672	33.40222	544 W DEL ORO AVE MESA 85210	
134572	13416064	!WHETTEN ELMO CARLING/VIVA C TR	-111.844086	33.401793	557 W DEL ORO AVE MESA 85210	557 W DEL ORO AVE MESA AZ USA 85210
134573	13416065	HAWES KAYLE ELLIS/VIVA ANNETTE TR	-111.843888	33.401798	551 W DEL ORO AVE MESA 85210	551 W DEL ORO MESA AZ USA 85202
134574	13416066	WORKMAN STEVEN W	-111.843689	33.401801	545 W DEL ORO AVE MESA 85210	545 W DEL ORO AVE MESA AZ USA 85210
134575	13416067	LOPEZ AMILCAR AMAIEL/DEYSY NOEMY	-111.843488	33.401803	539 W DEL ORO AVE MESA 85210	539 W DEL ORO AVE MESA AZ USA 85210
134576	13416068	REYES JOSE/PETRA	-111.843288	33.401806	533 W DEL ORO AVE MESA 85210	533 W DEL ORO AVE MESA AZ USA 85210
134577	13416069	SANDOVAL VANITY DENISE CARAVEO	-111.843088	33.401808	527 W DEL ORO AVE MESA 85210	527 W DEL ORO AVE MESA AZ USA 85210
134578	13416070	ORTIZ ARACELY/EFFREN M	-111.842887	33.401811	521 W DEL ORO AVE MESA 85210	521 W DEL ORO AVE MESA AZ USA 85210
134579	13416071	MARTAN DEBORAH J	-111.842687	33.401813	515 W DEL ORO AVE MESA 85210	515 W DEL ORO AVE MESA AZ USA 85210
134580	13416072	VAN SISE THUIS L/DAWN M	-111.842679	33.401532	516 W DEL CAMPO AVE MESA 85210	516 W DEL CAMPO AVE MESA AZ USA 85210
134581	13416073	ELIZALDE EZAUL ORDUNO/CUERVO SAUL AARON ORDUNO	-111.84288	33.401529	522 W DEL CAMPO AVE MESA 85210	522 W DEL CAMPO AVE MESA AZ USA 85210
134582	13416074	GRAD NOURA	-111.84308	33.401526	528 W DEL CAMPO AVE MESA 85210	528 W DEL CAMPO AVE MESA AZ USA 85210
134583	13416075	DIAZ OSCAR	-111.843281	33.401524	524 W DEL CAMPO AVE MESA 85210	1525 INLAND LN CERES CA USA 95307
134584	13416076	LARSEN STEVEN D	-111.843481	33.401521	540 W DEL CAMPO AVE MESA 85210	540 W DEL CAMPO AVE MESA AZ USA 85202
134585	13416077	TORRES MARIA/LURIS/ERRER NATHANAEL JAVIER	-111.843682	33.401518	546 W DEL CAMPO AVE MESA 85210	546 W DEL CAMPO AVE MESA AZ USA 85210
134586	13416078	RODRIGUEZ EULALIO CASTILLO/ANDRADE MARIA S	-111.843881	33.401516	552 W DEL CAMPO AVE MESA 85210	543 W DEL CAMPO AVE MESA AZ USA 85210
134587	13416079	THR PHOENIX LP	-111.844084	33.401513	558 W DEL CAMPO AVE MESA 85210	8665 E HARTFORD DR STE 200 SCOTTSDALE AZ USA 85255
134588	13416080	MONTOYA LUPE MARY TR	-111.843795	33.401095	549 W DEL CAMPO AVE MESA 85210	549 W DEL CAMPO AVE MESA AZ USA 85210
134589	13416084	CASTRO CLEMENTE	-111.842907	33.401106	523 W DEL CAMPO AVE MESA 85210	523 W DEL CAMPO AVE MESA AZ USA 85210
134590	13416085	LABEAU JAMES M	-111.842683	33.401109	515 W DEL CAMPO AVE MESA 85210	4327 BLUE IRIS CT ISLAND LAKE IL USA 60042
134591	13416086	HENSON JEFFREY A & SUSAN M	-111.842678	33.400824	518 W 8TH AVE MESA 85210	518 W 8TH AVE MESA AZ USA 85202
134592	13416087	GARCIA CARLOS ZARAGOZA	-111.842901	33.40082	524 W 8TH AVE MESA 85210	524 W 8TH AVE MESA AZ USA 85210
134593	13416088	ORTEGA JULIO	-111.843123	33.400817	530 W 8TH AVE MESA 85210	530 W 8TH AVE MESA AZ USA 85210
134594	13416089	MESSINGER MICHAEL/IRENE I TR	-111.843344	33.400814	536 W 8TH AVE MESA 85210	536 W 8TH AVE MESA AZ USA 85210
134595	13416092	MESA CITY OF	-111.844049	33.400945	755 S DATE MESA 85210	20 E MAIN ST STE 650 MESA AZ USA 85211
134596	13417003	BROWN & BROWN WHOLESAL E LLC	-111.841688	33.398558		PO BOX 1690 MESA AZ USA 85211
134598	13417006B	CAR CPS AZ MESA LLC	-111.840748	33.398135	922 S COUNTRY CLUB DR MESA 85210	8484 WESTPARK DR STE 200 MCLEAN VA USA 22102
134600	13417016F	EASTLINE PROPERTIES LLC/CLOD LLC/RI C LLC	-111.841963	33.399679	505 W 8TH AVE MESA 85210	2150 E HIGHLAND AVE STE 207 PHOENIX AZ USA 85016
134602	13417017D	MARTELLA WAYNE/CAROL G TR	-111.84064	33.399008	868 S COUNTRY CLUB DR MESA 85210	450 E CAMPBELL GILBERT AZ USA 85234
134604	13417017F	PUBLIC STORAGE PROPERTIES XII INC	-111.840639	33.399991	810 S COUNTRY CLUB DR MESA 85210	PO BOX 25025 GLENDALE CA USA 912015025
134607	13417022D	CLEPHANE SARA LISE/MICAH DAVID	-111.840496	33.396672	1036 S COUNTRY CLUB DR MESA 85210	3940 WALGROVE AVE CULVER CITY CA USA 90066
134608	13417022E	ROBERT ONG HING AND ALICE Y HING FAMILY TRUST	-111.841776	33.396438	1046 S COUNTRY CLUB DR MESA 85210	6145 E JOSHUA TREE LN PARADISE VALLEY AZ USA 85253
134678	13417140	FREEMYER SUSAN MARIE	-111.844406	33.399282	602 W ELENA AVE MESA 85210	602 W ELENA AVE MESA AZ USA 85210
134699	13417101	MARY MARTINEZ REVOCABLE TRUST	-111.844391	33.400268	601 W 8TH AVE MESA 85210	526 N PASADENA ST MESA AZ USA 85201
134700	13417102	CAYTON BILLY R SR/BE ETTA	-111.844194	33.400271	559 W 8TH AVE MESA 85210	559 W 8TH AVE MESA AZ USA 85210
134701	13417103	FONSECA ELENO/BARRERA SANDRA	-111.843976	33.400274	553 W 8TH AVE MESA 85210	500 N METRO BLVD UNIT 20234 CHANDLER AZ USA 85226
134702	13417104	2013-1 1H BORROWER LP	-111.843755	33.400277	547 W 8TH AVE MESA 85210	901 MAIN ST 4700 DALLAS TX USA 75202
134703	13417105	FERNANDEZ ELIZABETH	-111.84355	33.400279	541 W 8TH AVE MESA 85210	4410 DEWEY AVE RIVERSIDE CA USA 92506
134705	13417107	GILLIAM TERENCE L/COLLEEN A	-111.843148	33.400285	529 W 8TH AVE MESA 85210	529 W 8TH AVE MESA AZ USA 85210
134706	13417108	LE LONG H	-111.842929	33.400287	521 W 8TH AVE MESA 85210	521 W 8TH AVE MESA AZ USA 85210
134707	13417109	MASSEY JACOB	-111.84293	33.400006	522 W EDGEWOOD AVE MESA 85210	522 W EDGEWOOD AVE MESA AZ USA 85210
134708	13417110	CRUZ GABRIEL ORTIZ/ORTIZ SUSANA	-111.843146	33.400002	528 W EDGEWOOD AVE MESA 85210	528 W EDGEWOOD AVE MESA AZ USA 85210
134709	13417111	ALVAREZ MARCELINO	-111.843345	33.399999	534 W EDGEWOOD AVE MESA 85210	534 W EDGEWOOD AVE MESA AZ USA 85210
134710	13417113	HERNANDEZ PATRICIA/CAROLINA RENNE	-111.843751	33.399994	546 W EDGEWOOD AVE MESA 85210	546 W EDGEWOOD AVE MESA AZ USA 85210
134711	13417114	GONZALEZ ARTURO HERNANDEZ	-111.843971	33.399991	554 W EDGEWOOD AVE MESA 85210	554 W EDGEWOOD AVE MESA AZ USA 85210
134712	13417115	WRIGHT RICHARD K	-111.844189	33.399988	560 W EDGEWOOD AVE MESA 85210	3525 E FOX ST MESA AZ USA 85213
134713	13417116	WILKINSON EDWARD GEORGE II/STORM KAREN AMY	-111.844386	33.399985	566 W EDGEWOOD AVE MESA 85210	566 W EDGEWOOD AVE MESA AZ USA 85210

OBJECTID *	APN *	Owner Name *	Longitude	Latitude	Property Address	Mailing Address
134722	13417125	BOWE KEVIN	-111.844408	33.399565	601 W EDGEWOOD AVE MESA 85210	601 W EDGEWOOD AVE MESA AZ USA 85210
134723	13417126	GIL JOSE/ANA LILIA	-111.844203	33.399568	561 W EDGEWOOD AVE MESA 85210	561 W EDGEWOOD AVE MESA AZ USA 85210
134724	13417127	ALVARADO RUBEN COSSIO	-111.843979	33.399571	555 W EDGEWOOD AVE MESA 85210	555 W EDGEWOOD AVE MESA AZ USA 85210
134725	13417128	FOSTER CHARLES E JR	-111.843756	33.399574	547 W EDGEWOOD AVE MESA 85210	547 W EDGEWOOD AVE MESA AZ USA 85202
134726	13417129	AYALA MARTIN A/MORENO JOSEFINA	-111.843551	33.399577	541 W EDGEWOOD AVE MESA 85210	541 W EDGEWOOD AVE MESA AZ USA 85210
134727	13417130	WALKER WILLIAM C	-111.843352	33.399579	535 W EDGEWOOD AVE MESA 85210	535 W EDGEWOOD MESA AZ USA 85202
134728	13417131	DANEK JUDITH/DANIEL RUSSELL	-111.843151	33.399582	529 W EDGEWOOD AVE MESA 85210	529 W EDGEWOOD AVE MESA AZ USA 85210
134729	13417132	VILLA SILVIA CORTEZ/VEGA RAUL SOTO	-111.842933	33.399584	521 W EDGEWOOD AVE MESA 85210	743 AKERS ST FILMORE CA USA 93015
134730	13417133	ESPINOZA ESTEBAN/ZAIDA	-111.842933	33.399303	522 W ELENA AVE MESA 85210	522 W ELENA AVE MESA AZ USA 85201
134731	13417134	CRUZ JESUS RAMOS	-111.843152	33.399299	530 W ELENA AVE MESA 85210	530 W ELENA AVE MESA AZ USA 85210
134732	13417135	BARRAZA RAMON	-111.843351	33.399297	536 W ELENA AVE MESA 85210	584 E AVE 28 LOS ANGELES CA USA 90031
134733	13417136	JIMENEZ MARCO/YOLANDA QUIROGA DE	-111.84355	33.399294	542 W ELENA AVE MESA 85210	542 W ELENA AVE MESA AZ USA 85210
134734	13417137	MILLER MARY JO/MCH SFR PROPERTY OWNER 4 LLC	-111.843755	33.399291	548 W ELENA AVE MESA 85210	14355 COMMERCE WAY MIAMI LAKES FL USA 33016
134735	13417138	MORENO CHRISTINA	-111.843978	33.399288	554 W ELENA AVE MESA 85210	554 W ELENA AVE MESA AZ USA 852103515
134736	13417139	LOPEZ LALA MONCADA/DIAZ RODOLFO M LOPEZ	-111.844201	33.399285	562 W ELENA AVE MESA 85210	562 W ELENA AVE MESA AZ USA 85210
134745	13417150	GOMEZ ARACELI	-111.844214	33.398863	561 W ELENA AVE MESA 85210	561 W ELENA AVE MESA AZ USA 85210
134746	13417151	YAZZIE MARC-TODD	-111.843991	33.398866	555 W ELENA AVE MESA 85210	555 W ELENA AVE MESA AZ USA 852103514
134747	13417152	AGUILAR SALVADOR AGUILAR/ARACELI A/JOSE A A	-111.843769	33.398869	549 W ELENA AVE MESA 85210	549 W ELENA AVE MESA AZ USA 85210
134748	13417153	SUENOS LIBRE LLC	-111.843564	33.398872	541 W ELENA AVE MESA 85210	8938 E SOUTHERN AVE MESA AZ USA 85209
134749	13417154	BISHOP AIDEN	-111.843358	33.398874	535 W ELENA AVE MESA 85210	441 N LESUEUR APT 7 MESA AZ USA 85203
134750	13417155	JACINTO EUSEBIO	-111.843155	33.398877	529 W ELENA AVE MESA 85210	529 W ELENA AVE MESA AZ USA 85210
134751	13417156	YEPIZ ALVAREZ FRANCISCO E/ISSAC R/YESSICA	-111.842937	33.39888	523 W ELENA AVE MESA 85210	523 W ELENA AVE MESA AZ USA 85210
134752	13417157	PEREZ MARTIN GARCIA/GARCIA MARGARITA	-111.84242	33.400333	805 S VINEYARD MESA 85210	945 S LESUEUR MESA AZ USA 85204
134753	13417158	HERNANDEZ MARCO A ROMERO/ROMERO MIRNA B	-111.842424	33.400127	813 S VINEYARD MESA 85210	813 S VINEYARD RD MESA AZ USA 85210
134754	13417159	JODI MONTGOMERY TRUST	-111.842426	33.399922	821 S VINEYARD MESA 85210	4628 PALOMINO WAY ANTIOCH CA USA 94531
134755	13417160	GASPAR FRANCISCO GASPAR/ZAZUETA ZORAIDA ROMO	-111.842427	33.399716	829 S VINEYARD MESA 85210	829 S VINEYARD MESA AZ USA 85210
134756	13417161	NGUYEN NGHIA	-111.842428	33.399511	837 S VINEYARD MESA 85210	837 S VINEYARD MESA AZ USA 85210
134757	13417162	HPA II BORROWER 2020-1 LLC	-111.842428	33.399305	845 S VINEYARD MESA 85210	6500 INTERNATIONAL PRKWAY STE 1100 PLANO TX USA 75093
134758	13417163	URIARTE SALVADOR/MARIA	-111.84243	33.3991	853 S VINEYARD MESA 85210	853 S VINEYARD MESA AZ USA 85210
134759	13417164	CARDONA AGUSTIN C JR TR	-111.842433	33.398895	861 S VINEYARD MESA 85210	861 S VINEYARD MESA AZ USA 85202
134760	13417165	ESQUER NORMA ALICIA CASTRO	-111.842386	33.397105	959 S VINEYARD MESA 85210	959 S VINEYARD MESA AZ USA 85210
134762	13417166	SALAZAR LUIS R/OROZCO SILVIA J ROJAS	-111.84239	33.397282	953 S VINEYARD MESA 85210	953 S VINEYARD MESA AZ USA 85210
134763	13417167	BARVOZA GAMALIEL BAYONA	-111.842391	33.397456	947 S VINEYARD MESA 85210	949 S LONGMORE APT 103 MESA AZ USA 85202
134764	13417168	ORTIZ LUCIO	-111.842393	33.397629	941 S VINEYARD MESA 85210	941 S VINEYARD ST MESA AZ USA 85210
134765	13417169	CRUZ LUIS H/TORRES HORTENCIA L	-111.842393	33.397803	935 S VINEYARD MESA 85210	935 S VINEYARD ST MESA AZ USA 85210
134766	13417170	ZAK VENTURES LLC	-111.842394	33.397977	927 S VINEYARD MESA 85210	10115 E BELL RD STE 107 PMB 232 SCOTTSDALE AZ USA 85266
134767	13417171	ESPARZA JUAN C/ANGELES WENDY R PERALTA	-111.842395	33.39815	915 S VINEYARD MESA 85210	915 S VINEYARD MESA AZ USA 85210
134768	13417172	D-GLASS INTERNATIONAL LLC	-111.842395	33.398322	915 S VINEYARD MESA 85210	915 S VINEYARD ST MESA AZ USA 85210
134769	13417173	VOGLER MARTHA A	-111.842406	33.398493	909 S VINEYARD MESA 85210	909 S VINEYARD MESA AZ USA 85210
134770	13417174	MENEZDEZ BRANDON ERICK	-111.842424	33.39866	903 S VINEYARD MESA 85210	903 S VINEYARD MESA AZ USA 85210
134772	13417175	GUTIERREZ APOLONIO L	-111.842903	33.398585	526 W EMELITA AVE MESA 85210	526 W EMELITA AVE MESA AZ USA 85210
134773	13417176	DIXON MIKE A/ANGELA R	-111.843112	33.398587	532 W EMELITA AVE MESA 85210	532 W EMELITA AVE MESA AZ USA 85210
134774	13417177	AMOS ANGELA	-111.84331	33.398585	538 W EMELITA AVE MESA 85210	538 W EMELITA AVE MESA AZ USA 85210
134775	13417178	VARGAS ANA	-111.84351	33.398582	544 W EMELITA AVE MESA 85210	544 W EMELITA AVE MESA AZ USA 85210
134776	13417179	CASTILLO MICHAEL/VARGAS ADILENE	-111.843722	33.398579	550 W EMELITA AVE MESA 85210	544 W EMELITA AVE MESA AZ USA 85210
134777	13417180	GOMEZ DE MEDINA LAURA E	-111.843944	33.398576	558 W EMELITA AVE MESA 85210	558 W EMELITA AVE MESA AZ USA 85210
134778	13417181	BAKER JEFFREY S/ELIZABETH A	-111.844166	33.398573	564 W EMELITA AVE MESA 85210	2541 E HIGHLAND ST MESA AZ USA 85213
134821	13417227	SKREE BENJAMIN	-111.843914	33.398147	557 W EMELITA AVE MESA 85210	557 W EMELITA AVE MESA AZ USA 85210
134822	13417228	RUPPEL BENJAMIN/GREEN-RUPPEL CRYSTAL	-111.843708	33.398149	551 W EMELITA AVE MESA 85210	551 W EMELITA AVE MESA AZ USA 85210
134823	13417229	APOLINAR CASAMIDA CECILIA	-111.843499	33.398152	545 W EMELITA AVE MESA 85210	545 W EMELITA AVE MESA AZ USA 85210
134824	13417230	CANO MARICELA	-111.843283	33.398154	537 W EMELITA AVE MESA 85210	537 W EMELITA AVE MESA AZ USA 85210
134825	13417231	BAYTT LLC	-111.843071	33.398157	531 W EMELITA AVE MESA 85210	21912 S 156TH ST GILBERT AZ USA 85298
134826	13417232	FULLMER TERESA/MEZA ERIKA	-111.842855	33.398159	525 W EMELITA AVE MESA 85210	1123 PARK VIEW DR COVINA CA USA 91724
134827	13417233	WINTER PATRICK J/KATHRYN L	-111.842851	33.39787	524 W ENID AVE MESA 85210	524 W ENID AVE MESA AZ USA 85210
134828	13417234	TEMPLE KIMBERLY	-111.843065	33.397865	530 W ENID AVE MESA 85210	530 W ENID AVE MESA AZ USA 85210
134863	13417274	ATKINS WILLIAM JACOBZACHARY/CHUBRICH ROBERT E	-111.843482	33.397431	543 W ENID AVE MESA 85210	543 W ENID AVE MESA AZ USA 85210
134864	13417275	GARCIA ROCIO G/PINEDO FELIPE	-111.843269	33.397434	535 W ENID AVE MESA 85210	535 W ENID AVE MESA AZ USA 85202
134865	13417276	MARTIN GABRIEL	-111.843058	33.397437	529 W ENID AVE MESA 85210	529 W ENID AVE MESA AZ USA 85210
134867	13417277	MUNGUIA GABRIEL/MARIA FIERRO	-111.842844	33.397438	523 W ENID AVE MESA 85210	523 W ENID AVE MESA AZ USA 85210
134869	13417278	NGUYEN KHOA B/DO PHUONG-KIEU V	-111.842839	33.397151	526 W EMERALD AVE MESA 85210	526 W EMERALD AVE MESA AZ USA 85210
134870	13417279	SOTO RICARDO	-111.843053	33.397146	532 W EMERALD AVE MESA 85210	532 W EMERALD AVE MESA AZ USA 85210
172538	13940002	ROJAS BERNARDO PARRA	-111.839474	33.401242	741 S COUNTRY CLUB DR MESA 85210	2901 W GOLDEN LN PHOENIX AZ USA 85051
172539	13940004	YUCCA TRAILER RANCH LLC	-111.839474	33.401563	735 S COUNTRY CLUB DR MESA 85210	2942 N 24TH ST STE 114 - 691 PHOENIX AZ USA 85016
172540	13940020F	JULG LLC	-111.838186	33.401898	725 S MORRIS CIR MESA 85210	8108 W CARLOTA LN PEORIA AZ USA 85383
172541	13940020G	RAY L AND SANDRA FREMEL REV LIVING TRUST	-111.838778	33.402303	706 S MORRIS CIR MESA 85210	46233 N 38TH AVE NEW RIVER AZ USA 85027
172542	13940020J	MESA COMMERCIAL PARTNERS LLC	-111.839477	33.402102	715 S COUNTRY CLUB DR MESA 85210	715 S COUNTRY CLUB DR MESA AZ USA 85210
172543	13940020K	GINSBURG FAMILY LIVING TRUST	-111.838779	33.402102	714 S MORRIS CIR MESA 85210	2164 N SUMMER ST MESA AZ USA 85203
172544	13940020L	IPF AZ LLC	-111.838773	33.4019	718 S MORRIS CIR MESA 85210	PO BOX 164 MESA AZ USA 85211
172546	13940020N	LG4J LLC	-111.838193	33.4021	717 S MORRIS CIR MESA 85210	8108 W CARLOTA LN PEORIA AZ USA 85383
172547	13940024A	MESA COMMERCIAL PROPERTIES LLC	-111.83946	33.402723	645 S COUNTRY CLUB DR MESA 85210	645 S COUNTRY CLUB DR MESA AZ USA 85210
172554	13940032C	SANTANA JORGE	-111.837032	33.4008	242 W 8TH AVE MESA 85210	242 W 8TH AVE MESA AZ USA 85210
172555	13940032D	LOPEZ JUAN/FABIAN YULIANA	-111.837254	33.400821	254 W 8TH AVE MESA 85210	254 W 8TH AVE MESA AZ USA 85210
172562	13940161	NRJS LLC	-111.83703	33.401345	260 W 8TH AVE MESA 85210	6027 E PHELPS DR SCOTTSDALE AZ USA 85254
172563	13940038A	ALLIE HAROLD F/GLORIA J	-111.839467	33.403176	635 S COUNTRY CLUB DR MESA 85210	615 S COUNTRY CLUB DR MESA AZ USA 85210
172576	13940057	JIP LLC	-111.838773	33.401709	724 S MORRIS CIR MESA 85210	MESA AZ USA 85211
172577	13940058	ROSENBAUM REALTY LLC	-111.838185	33.401529	733 S MORRIS CIR MESA 85210	1324 N FARRELL CT 109 GILBERT AZ USA 85233
172578	13940059	JIP L C	-111.838774	33.401531	730 S MORRIS CIR MESA 85210	PO BOX 164 MESA AZ USA 85211
172579	13940060A	739 MC LLC	-111.838197	33.401356	739 S MORRIS CIR MESA 85210	744 S MORRIS CIR MESA AZ USA 85210
172582	13940063	FIELD J IRENE PINE	-111.838775	33.401173	744 S MORRIS CIR MESA 85210	PO BOX 164 MESA AZ USA 85211
172583	13940064	739MC LLC	-111.838187	33.400993	751 S MORRIS CIR MESA 85210	744 S MORRIS CIR MESA AZ USA 85210
172585	13940066	WILCOX ISABELLE R	-111.838187	33.400792	310 W 8TH AVE MESA 85210	3021 LILY ROCK DR FONTANA CA USA 92336
172587	13940068	FEM LLC	-111.838188	33.402523	665 S MORRIS CIR MESA 85210	PO BOX 164 MESA AZ USA 85211
172588	13940069	ALPHA OMEGA GROUP TRUST	-111.838162	33.402781	653 S MORRIS CIR MESA 85210	14201 N 11TH WAY PHOENIX AZ USA 85022
172593	13940073	MICHELLE LAGRAVE ANTHONY TRUST	-111.838828	33.402991	642 S MORRIS CIR MESA 85210	17871 LA ROSA LN FOUNTAIN VALLEY CA USA 92708
172594	13940074	GINSBURG CHARLES O/BONNIE J TR	-111.838804	33.402782	654 S MORRIS CIR MESA 85210	2208 N GAYLORD MESA AZ USA 85213
172595	13940075	JIP LLC	-111.838777	33.402524	664 S MORRIS CIR MESA 85210	PO BOX 164 MESA AZ USA 85211

OBJECTID *	APN *	Owner Name *	Longitude	Latitude	Property Address	Mailing Address
172596	13940135	GARTON REVOCABLE TRUST	-111.837478	33.400836	260 W 8TH AVE MESA 85210	MESA AZ USA 85210
172597	13940136	AMBERWOODB2 LLC	-111.837293	33.401062	260 W 8TH AVE MESA 85210	PHOENIX AZ USA 85041
172614	13940153	LOPEZ FAMILY TRUST	-111.837776	33.402296	260 W 8TH AVE MESA 85210	450 E CRESCENT PL CHANDLER AZ USA 85249
172615	13940154	CURTIS LESLIE WHITE 2021 TRUST	-111.837788	33.401946	260 W 8TH AVE MESA 85210	8015 SHANTUNG DR SANTEE CA USA 92071
172616	13940155	RODRIGUEZ LILIANA S	-111.837788	33.401726	260 W 8TH AVE MESA 85210	260 W 8TH AVE MESA AZ USA 85210
172617	13940156	NILE INVESTMENTS LLC	-111.837789	33.401506	260 W 8TH AVE MESA 85210	PO BOX 2891 GILBERT AZ USA 85299
172618	13940157	CHAO JANIEY	-111.837789	33.401286	260 W 8TH AVE MESA 85210	2620 S BIRCH ST GILBERT AZ USA 85295
172619	13940158	RINGEL BRIAN	-111.837789	33.401066	260 W 8TH AVE MESA 85210	5824 E HOLMES AVE MESA AZ USA 85206
172620	13940159	DALUIISO FERNANDO	-111.837779	33.400846	260 W 8TH AVE MESA 85210	7820 E CAMELBACK RD UNIT 602 SCOTTSDALE AZ USA 85251
172621	13940160	TORRES TIMOTEO C	-111.837279	33.401345	260 W 8TH AVE MESA 85210	1740 GREVELIA ST APT A SOUTH PASADENA CA USA 91030
172625	13940167	VORDERBRUEGGE DARREN	-111.837279	33.401549	260 W 8TH AVE MESA 85210	2485 PALI HWY APT A HONOLULU HI USA 968177411
172626	13940168	SWJB PROPERTIES LLC	-111.837279	33.401818	260 W 8TH AVE MESA 85210	260 W 8TH AVE MESA AZ USA 85210
172633	13940176	AMBERWOOD MANOR ASSOCIATION	-111.83697	33.401211	260 W 8TH AVE MESA 85210	16625 S DESERT FOOTHILLS PKWY PHOENIX AZ USA 85048
172960	13943001D	TIDES ON COUNTRY CLUB OWNER II LLC	-111.837752	33.399122	901 S COUNTRY CLUB DR MESA 85210	11726 SAN VICENTE BLVD STE 300 LOS ANGELES CA USA 90049
172961	13943002C	HARPER FAMILY TRUST/HARPER SOPHIE MARIE	-111.836978	33.40029	235 W 8TH AVE MESA 85210	15436 E CHANDLER HEIGHTS RD GILBERT AZ USA 85298
172966	13943005G	VOLPIANO 951 LLC	-111.839696	33.397744	951 S COUNTRY CLUB DR MESA 85210	945 E CURRY RD TEMPE AZ USA 85281
172967	13943005H	ARCOS ESTATES LLC	-111.837197	33.39746	312 W 10TH AVE MESA 85210	PO BOX 412 GLENDALE AZ USA 85311
172968	13943005K	AIELLO ANTHONY C	-111.839709	33.397506	953 S COUNTRY CLUB DR MESA 85210	7887 N 16TH ST 119 PHOENIX AZ USA 85020
172969	13943005N	GAL PNINA	-111.839707	33.397227	955 S COUNTRY CLUB DR MESA 85210	5 HEATHERBRAE AVE CAULFIELD VIC AUS 3162
172971	13943005Q	REO ENTERPRISE LLC	-111.838831	33.397462	334 W 10TH AVE MESA 85210	MESA AZ USA 85210
172972	13943005R	KUSTOM KOLORS COLLISION CENTER LLC	-111.839282	33.397457	348 W 10TH AVE MESA 85210	348 W 10TH AVE 3 MESA AZ USA 85210
172973	13943007K	915 COUNTRY CLUB MESA LLC	-111.838926	33.398128	925 S COUNTRY CLUB DR MESA 85210	4240 W GLENDALE AVE GLENDALE AZ USA 85051
172977	13943007T	CUBESMART LP	-111.838397	33.398203	909 S COUNTRY CLUB DR MESA 85210	PO BOX 320099 ALEXANDRIA VA USA 22320
172979	13943010B	833 COUNTRY CLUB LLC	-111.839416	33.399869	833 S COUNTRY CLUB DR MESA 85210	4040 E MCLELLAN UNIT 4 MESA AZ USA 85205
172980	13943011A	MARCOS CASITAS LLC	-111.838566	33.400337	313 W 8TH AVE MESA 85210	544 S PASADENA MESA AZ USA 85210
172982	13943014A	ARIZONA KAWASAKI INC	-111.839398	33.40022	817 S COUNTRY CLUB DR MESA 85210	817 S COUNTRY CLUB DR MESA AZ USA 85210
172983	13943014B	CIRCLE K STORES INC	-111.839696	33.400393	801 S COUNTRY CLUB DR MESA 85210	1130 W WARNER RD BLDG TEMPE AZ USA 85284
173039	13944039	JANZEN JOHN N/SHIRLEY L	-111.839037	33.396798	1008 S MORRIS MESA 85210	838 W LINDNER AVE MESA AZ USA 85210
1392147	13940001B	COUNTRY CLUB ESTATE LLC	-111.839656	33.400818	757 S COUNTRY CLUB DR MESA 85210	3521 E FOUNTAIN ST MESA AZ USA 85213
1392155	13940001A	LUIS R VENTURO REVOCABLE TRUST	-111.839234	33.400817	348 W 8TH AVE MESA 85210	1305 N MCKENNA LN GILBERT AZ USA 85233
1392156	13940003	PERKINS KENNETH P JR/RONALD C JR	-111.839474	33.401056	747 S COUNTRY CLUB DR MESA 85210	747 S COUNTRY CLUB DR MESA AZ USA 85210
1540597	13944015C	MTI ENTERPRISES LLC	-111.839569	33.396674	1001 S COUNTRY CLUB DR MESA 85210	1001 S COUNTRY CLUB DR MESA AZ USA 85210
1566170	13417022K	TRICOMM BUILDING LLC	-111.841097	33.396649	1040 S COUNTRY CLUB DR MESA 85210	PO BOX 5704 VALLEJO CA USA 945913706

Exhibit B
Notice

PUBLIC STORAGE
Invites you to a:
IN-PERSON & VIRTUAL COMMUNITY MEETING
Redevelopment of 810 S. COUNTRY CLUB DR.
Wednesday, November 29, 2023, 6:00 PM-7:00 PM

The purpose of this meeting is to inform the community about the development of 810 S. Country Club Dr. Representatives from Public Storage will present the project and be available to answer any questions and receive community comments on the project.

PROJECT DESCRIPTION: The proposed project is a new 3-story Public Storage facility. This development will replace the previous facility that was damaged in a fire and then demolished. It will have minimal to no impact on public services and infrastructure. This development requires Design Review approval and the following deviations through the Bonus Intensity Zone Overlay District: increase in building height, reduction for landscape yards at south and west property lines, re-allocation of landscape foundation base area, and driveway throat setback reduction. Existing zoning of the site is GC (C-3) General Commercial, and will remain as is.

PROJECT ADDRESS: 810 S. Country Club Dr. (APN 134-17-017F)
APPLICATION NUMBER: ZON23-00609 & DRB23-00614

To register and participate, please send an email to: 810CountryClubDr@gmail.com. You will receive a meeting confirmation and connection details.

For questions or comments before or after the meeting, please contact project applicant Cherry Miao from Public Storage at (707) 595-8472 x3409 or by email at CMiao@publicstorage.com.

For questions about City policies, standards and procedures, please contact the project planner: Emily Johnson, Planner I at (480) 644-3952 or by email at Emily.Johnson@mesaz.gov.



View from W. 8th Ave.

**810 S. Country Club Dr.
Mesa, AZ.**

**COMMUNITY MEETING
(In-Person & Virtue)**

**Proposed Development of 810 S. Country Club Dr.
Wednesday, November 29 6:00-7:00 PM**

**To register and attend, please send an email including
your name and mailing address to:
810CountryClubDr@gmail.com
You will receive a meeting confirmation and
connection details.**

ATTENDEE ADDRESS

