

# THE CRAFTSMAN ON ELLIOT

8264 EAST ELLIOT ROAD,  
MESA, ARIZONA 85212

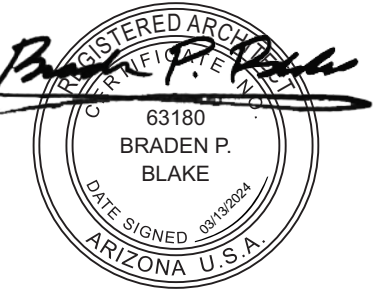


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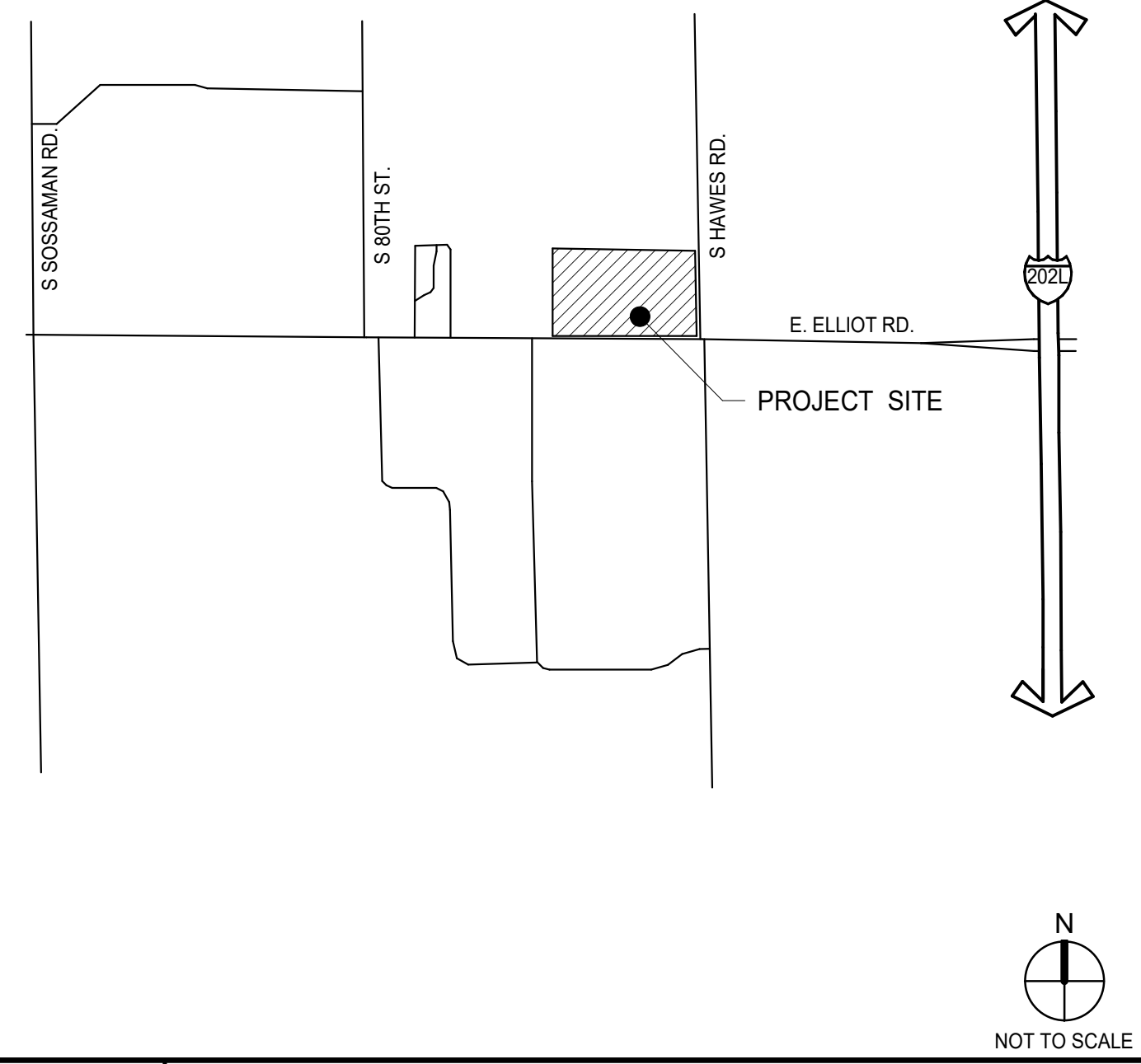
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**WARE MALCOMB**  
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8264 EAST ELLIOT ROAD,  
MESA, ARIZONA 85212

### VICINITY MAP



### OWNER

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T.B.D.

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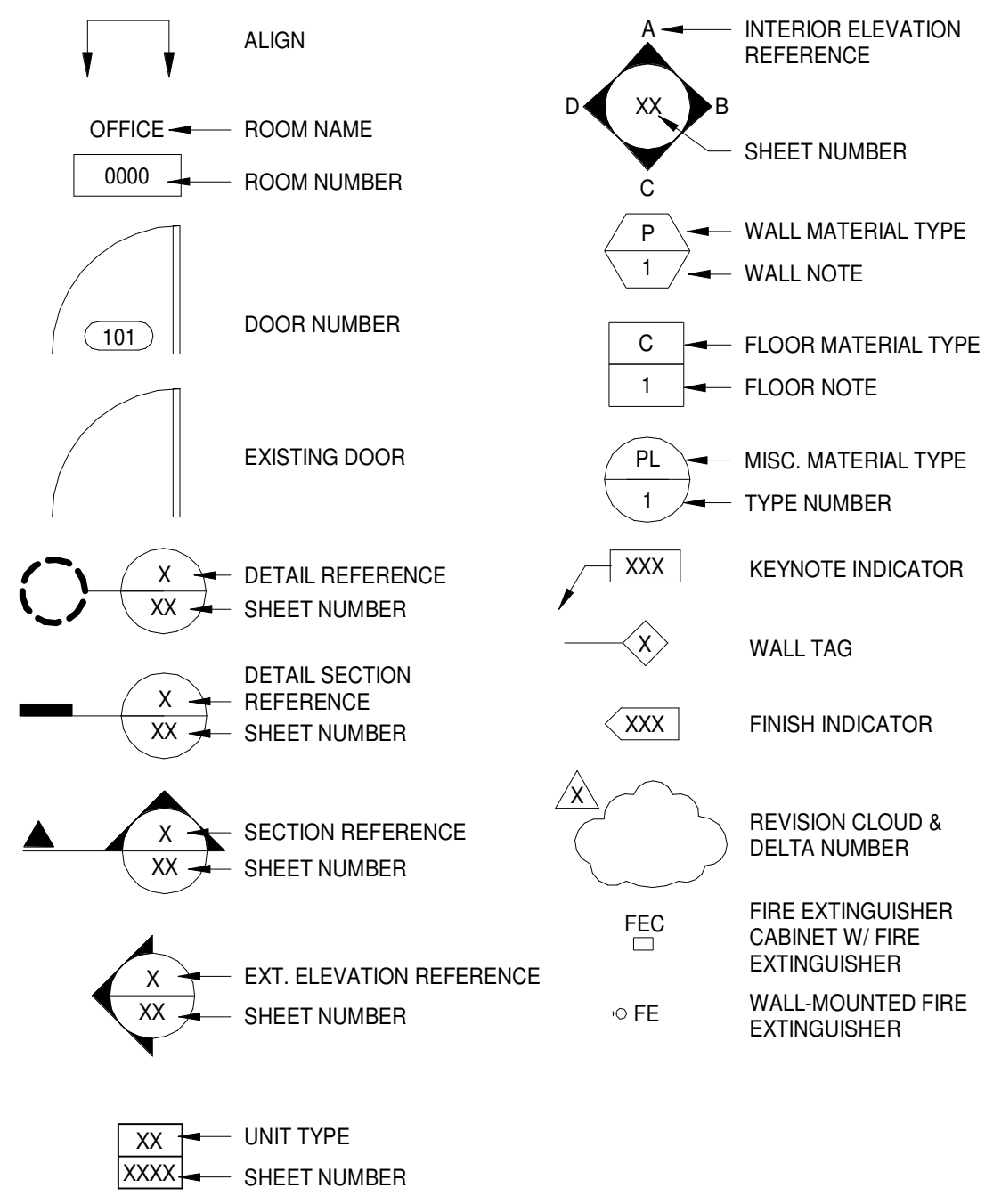
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DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	H.A./E.M.
JOB NO.:	PHX22-0196-00

SHEET  
**DR000**

SYMBOLS



ABBREVIATIONS

ABBREVIATIONS: A comprehensive list of abbreviations for architectural elements such as ANGLE, CENTERLINE, POUND or NUMBER, and many others.

UNIT DATA

UNIT TABULATION PER BUILDING MULTIFAMILY BUILDING (# OF BUILDINGS: 3)

UNIT TABULATION PER BUILDING MULTIFAMILY/RETAIL BUILDING (# OF BUILDINGS: 1)

UNIT TABULATION PER BUILDING MIXED USE BUILDING (# OF BUILDINGS: 1)

UNIT TABULATION PER BUILDING LIVE/WORK BUILDING (# OF BUILDINGS: 1)

UNIT TABULATION PER BUILDING CARRIAGE HOUSE BUILDING (# OF BUILDINGS: 4)

UNIT MATRIX: A table summarizing unit counts and percentages for various unit types across different buildings.

WARE MALCOMB ARCHITECTURE PLANNING INTERIORS. 2777 E. Camelback Rd. Suite #325 Phoenix, AZ 85016 P: 480.767.1001



THE CRAFTSMAN ON ELLIOT 8264 EAST ELLIOT ROAD, MESA, ARIZONA 85212

PROJECT DATA: A table with columns for DATE, REMARKS, and PRE-APPLICATION SUBMITTAL #.

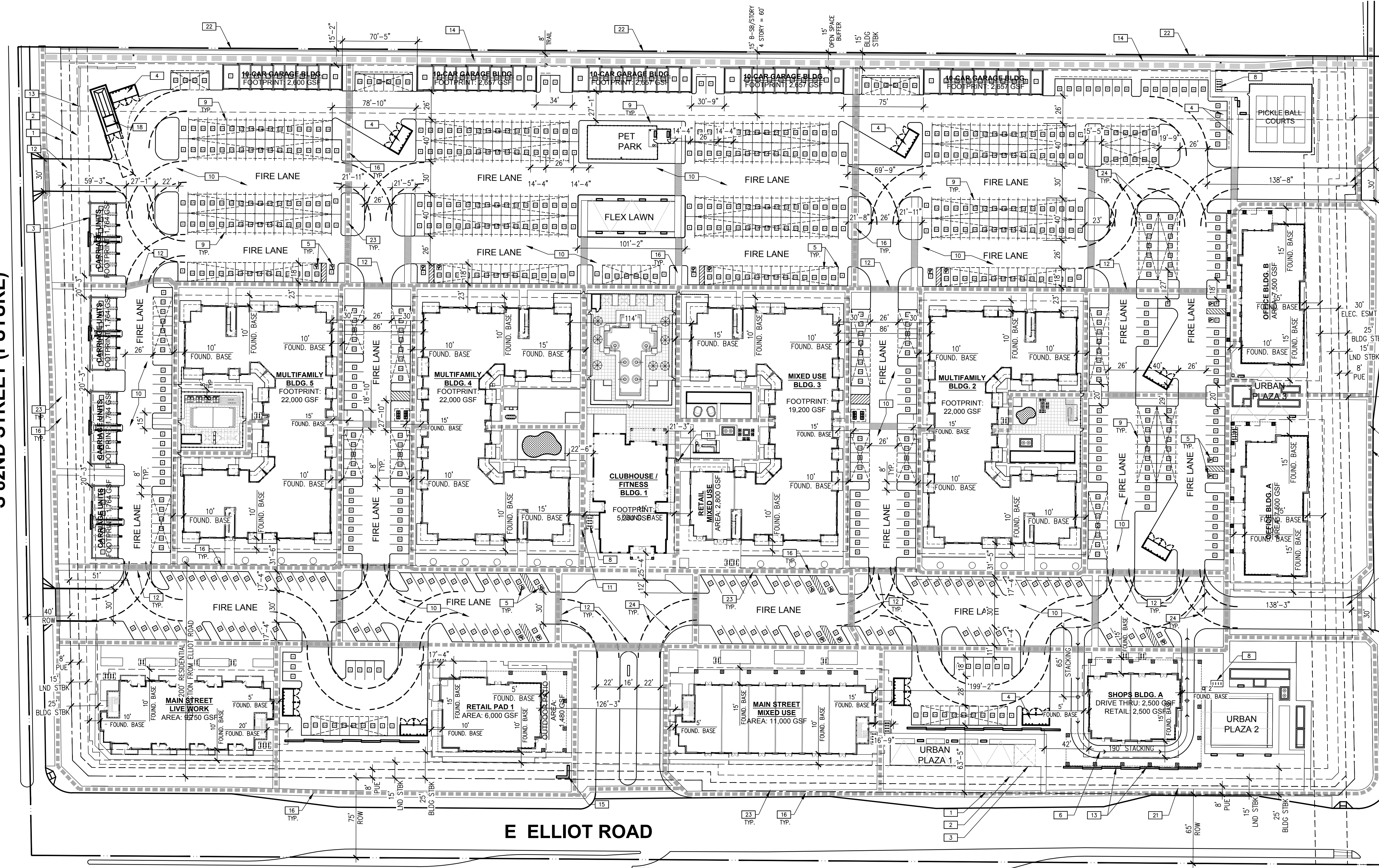
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S 82ND STREET (FUTURE)

S HAWES ROAD

E ELLIOT ROAD



1" = 50'  
0 25 50 100 250  
SITE PLAN  
1" = 40'-0"

**SITE PLAN KEYNOTES**

- 1 PROPERTY LINE (———)
- 2 LANDSCAPE SETBACK LINE
- 3 25' MAX. BUILDING SETBACK LINE
- 4 C.O.M. STANDARD DOUBLE BIN ENCLOSURE. SEE SITE DETAILS SHEET.
- 5 C.O.M. STANDARD ACCESSIBLE PARKING STALL. SEE SITE DETAILS SHEET.
- 6 DRIVE-THRU STACKING PER MZO SECTION 11.31.18(E)
- 7 RETENTION BASIN; SEE CIVIL PLANS.
- 8 BIKE RACKS (8 BIKE STALLS PER RACK), TYPICAL.
- 9 PRE-ENGINEERED PARKING SHADE STRUCTURE; TYPICAL. SEE SITE DETAILS SHEET.
- 10 FIRE LANE, PAINT CURB PER CITY STANDARDS.
- 11 SECURED-ACCESS PEDESTRIAN GATE. SEE LANDSCAPE PLANS.
- 12 6" WIDE PAVERS FINISH PEDESTRIAN CROSSWALKS AT PAVEMENT, RAISE 3" ABOVE VEHICLE LANE PER MZO SECTION 11-32-4(C)
- 13 DECORATIVE SCREEN WALL. SEE LANDSCAPE PLANS.
- 14 8'-0" STABILIZED D.G. PEDESTRIAN TRAIL PER HAWES CROSSING PAD (———)
- 15 PROPOSED FUTURE MONUMENT SIGN LOCATION.
- 16 6" CONCRETE SIDEWALK, TYPICAL.
- 17 CITY OF MESA TYPICAL PARKING STALL LAYOUT. SEE SITE DETAILS SHEET.
- 18 C.O.M. STANDARD CMU TRASH COMPACTOR ENCLOSURE. SEE SITE DETAILS SHEET.
- 19 DECORATIVE SECURITY METAL FENCE. SEE LANDSCAPE PLANS FOR FENCE DESIGN.
- 20 SITE ACCESS DRIVEWAY TO ALIGN WITH ADJACENT PROPERTY.
- 21 PROPOSED FUTURE BUS PAD. OFF-SITE STREET DESIGN SHOWN FOR REFERENCE ONLY.
- 22 6' H SCREENING WALL ALONG NORTH PROPERTY LINE; SEE LANDSCAPE PLANS.
- 23 PEDESTRIAN CIRCULATION PATH (———), ON 6'-0" WIDE ADA COMPLIANT SIDEWALK.
- 24 FIRE TRUCK MANEUVERING CLEARANCE; 35' INSIDE RADIUS, 55' OUTSIDE RADIUS.

**TRASH VOLUME CALCULATION**

REFERENCE CITY OF MESA STANDARD DETAIL M-62.02.2(2), M-62.02.2(3), AND M-62.02.2(4)

**MULTI-FAMILY TRASH CALCULATION:**

D.U.	CY TRASH PER WEEK PER UNIT	TOTAL TRASH PER WEEK	COMPACTOR RATIO	TOTAL TRASH (CY)
386	0.5	193	4.1	48.25
CONTAINER TYPE	NUMBER	CAPACITY (CY) <td>PICKUPS PER WEEK</td> <td>CAPACITY PER WEEK PER CONTAINER</td>	PICKUPS PER WEEK	CAPACITY PER WEEK PER CONTAINER
COMPACTOR	1	25	1	25
STANDARD BIN	5	6	1	30
TOTAL CAPACITY PER WEEK: 55				

**RECYCLING:**

D.U.	CY TRASH PER WEEK PER UNIT	TOTAL TRASH PER WEEK	TOTAL RECYCLING (CY)
386	0.125	48.25	48.25
CONTAINER TYPE	NUMBER	CAPACITY (CY) <td>PICKUPS PER WEEK</td>	PICKUPS PER WEEK
STANDARD BIN	5	6	2
TOTAL RECYCLING PER WEEK PER CONTAINER: 60			

NOTE: TRASH FROM UNITS WILL BE COLLECTED BY A PERMANENT CONCIERGE SERVICE, PROVIDED BY THE APARTMENT COMPLEX

**COMMERCIAL TRASH CALCULATION:**

REFERENCE TO CITY OF MESA STANDARD DETAIL M-62.02.2(1) EACH COMMERCIAL BUILDING REQUIRES (1) DOUBLE ENCLOSURE

SIDE(E)	REAR(N)	SIDE(W)	FRONT(S)
25'	25'	25'	25'
15'	15'	15'	15'

DOUBLE ENCLOSURE PROVIDED: 4

**DEVELOPMENT DATA**

**PROJECT DESCRIPTION**  
THE SCOPE OF THIS PROJECT IS THE MASTER PLANNING OF A MIXED USE DEVELOPMENT THAT INCLUDES 4 NEW MULTI STORY MULTIFAMILY APARTMENT BUILDINGS AND 5 COMMERCIAL USE SINGLE STORY BUILDINGS, BUILT OVER ONE PHASE.

A.P.N. 304-04-031  
LOCATION NWC ELLIOT RD. AND S. HAWES RD., MESA, AZ

GROSS SITE AREA 978,357 SF (22.46 ACRES)  
NET SITE AREA 838,780 SF (19.26 ACRES)  
CURRENT ZONING MX-U (MIXED USE URBAN)  
PROPOSED USE COMMERCIAL AND MULTIFAMILY DEVELOPMENT

EXISTING USE: VACANT LOT / AGRICULTURE  
GENERAL PLAN: MIXED USE / EMPLOYMENT

LOT USE PERCENTAGES (NET AREAS):  
RESIDENTIAL 553,280 SF (12.71 AC) = 65%  
COMMERCIAL 285,500 SF (6.55 AC) = 35%

MAXIMUM SETBACKS PROVIDED:  
BUILDING 25' SIDE(E), 25' REAR(N), 25' SIDE(W), 25' FRONT(S)  
LANDSCAPE 15' SIDE(E), 15' REAR(N), 15' SIDE(W), 15' FRONT(S)

URBAN PLAZA AREA:  
URBAN PLAZA #1 8,300 SF  
URBAN PLAZA #2 13,750 SF  
URBAN PLAZA #3 2,500 SF  
TOTAL URBAN PLAZA AREA: 24,550 SF

TOTAL SITE AREA: 838,780 SF  
REQUIRED COVERAGE: 2.0% (PER HAWES CROSSING PAD)  
AREA REQUIRED (2.0%) = 16,776 SF  
AREA PROVIDED (2.9%) = 24,550 SF

**RESIDENTIAL PROJECT DATA**

VALUES ARE APPROXIMATE FOR INITIAL SITE PLANNING PURPOSES  
RESIDENTIAL SITE AREA 553,280 SF (12.71 AC)

RESIDENTIAL BUILDING MIXED-USE APARTMENTS  
APARTMENTS (1) x 19,200 SF = 19,200 SF  
CARRIAGE HOUSE (3) x 22,000 SF = 66,000 SF  
MAIN ST LIVE/WORK (4) x 1,600 SF = 6,400 SF  
MAIN ST MIXED-USE (1) x 11,000 SF  
TOTAL BUILDING AREA 113,600 SF

RESIDENTIAL UNITS MIXED-USE APARTMENTS  
APARTMENTS (1) x (84) DU ea = 84 DU  
CARRIAGE HOUSE (3) x (88) DU ea = 264 DU  
CARRIAGE HOUSE (4) x (2) DU ea = 8 DU  
MAIN ST LIVE/WORK (1) x 18 DU  
MAIN ST MIXED-USE (1) x 12 DU  
TOTAL UNITS 386 DU

DENSITY 60% MRU CAP: 193  
DENSITY ALLOWED 25 D.U. / AC  
DENSITY PROVIDED 17.19 DU/AC  
GROSS = 386 / 22.46 = 17.19 DU/AC  
NET = 386 / 19.26 = 20.04 DU/AC

BUILDINGS COVERAGE TOTAL BUILDINGS AREA 113,600 SF  
BUILDING COVERAGE 21%

PARKING 386 UNITS (1.6 SP/DU) = 618 SP  
RESIDENTIAL (SURFACE): 94 SP  
RESIDENTIAL (GARAGE): 74 SP  
RESIDENTIAL (COVERED): 405 SP  
SHARED (SURFACE): 78 SP  
TOTAL PARKING 651 SP

PARKING RATIO 651 SP / 386 DU = 1.68 SP/DU

**COMMERCIAL PROJECT DATA**

VALUES ARE APPROXIMATE FOR INITIAL SITE PLANNING PURPOSES  
COMMERCIAL SITE AREA 285,500 SF (6.55 AC)

BUILDINGS COVERAGE TOTAL BUILDINGS AREA 42,050 SF  
BUILDING COVERAGE 14.71%

OPEN SPACE (5%) REQUIRED (42,000'05) = 2,100 SF  
PROVIDED = 24,550 SF

BUILDING TYPE OFFICE 15,000 SF  
REST - SIT DOWN 6,000 SF  
REST - PATIO 1,480 SF  
REST - DRIVE THRU 2,500 SF  
RETAIL 16,300 SF  
TOTAL COMMERCIAL 41,280 SF

PARKING REQUIRED OFFICE 1/375 SF = 40  
REST - SIT DOWN 1/75 SF = 80  
REST - PATIO 1/200 SF = 8  
REST - DRIVE THRU 1/100 SF = 25  
RETAIL 1/275 SF = 60  
TOTAL 214

DEDICATED RETAIL: COVERED: 42  
SHARED: 78  
PROVIDED: 224

PARKING RATIO: 5.3 SP / 1,000 SF

**OVERALL SITE PLAN**

DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
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01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV.1

PA / PM: C.BRUCE

DRAWN BY: W.M.

JOB NO.: PHX22-0196-00

SHEET

**DR050**

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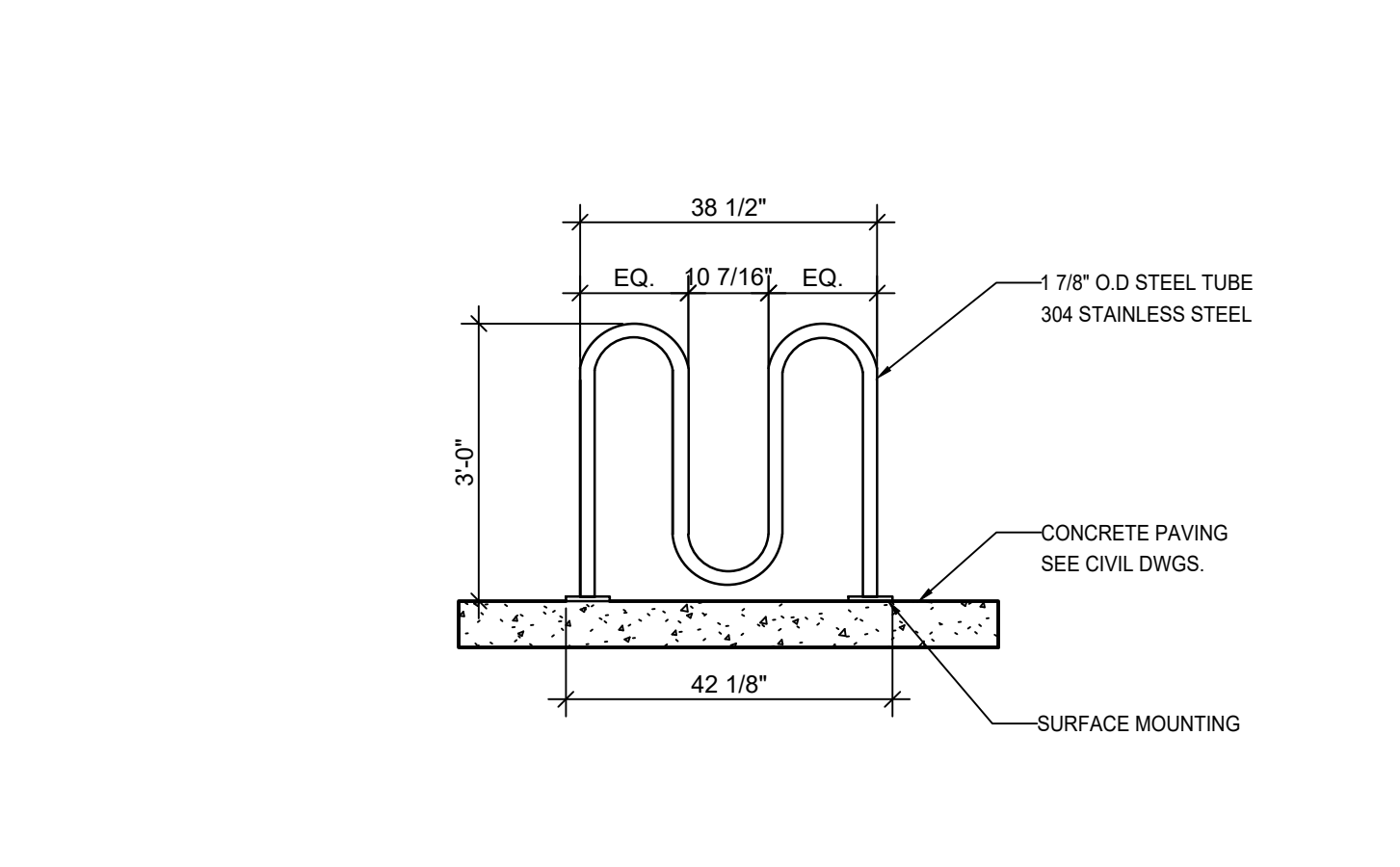
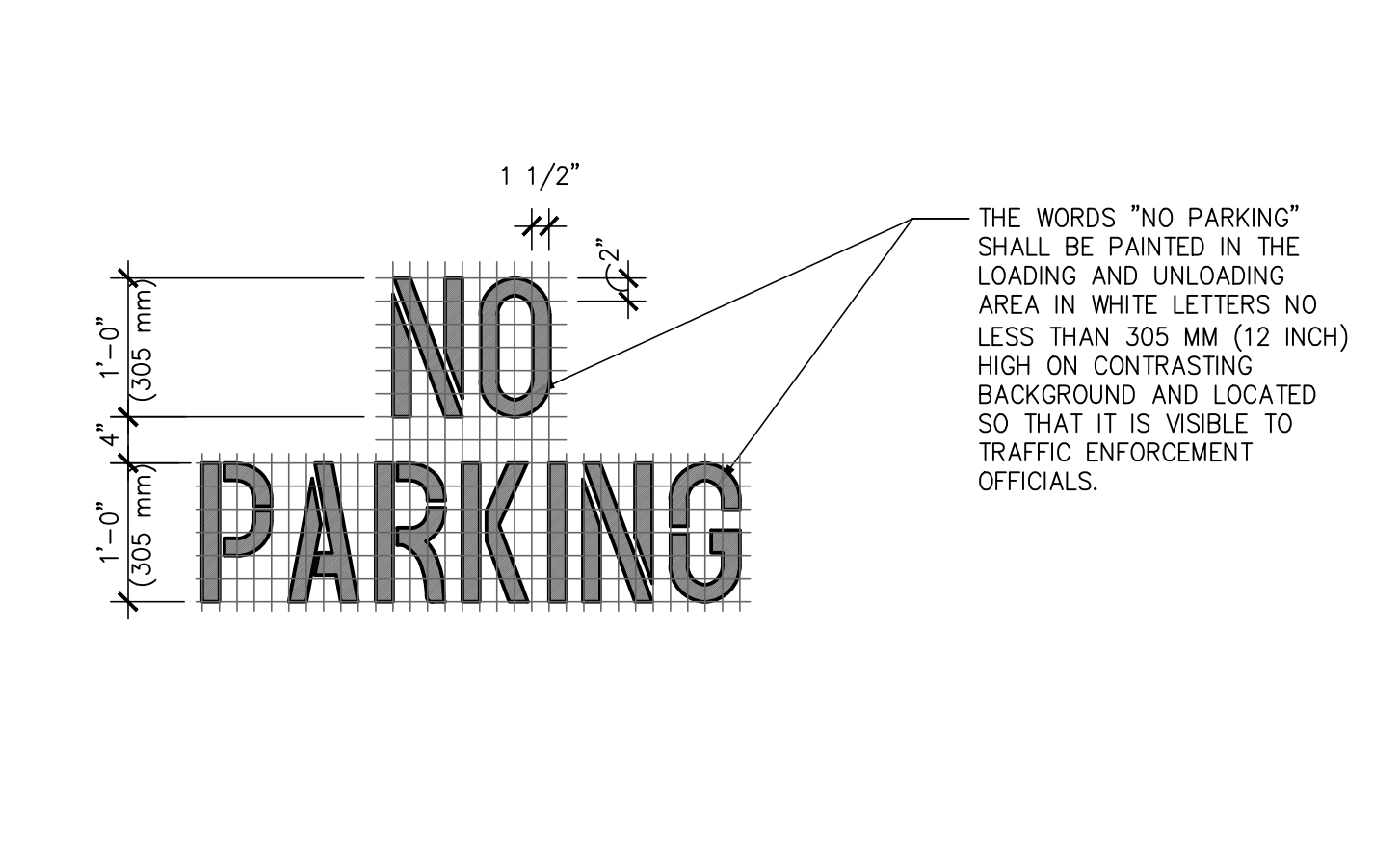
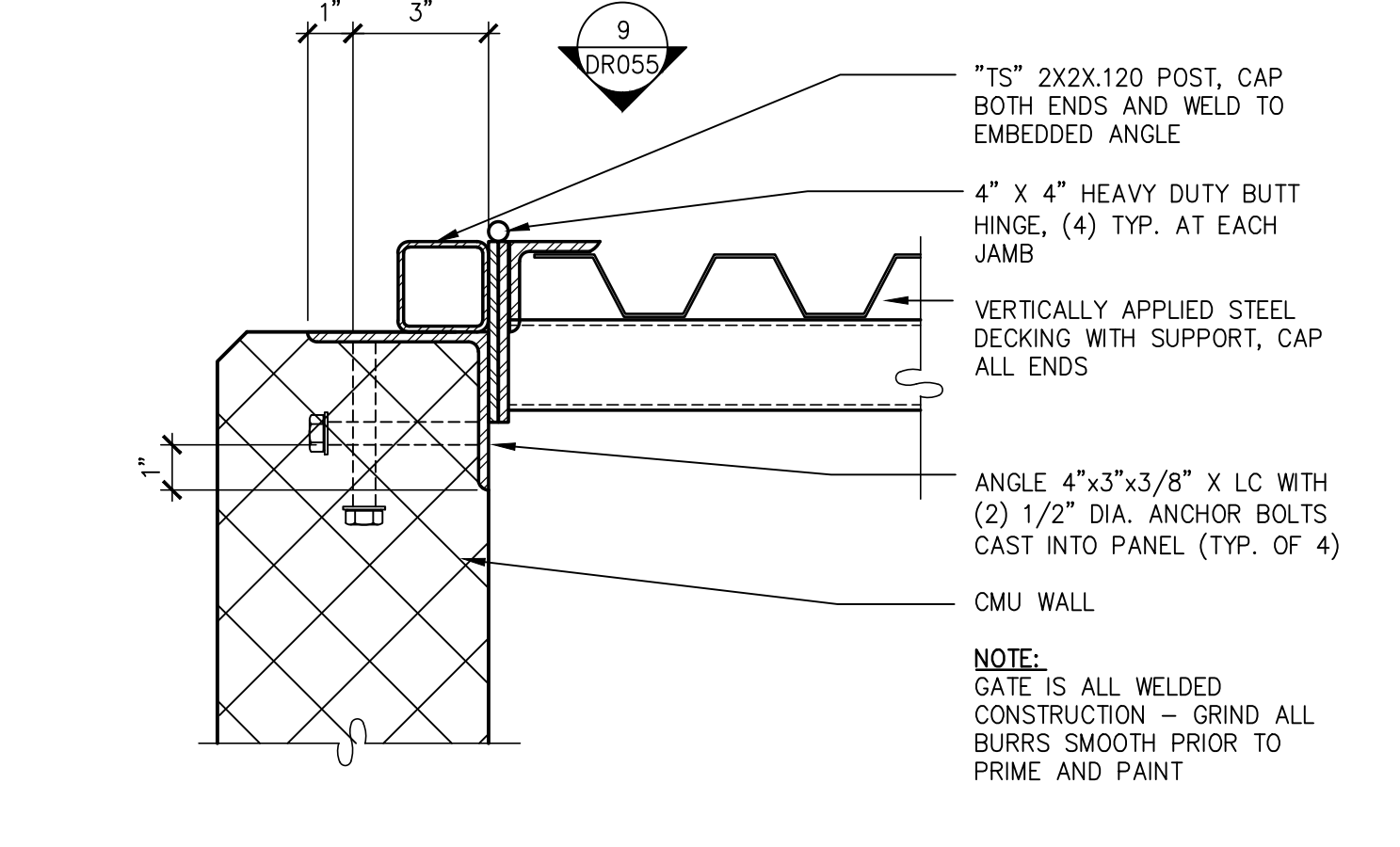
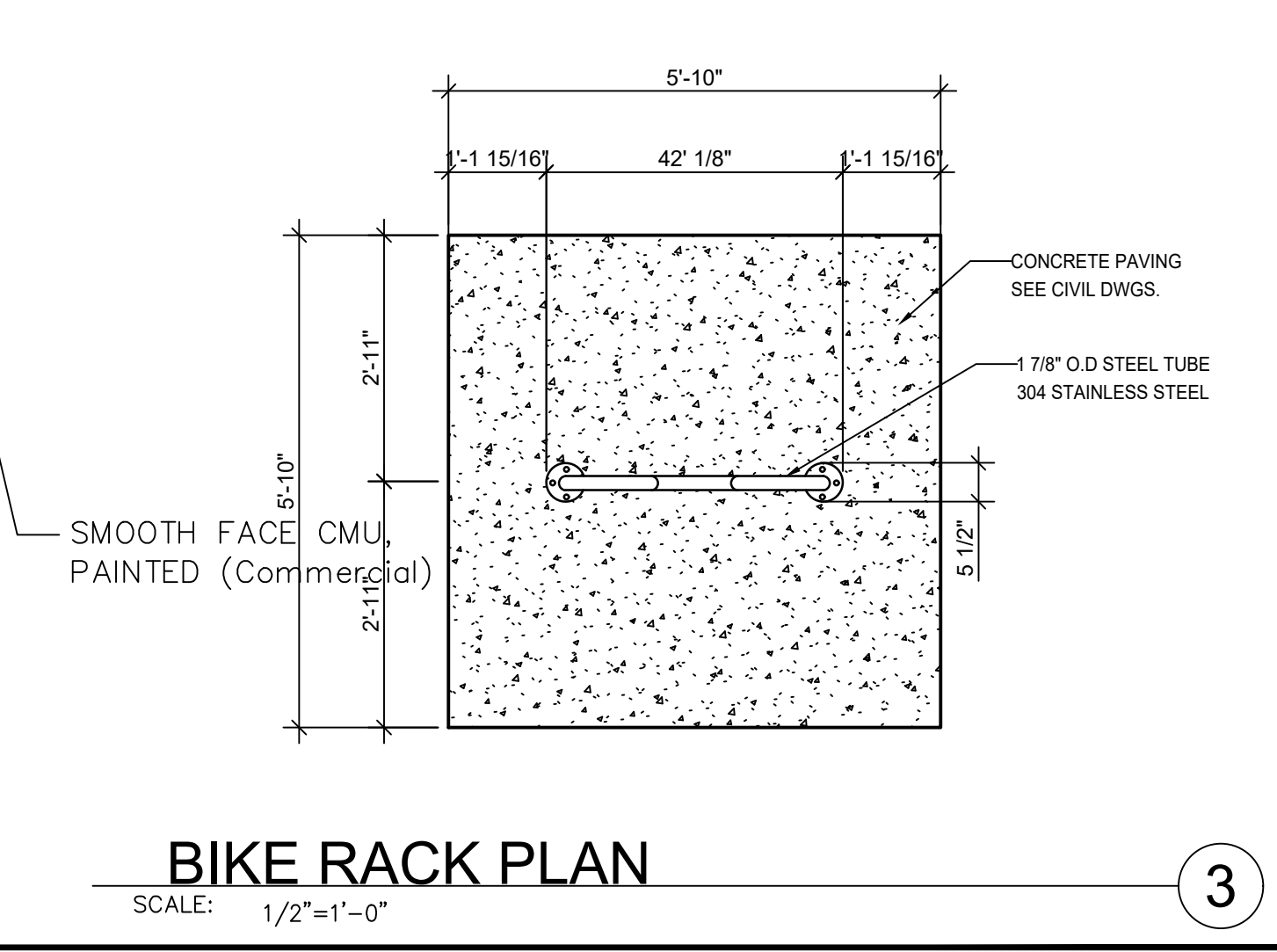
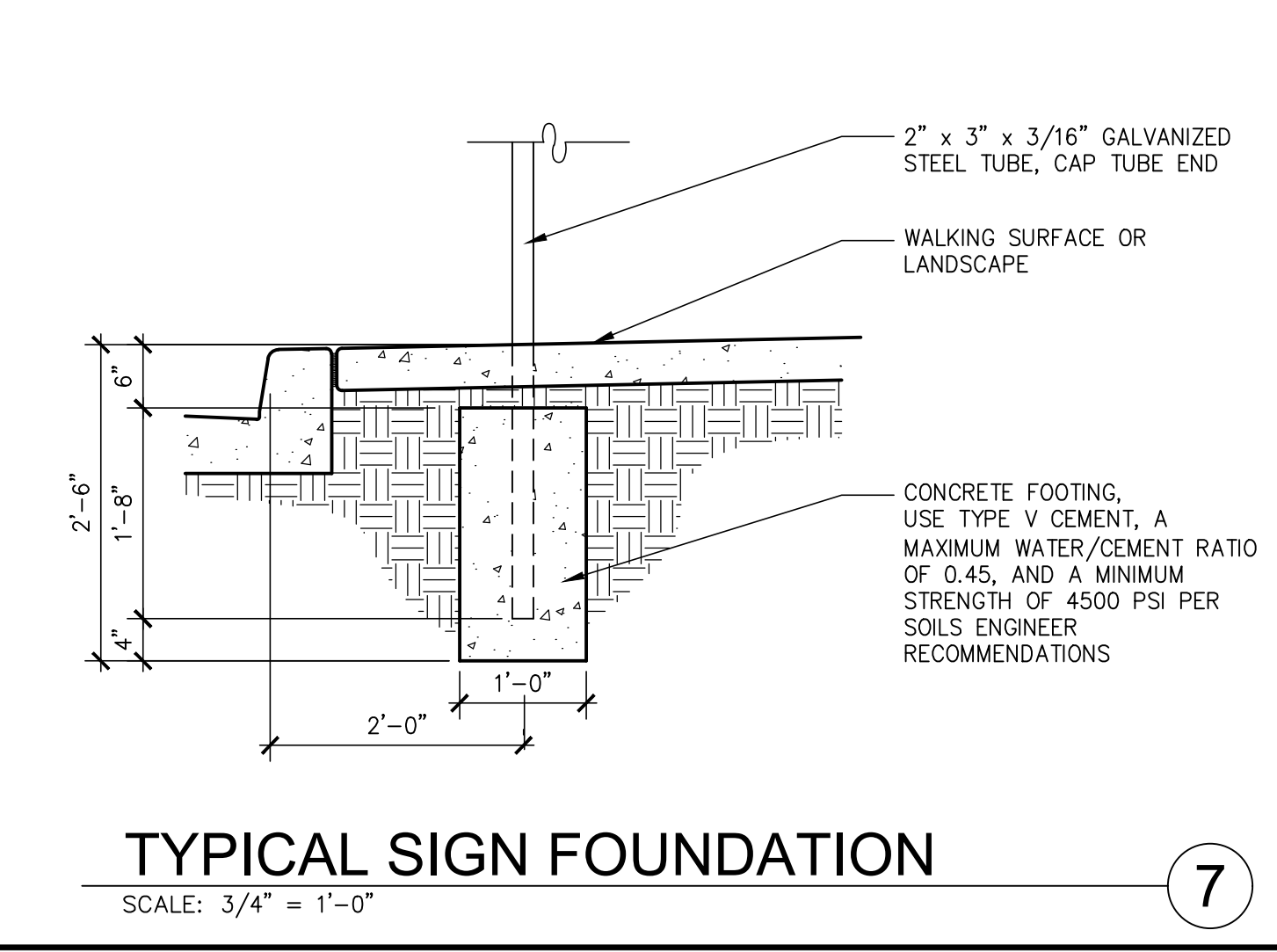
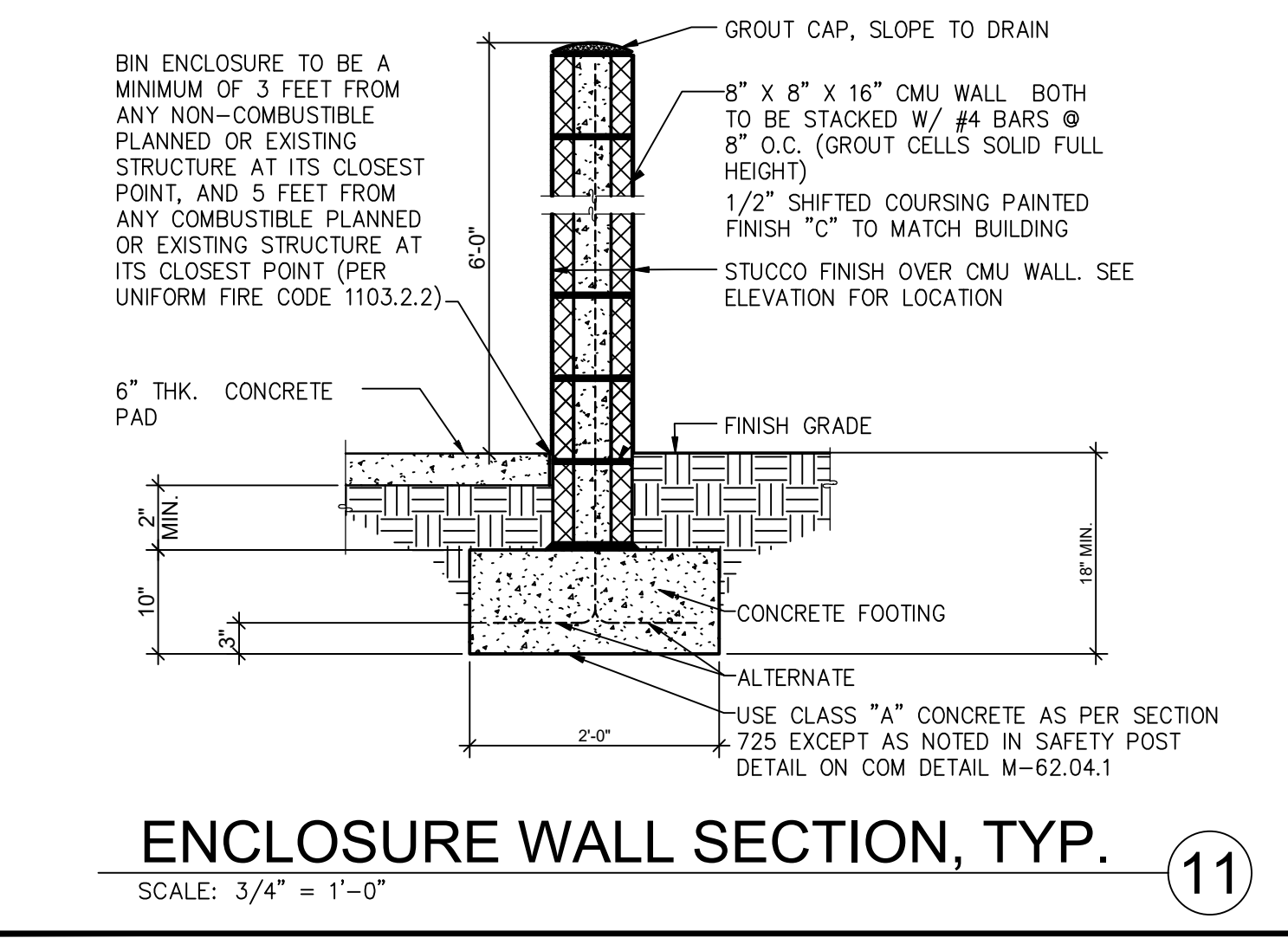
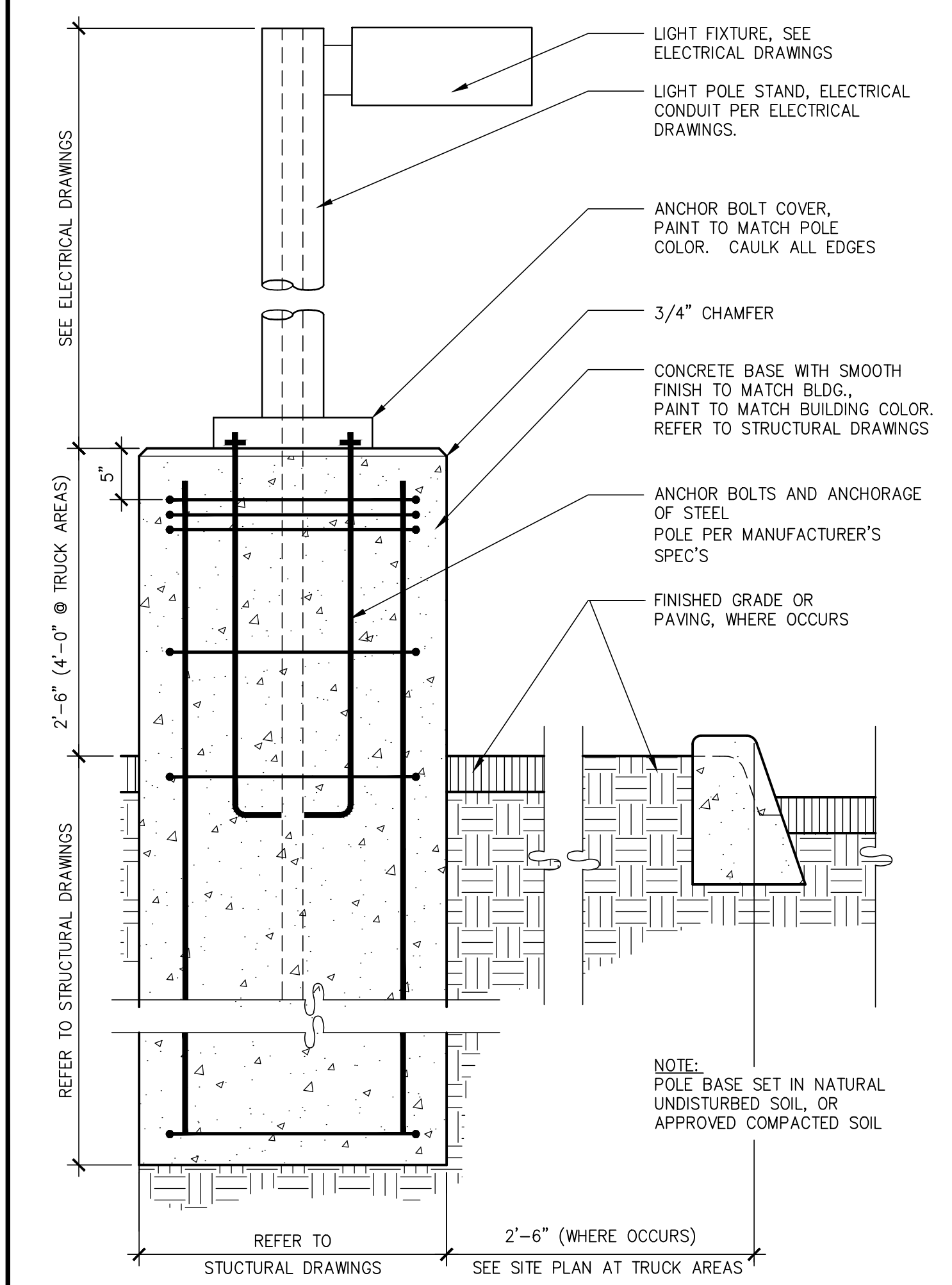
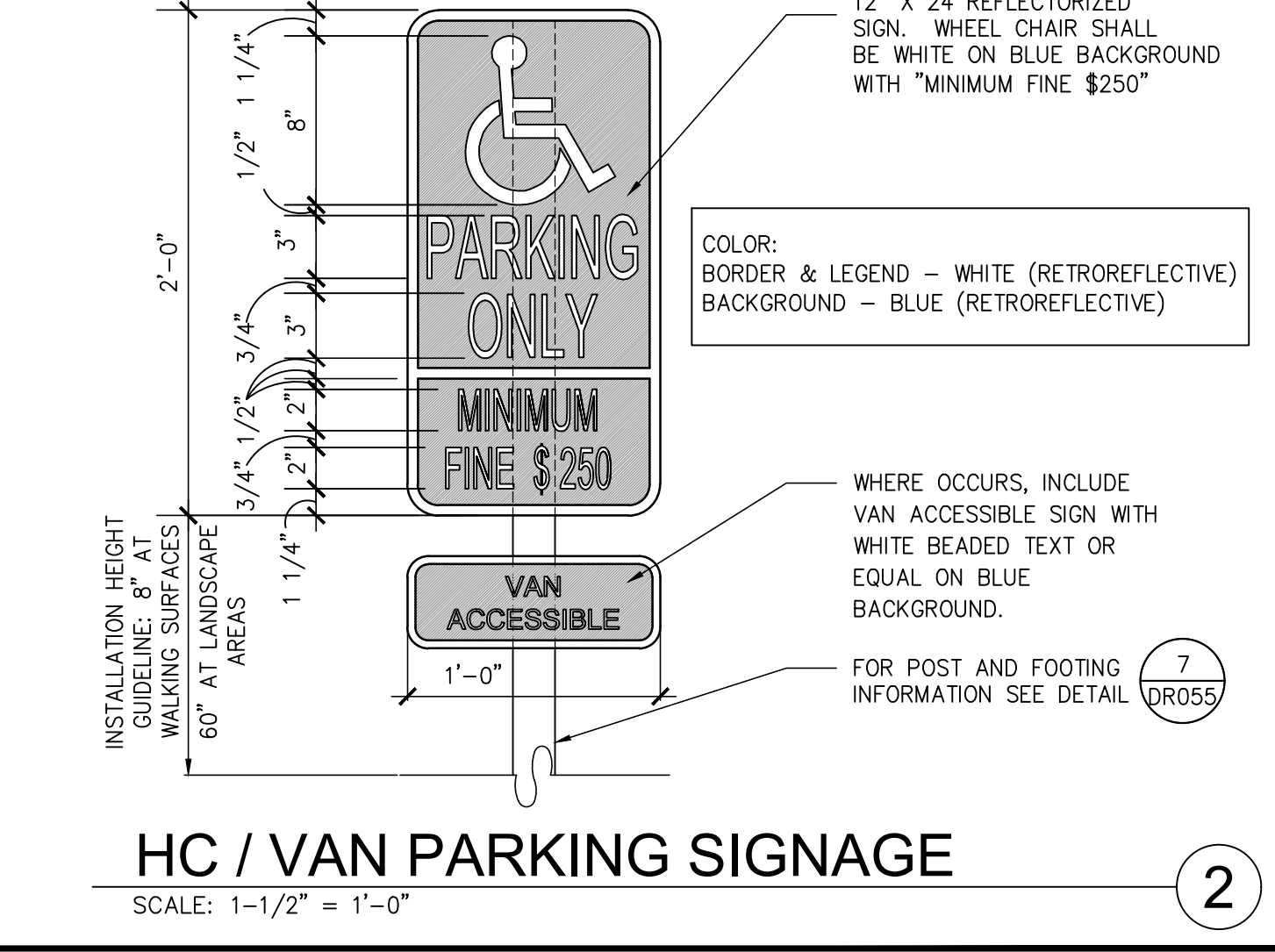
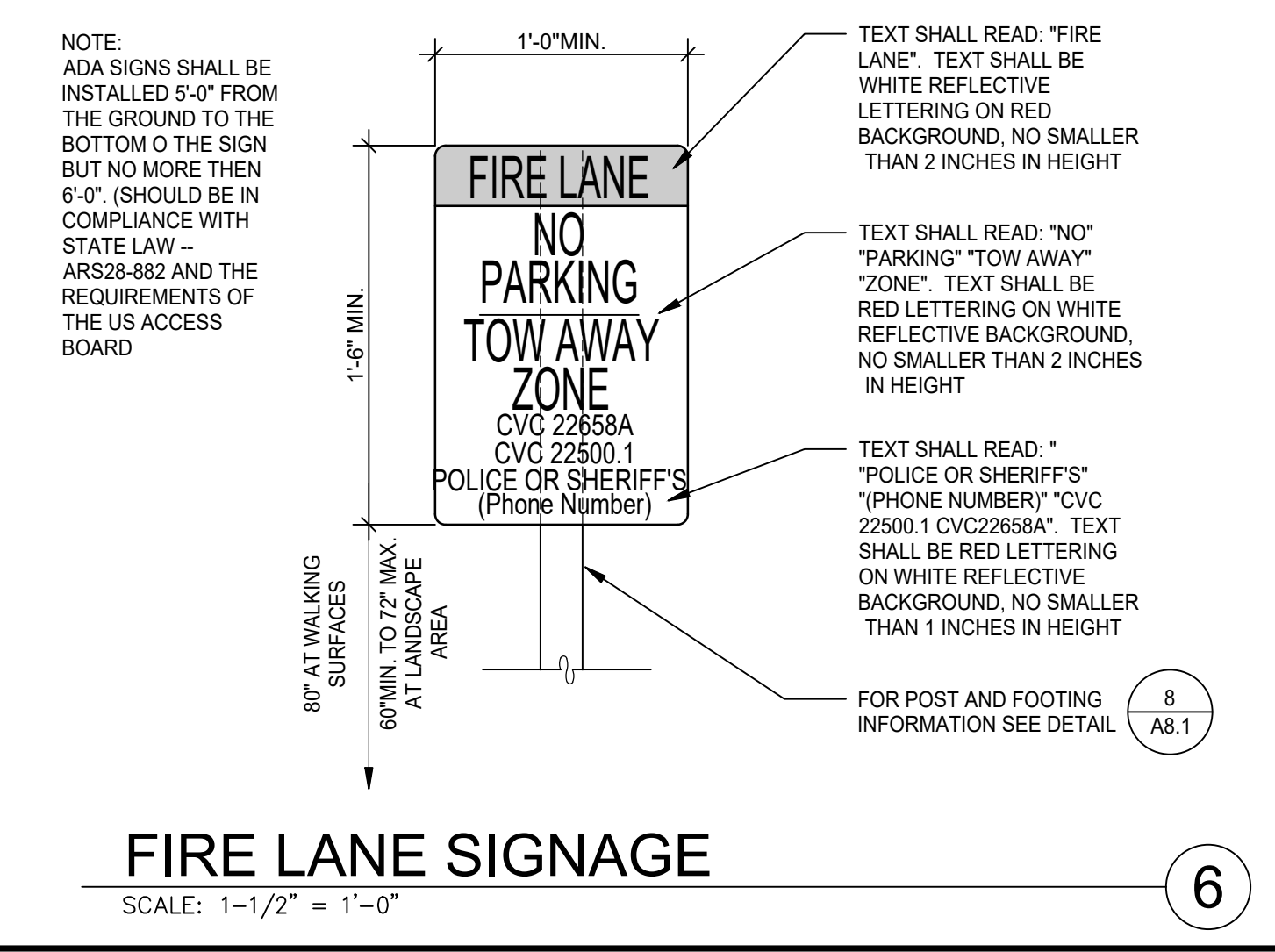
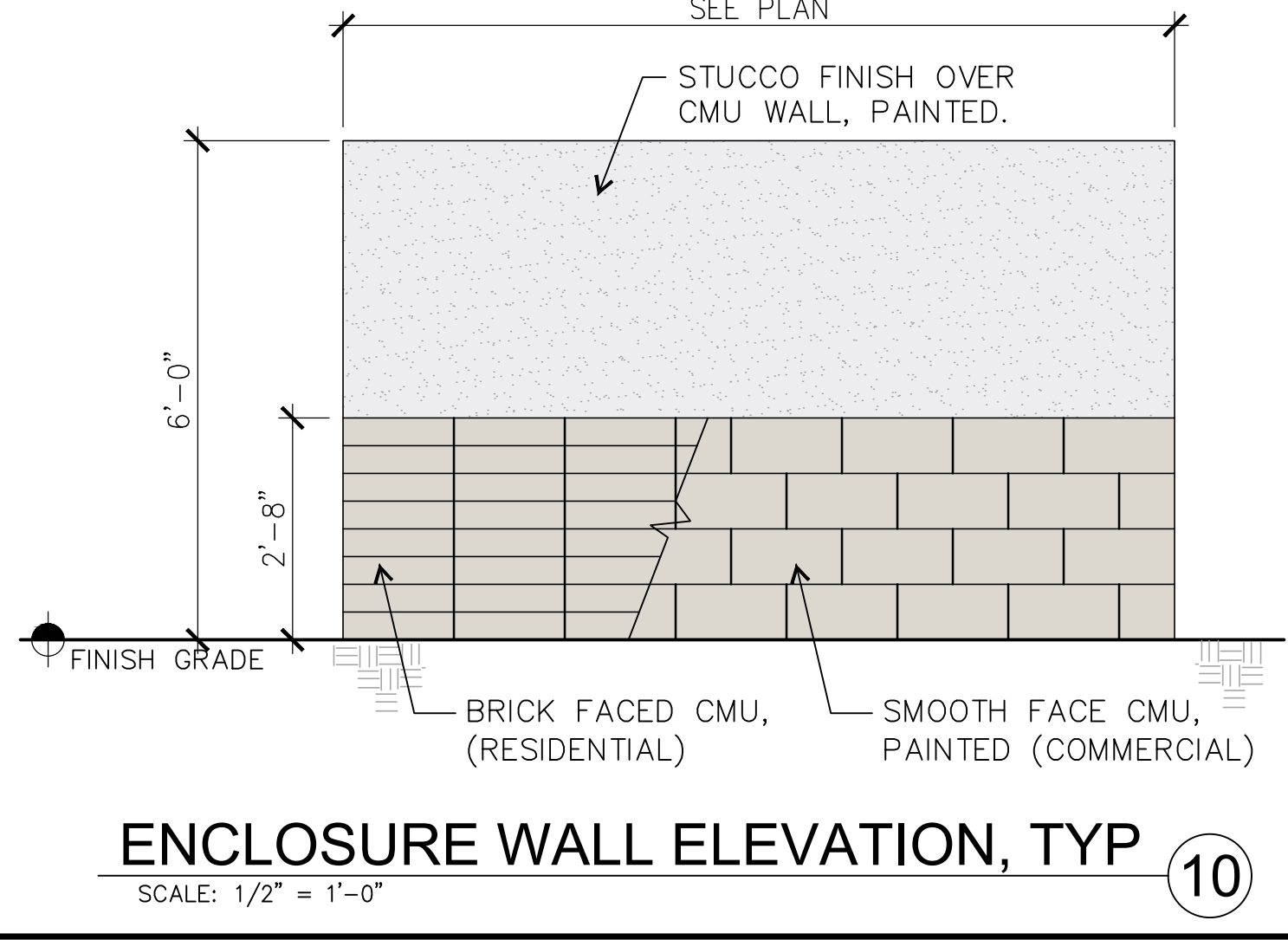
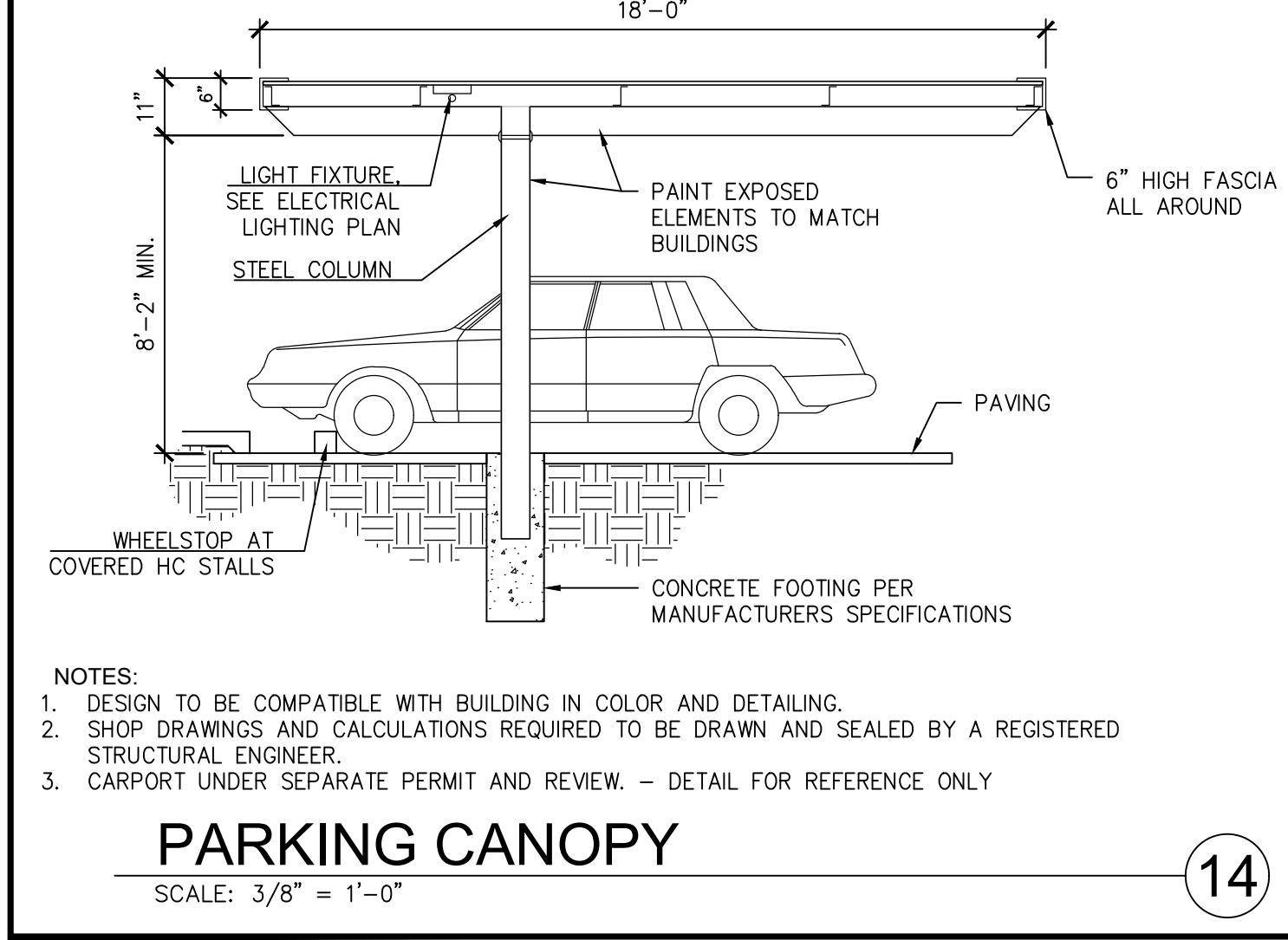
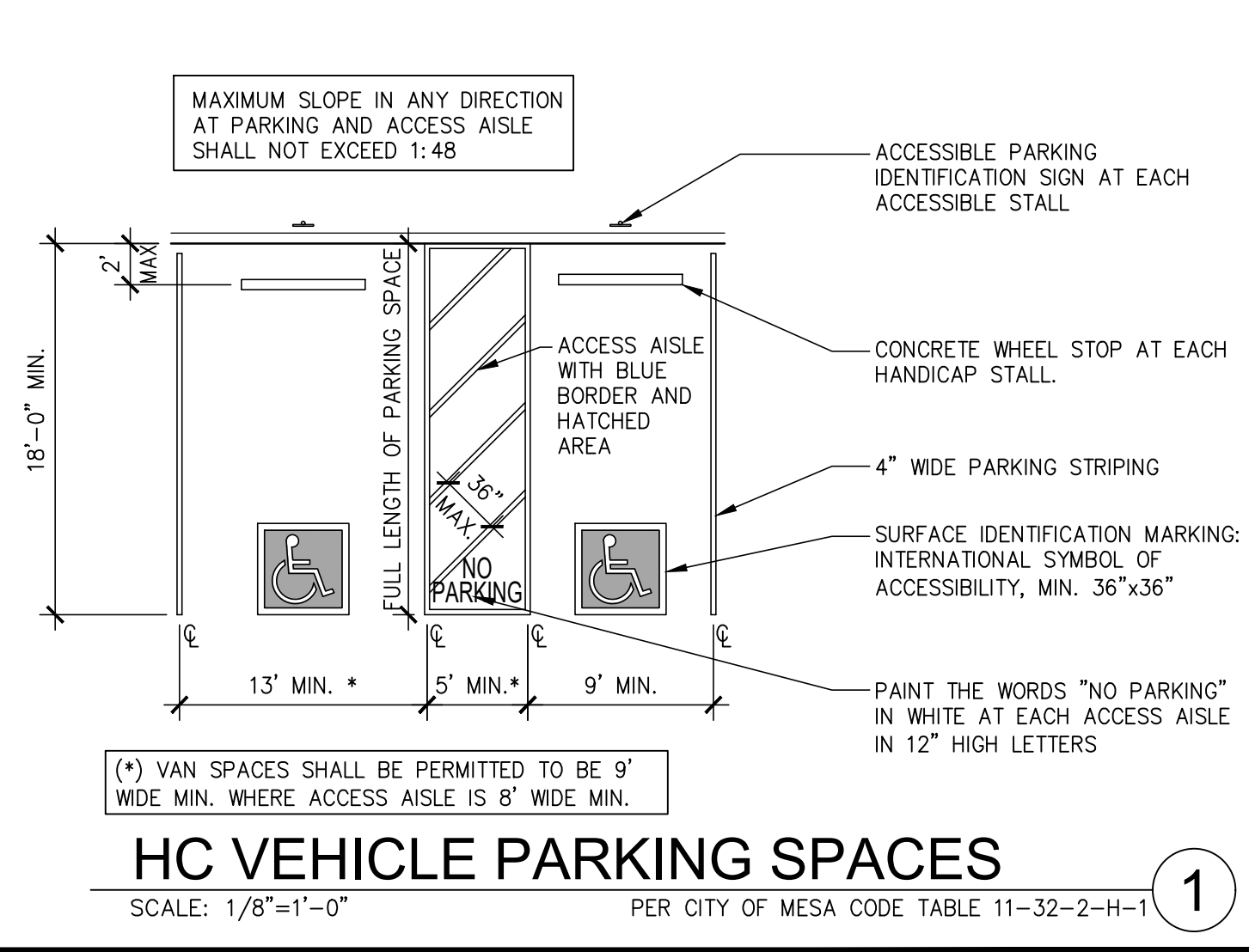
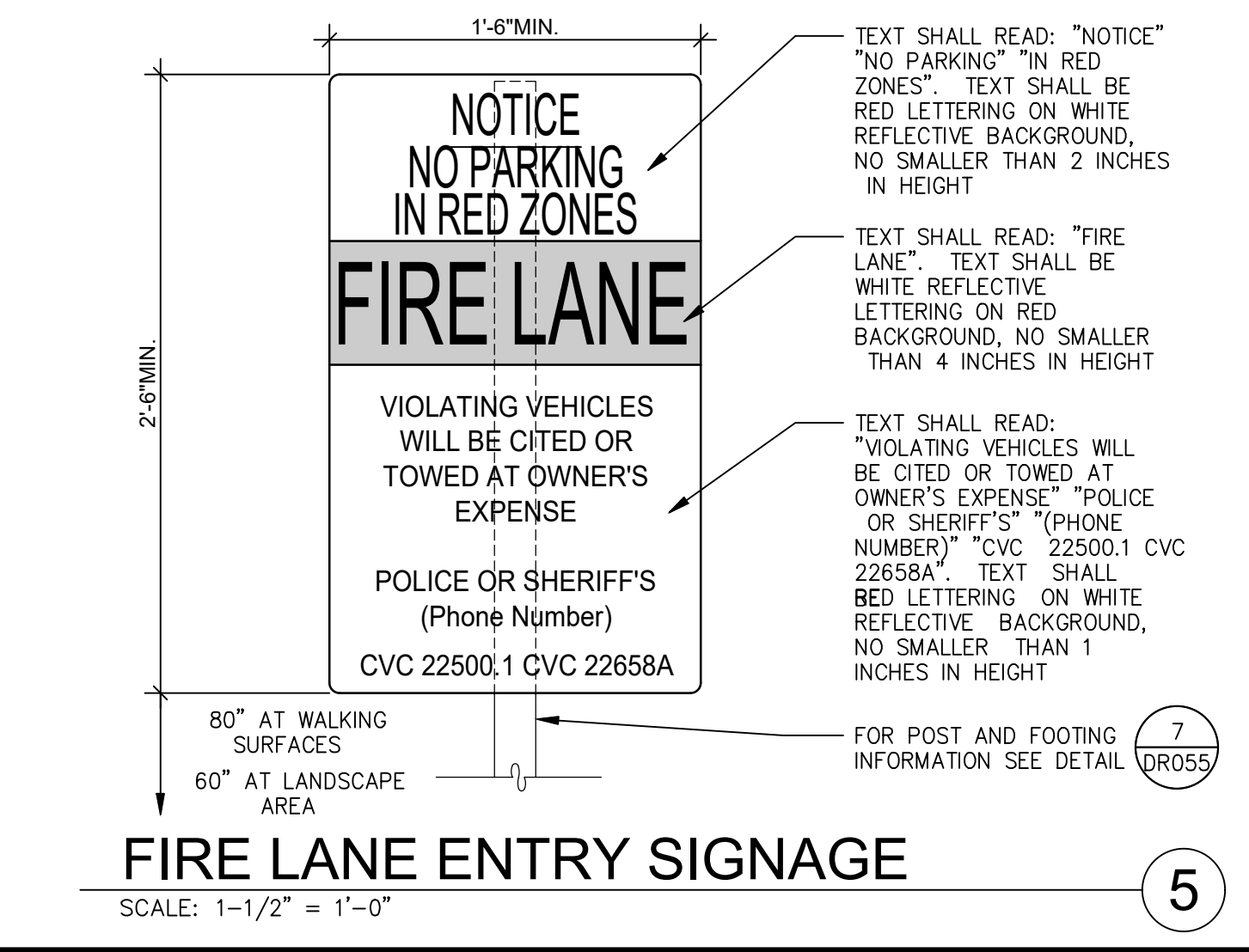
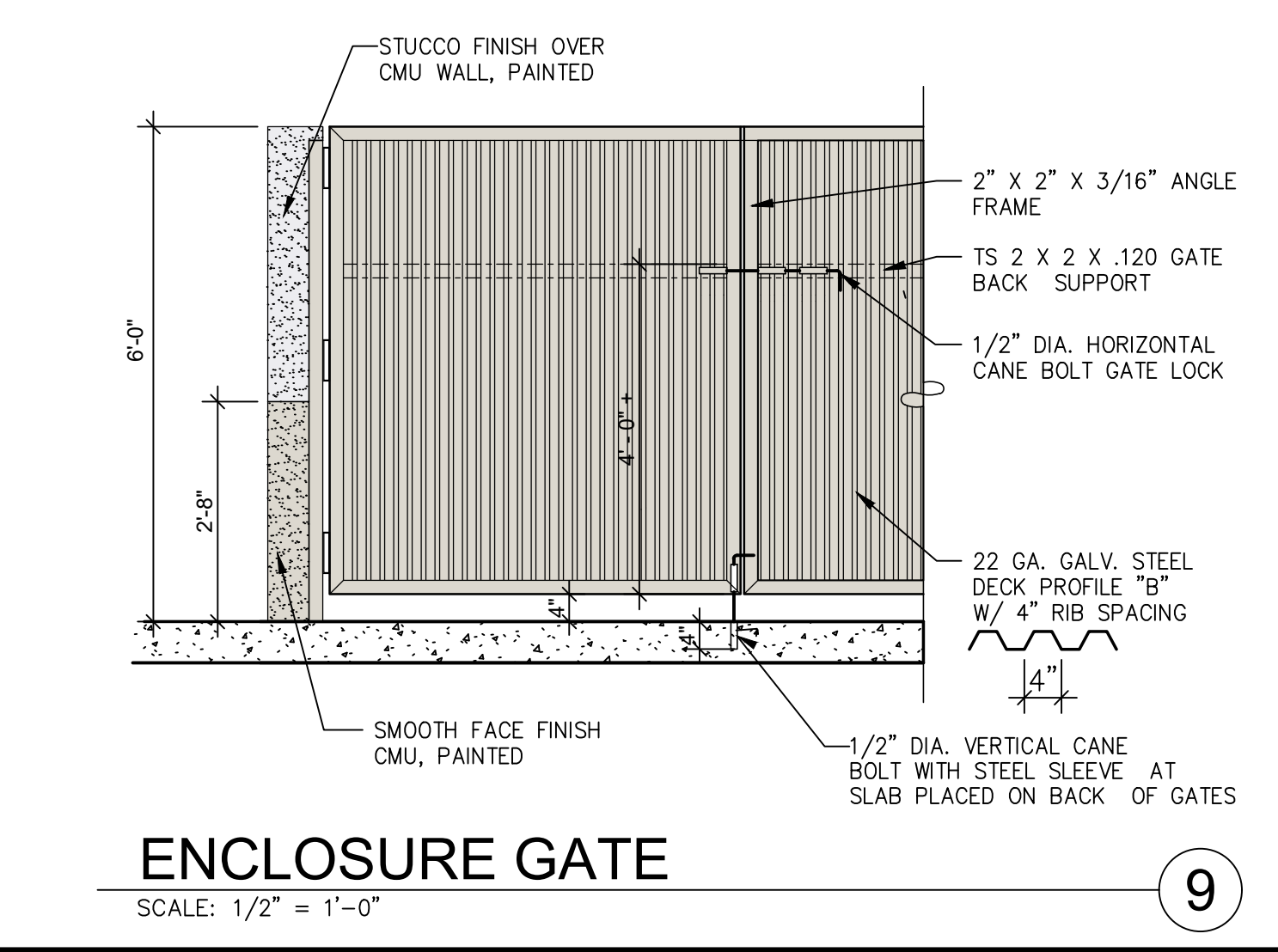
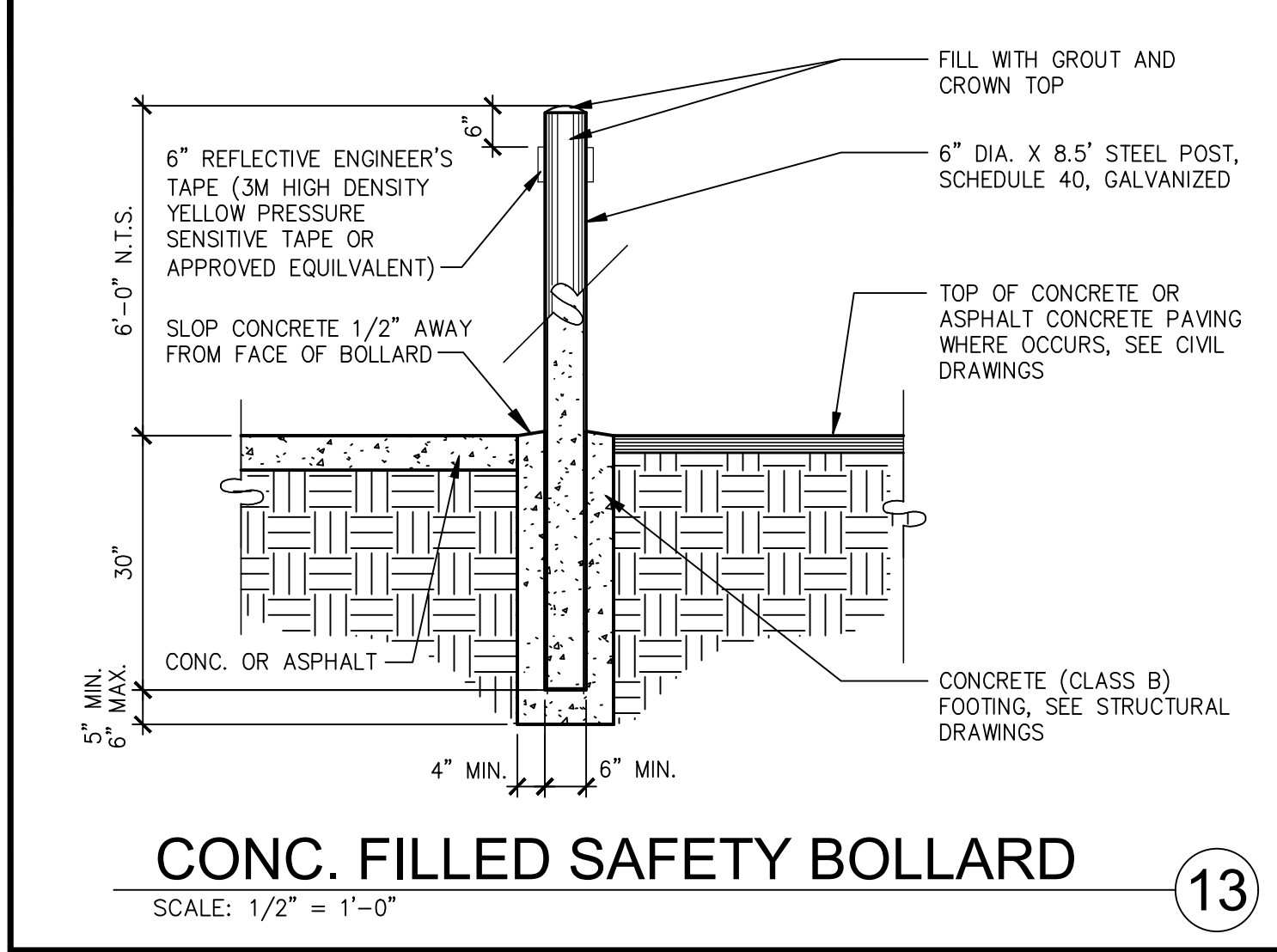
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DATE SIGNED: 02/27/2024  
ARIZONA U.S.A.

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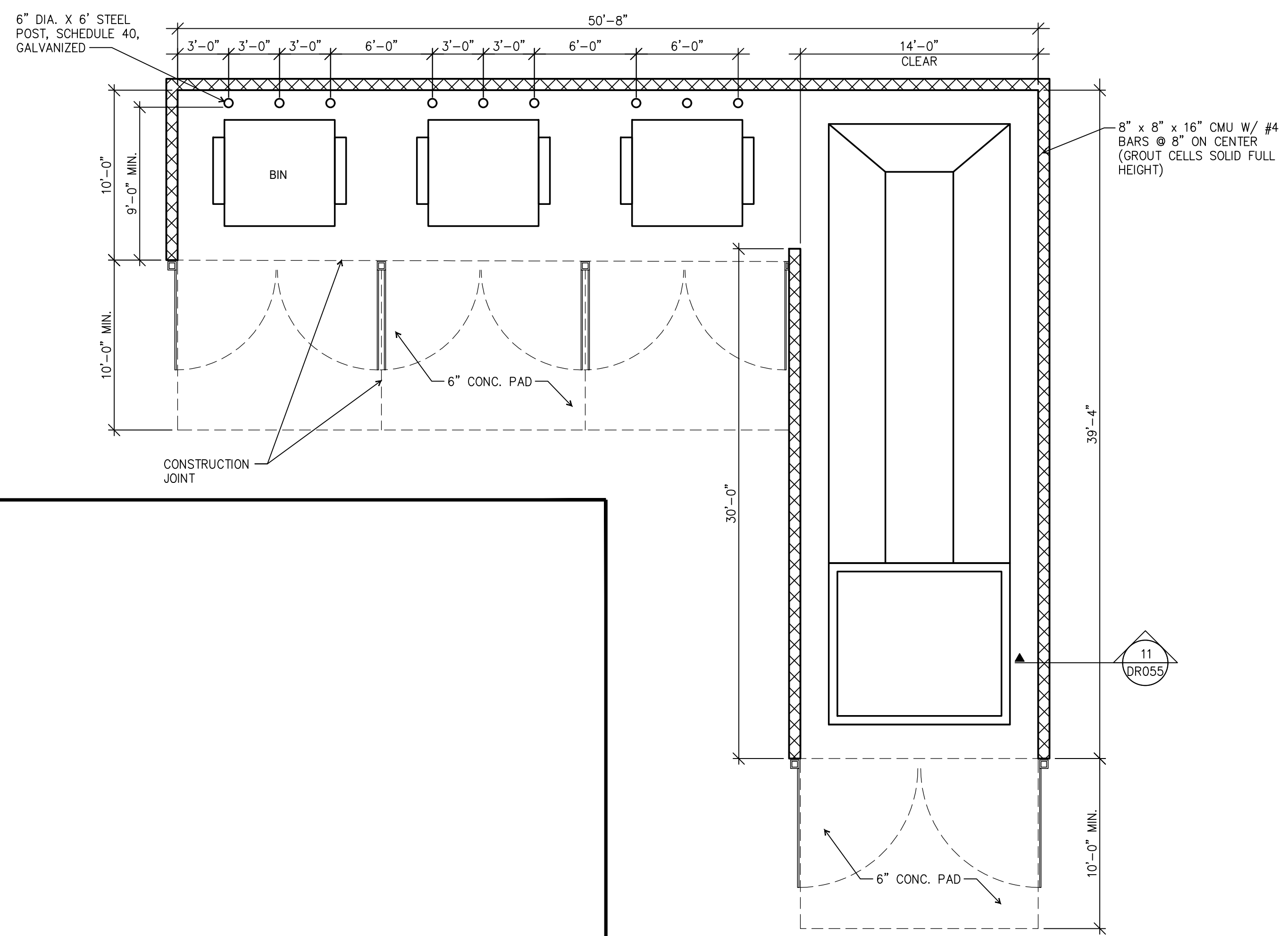
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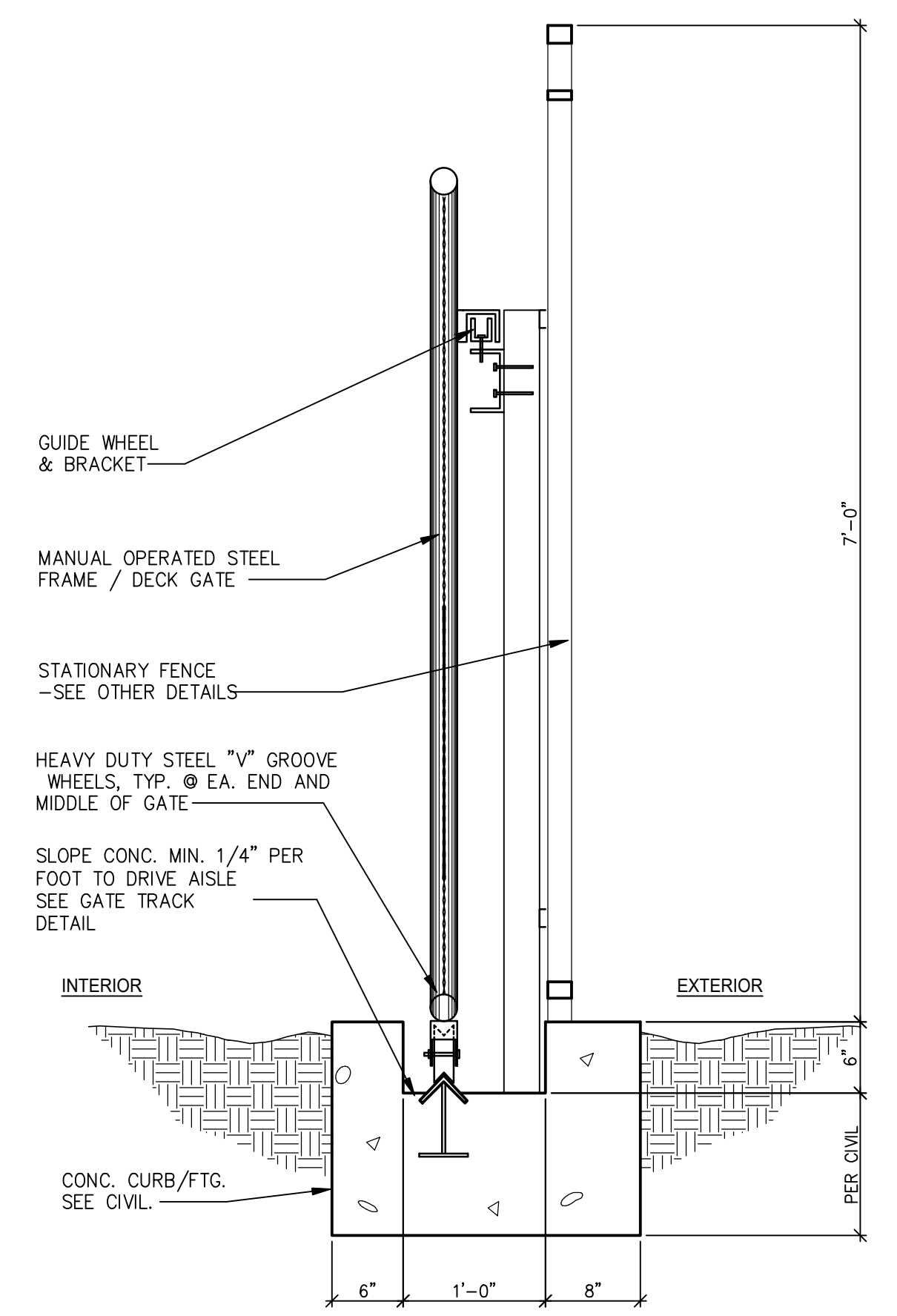
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SHEET  
**DR055**

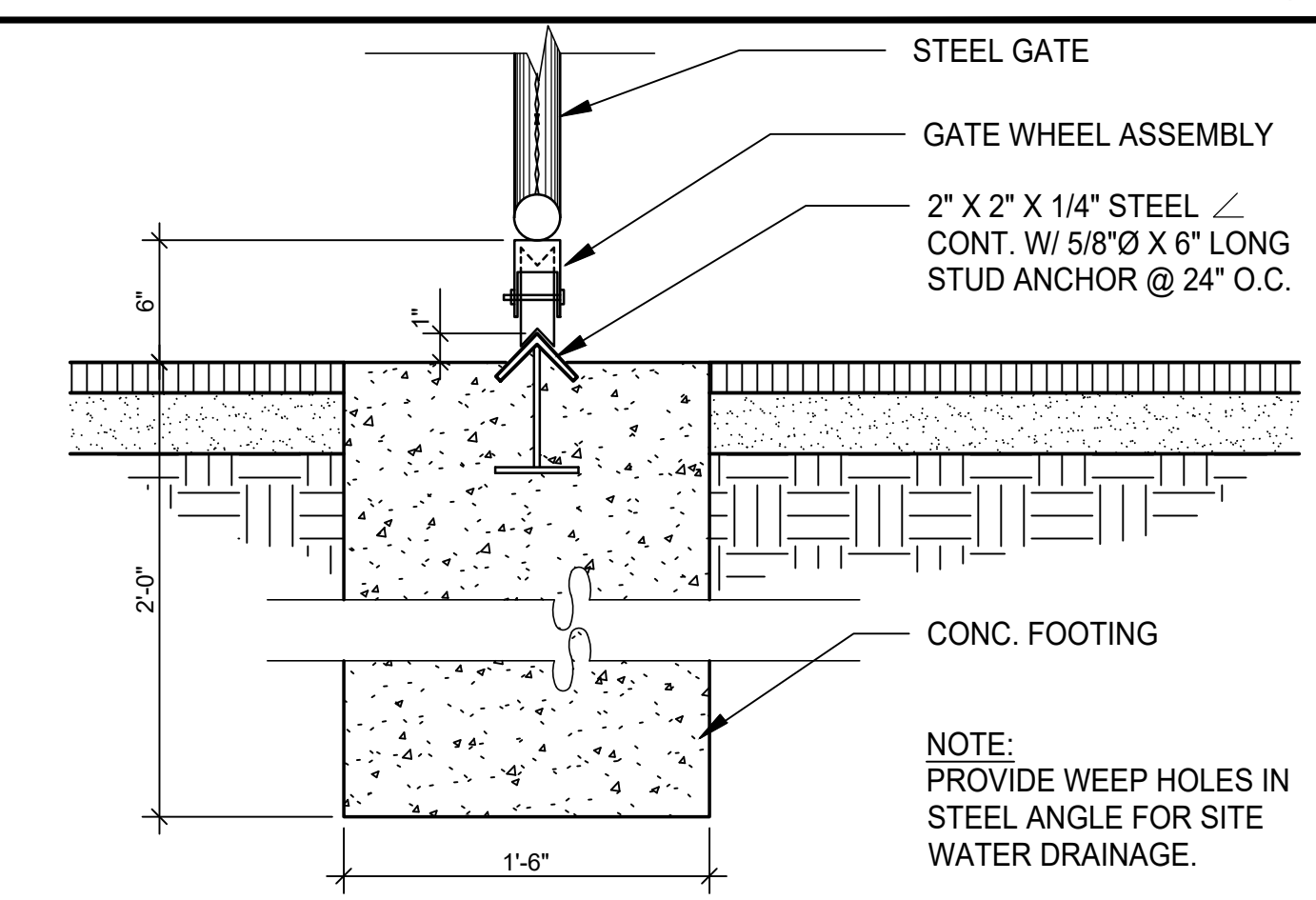
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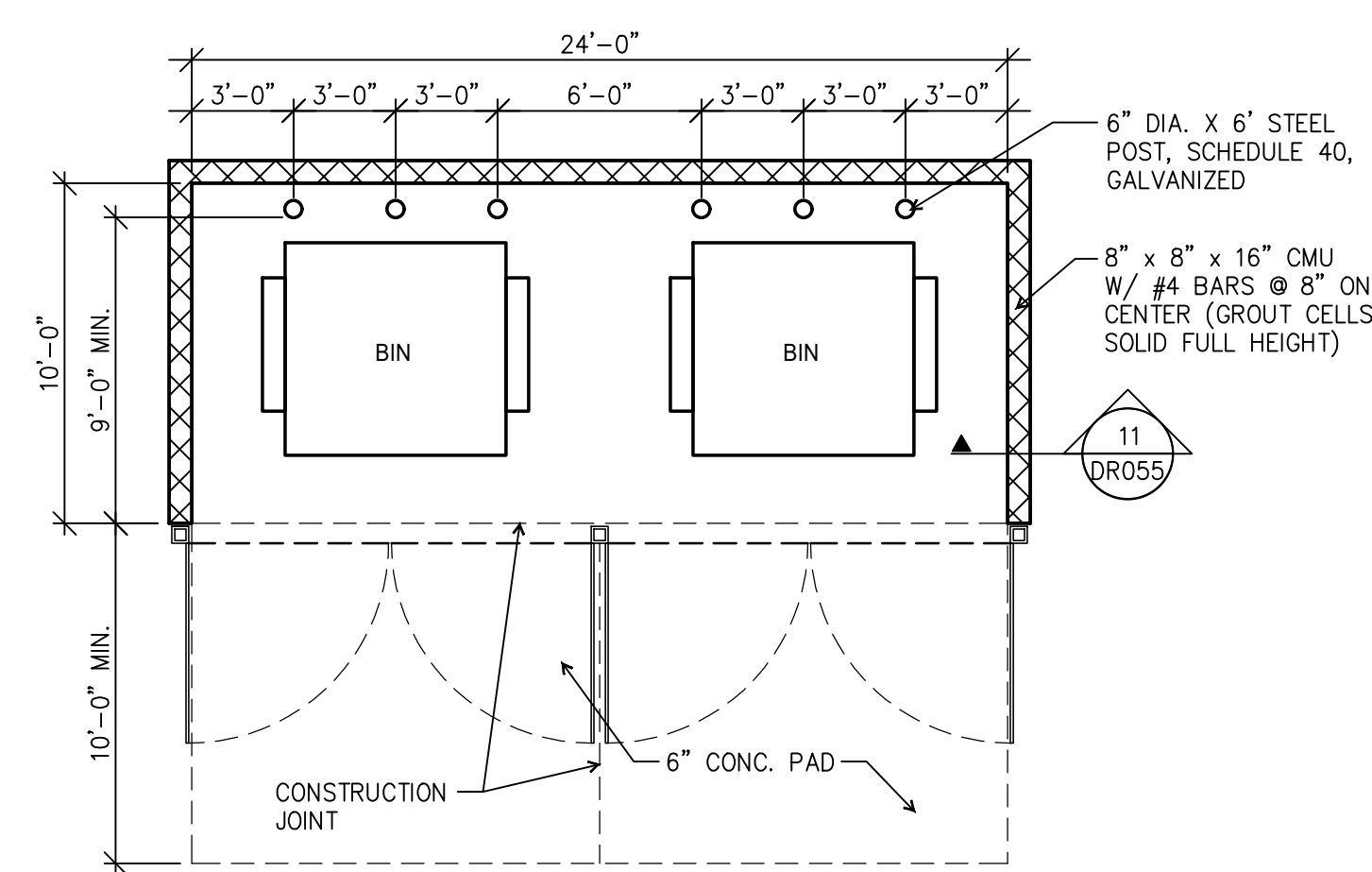
**COMPACTOR & BINS ENCLOSURE** ⑥  
SCALE: 3/4"=1'-0"



**SLIDING GATE SECTION** ②  
SCALE: 1" = 1'-0"



**SLIDING GATE TRACK** ③  
SCALE: 1" = 1'-0"



**DOUBLE-WIDE BIN ENCLOSURE** ④  
SCALE: 3/4"=1'-0"

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ENGINEER

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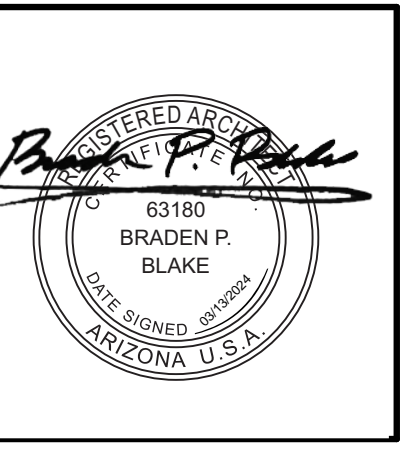
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 Phoenix, AZ 85016  
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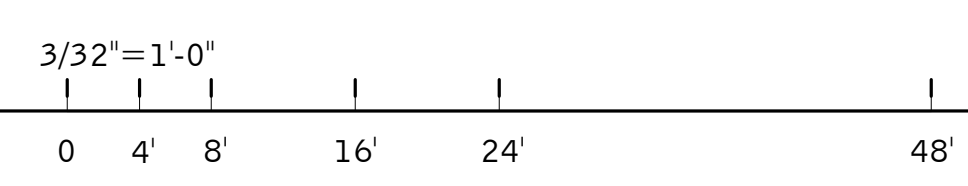
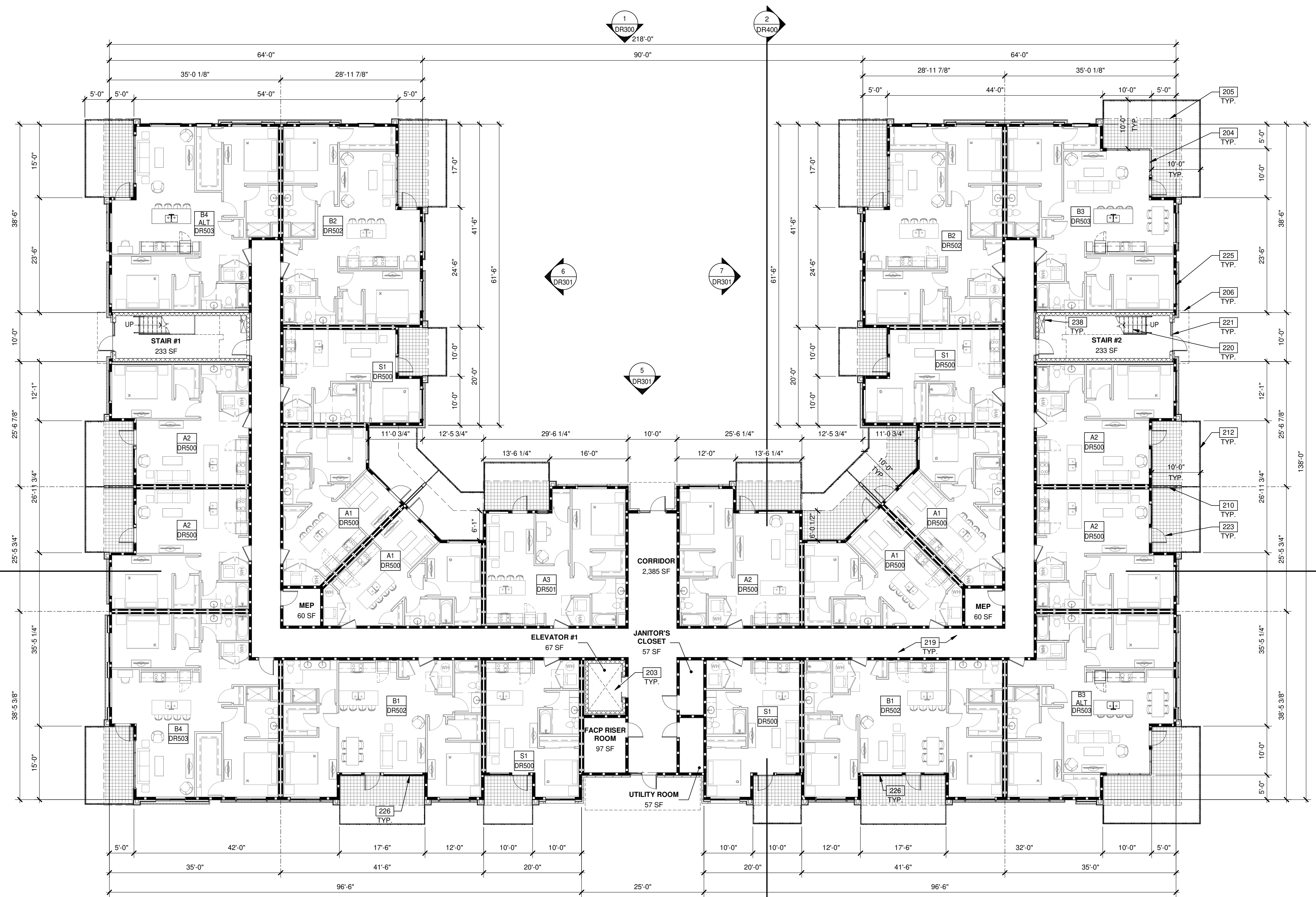
**THE CRAFTSMAN ON ELLIOT**  
 8264 EAST ELLIOT ROAD,  
 MESA, ARIZONA 85212

**MULTIFAMILY - LEVEL 1 - FLOOR PLAN**

DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/06/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	H.A./E.M.
JOB NO.:	PHX22-0196-00

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**DR100**

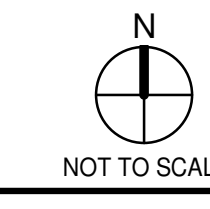
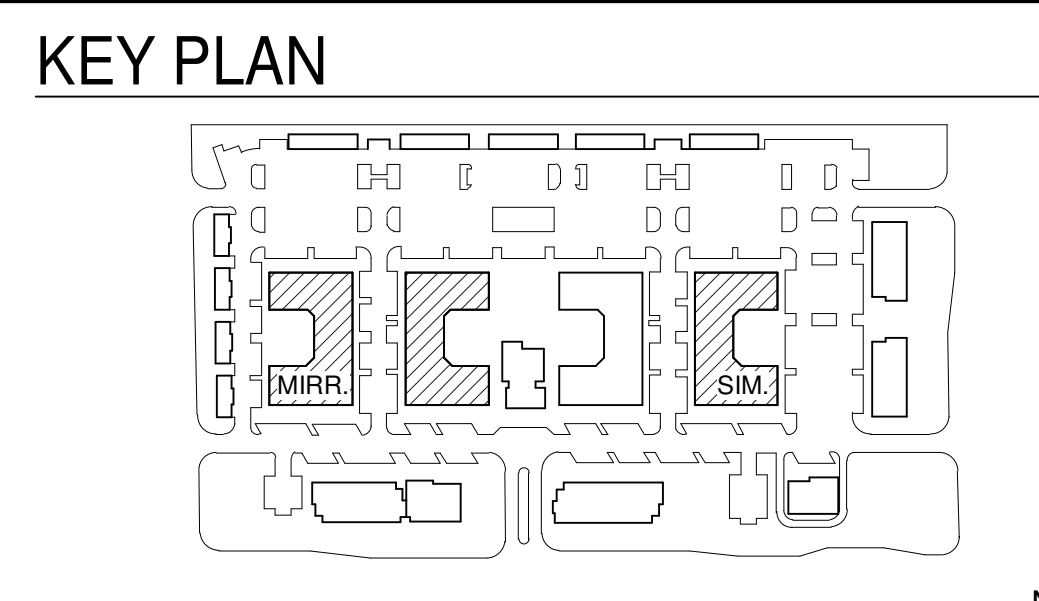


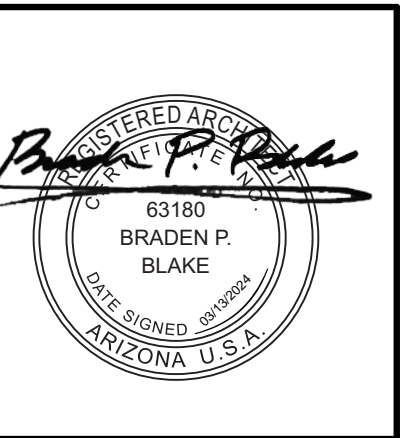
**MULTIFAMILY - LEVEL 1 - FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

**LEGENDS**

WALL	BASIC DESCRIPTION
[Symbol]	2 HR FIRE-RESISTANCE RATED CONCRETE MASONRY WALL
[Symbol]	1 HR EXTERIOR PANEL OVER WOOD STUD WALL
[Symbol]	1 HR EXTERIOR WALL WITH BRICK WALL FURRING
[Symbol]	NON-RATED INTERIOR PARTITION
[Symbol]	1HR FIRE-RESISTANCE RATED WOOD DOUBLE STUD DEMISING WALL
[Symbol]	AREA OF PATIO OVERHEAD COVERAGE

- KEYNOTES:**
- 203 ELEVATOR SHAFT AND PIT.
  - 204 ALUMINUM STOREFRONT SYSTEM.
  - 205 LINE OF BALCONY ABOVE.
  - 206 OUTLINE OF CANOPY ABOVE.
  - 210 EXTERIOR UNIT SEPARATION PRIVACY WALL.
  - 212 42" HIGH PREFABRICATED GUARDRAIL.
  - 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
  - 220 CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
  - 221 EXTERIOR STOREFRONT DOOR WITH SIDELIGHT.
  - 223 EXTERIOR ALUMINUM FULL LITE DOOR.
  - 225 VINYL SLIDING OPERABLE WINDOW.
  - 226 3 PANEL VINYL SLIDING OPERABLE WINDOW.
  - 238 STAND PIPE.





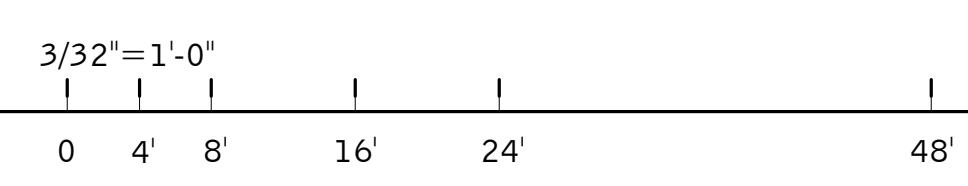
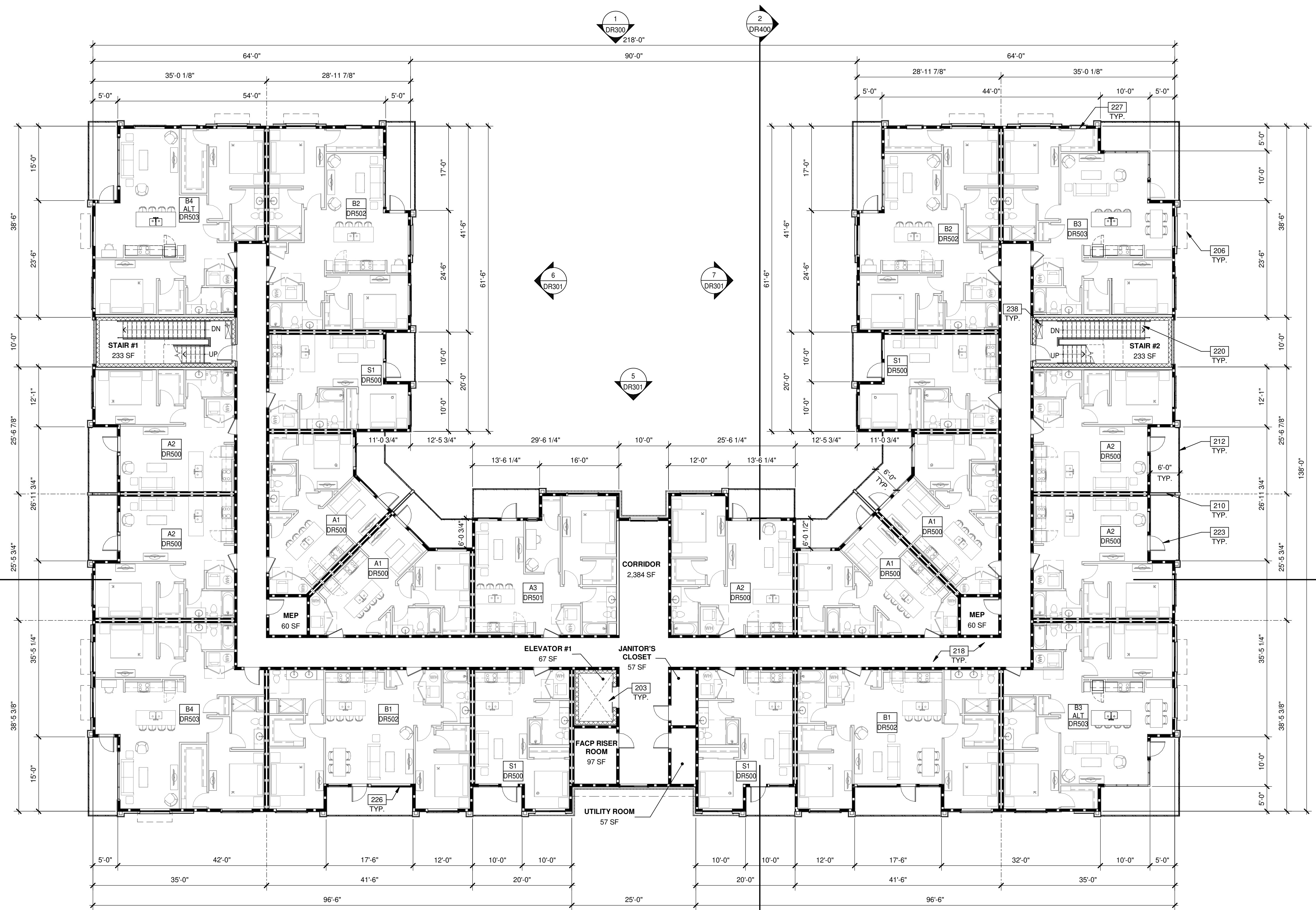
**THE CRAFTSMAN ON ELLIOT**  
 8264 EAST ELLIOT ROAD,  
 MESA, ARIZONA 85212

**MULTIFAMILY - LEVEL 2, 3 AND 4 - TYPICAL FLOOR PLAN**

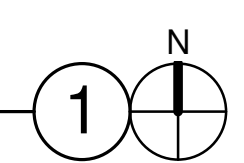
DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/06/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	H.A./E.M.
JOB NO.:	PHX22-0196-00

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**DR101**  
 10/6/2023 8:15:53 PM



**MULTIFAMILY - LEVEL 2, 3 AND 4 - TYPICAL FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

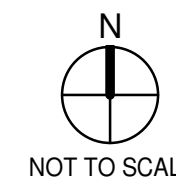
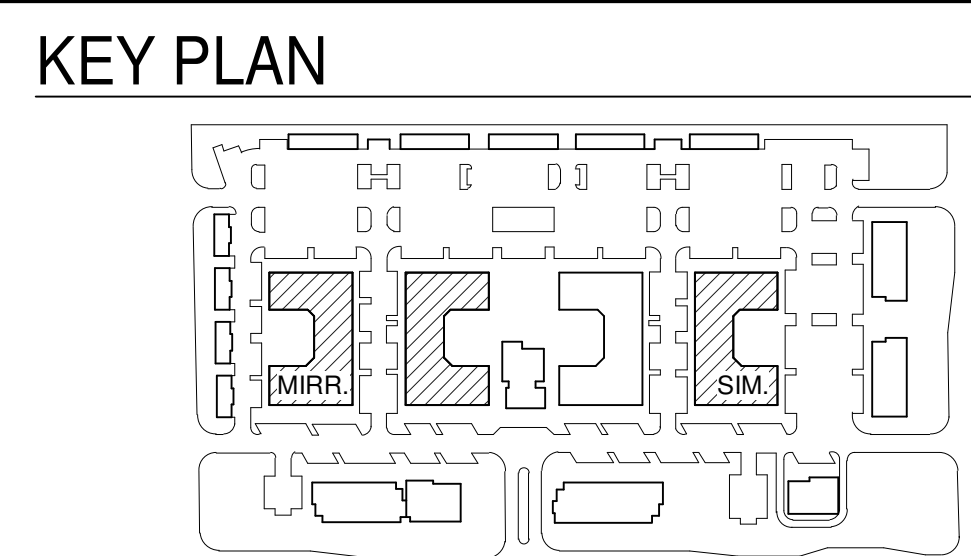


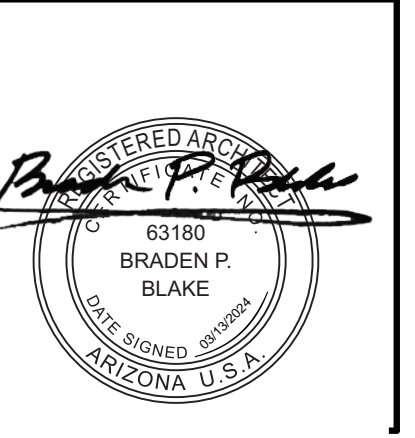
**LEGENDS**

WALL	BASIC DESCRIPTION
[Symbol]	2 HR FIRE-RESISTANCE RATED CONCRETE MASONRY WALL
[Symbol]	1 HR EXTERIOR PANEL OVER WOOD STUD WALL
[Symbol]	1 HR EXTERIOR WALL WITH BRICK WALL FURRING
[Symbol]	NON-RATED INTERIOR PARTITION
[Symbol]	1HR FIRE-RESISTANCE RATED WOOD DOUBLE STUD DEMISING WALL

**KEYNOTES:**

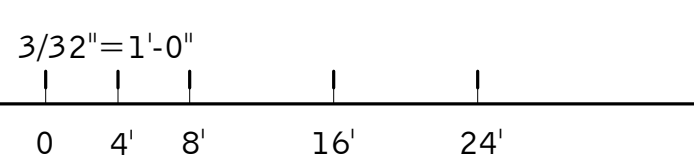
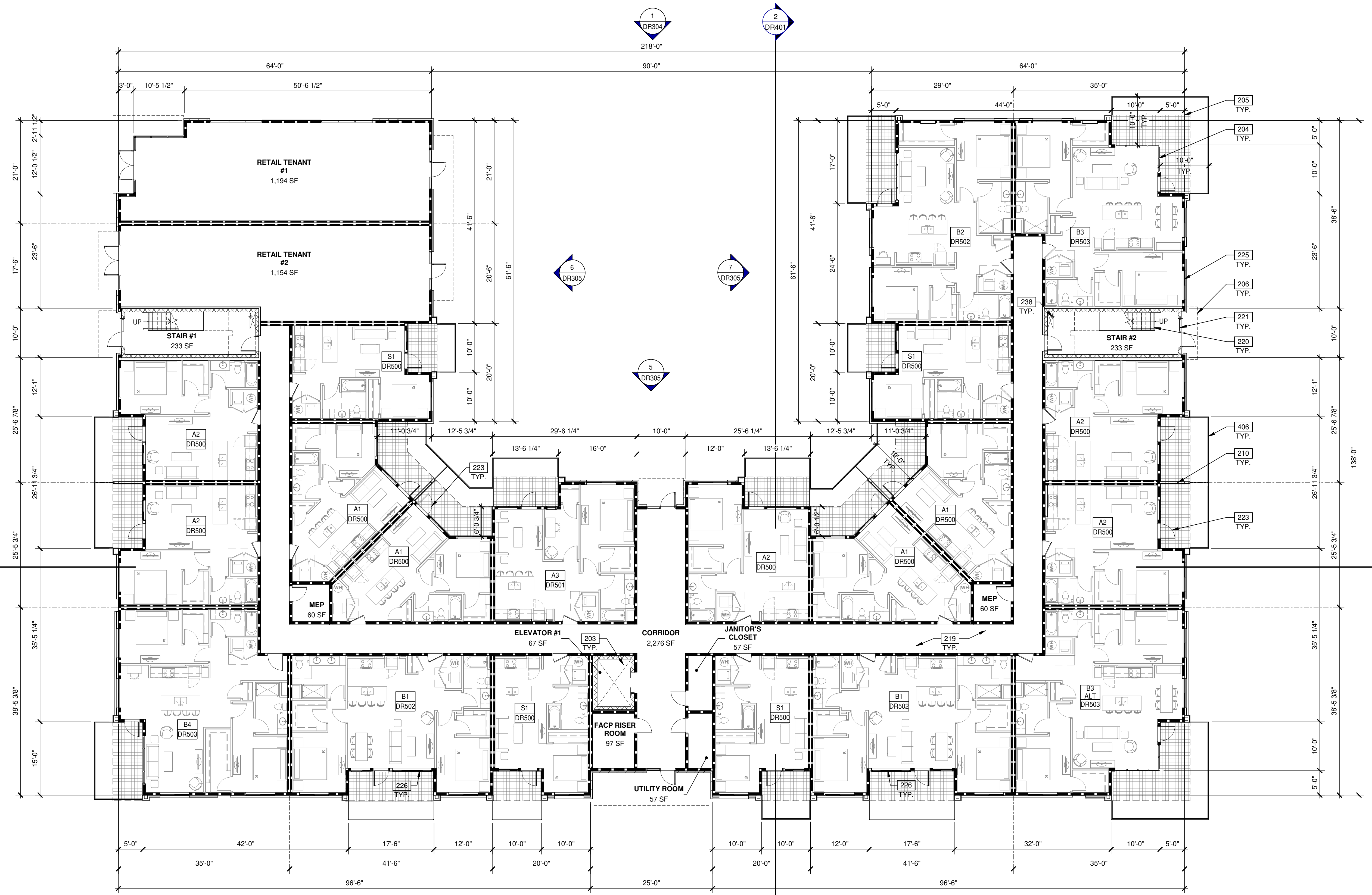
203	ELEVATOR SHAFT AND PIT.
206	OUTLINE OF CANOPY ABOVE.
210	EXTERIOR UNIT SEPARATION PRIVACY WALL.
212	42" HIGH PREFABRICATED GUARDRAIL.
218	WOOD FLOOR ASSEMBLY.
220	CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
223	EXTERIOR ALUMINUM FULL LITE DOOR.
226	3 PANEL VINYL SLIDING OPERABLE WINDOW.
227	18" X 36" FIXED WINDOW.
238	STAND PIPE.





DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV1

PA/PM:	C. BRUCE
DRAWN BY:	H.A. / E.M.
JOB NO.:	PHX22-0196-00



**MIXED USE APARTMENTS - LEVEL 1 - FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

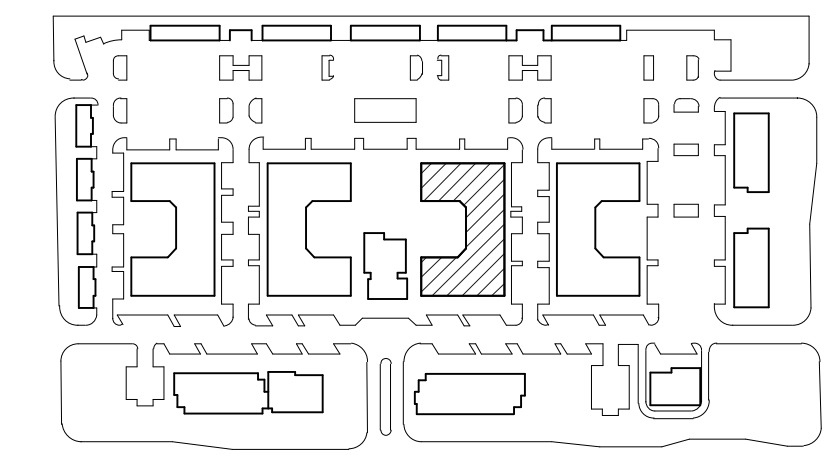
**LEGENDS**

WALL	BASIC DESCRIPTION
	2 HR FIRE-RESISTANCE RATED CONCRETE MASONRY WALL
	1 HR EXTERIOR PANEL OVER WOOD STUD WALL
	1 HR EXTERIOR WALL WITH BRICK WALL FURRING
	NON-RATED INTERIOR PARTITION
	1HR FIRE-RESISTANCE RATED WOOD DOUBLE STUD DEMISING WALL
	AREA OF PATIO OVERHEAD COVERAGE

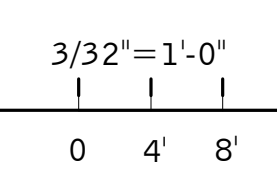
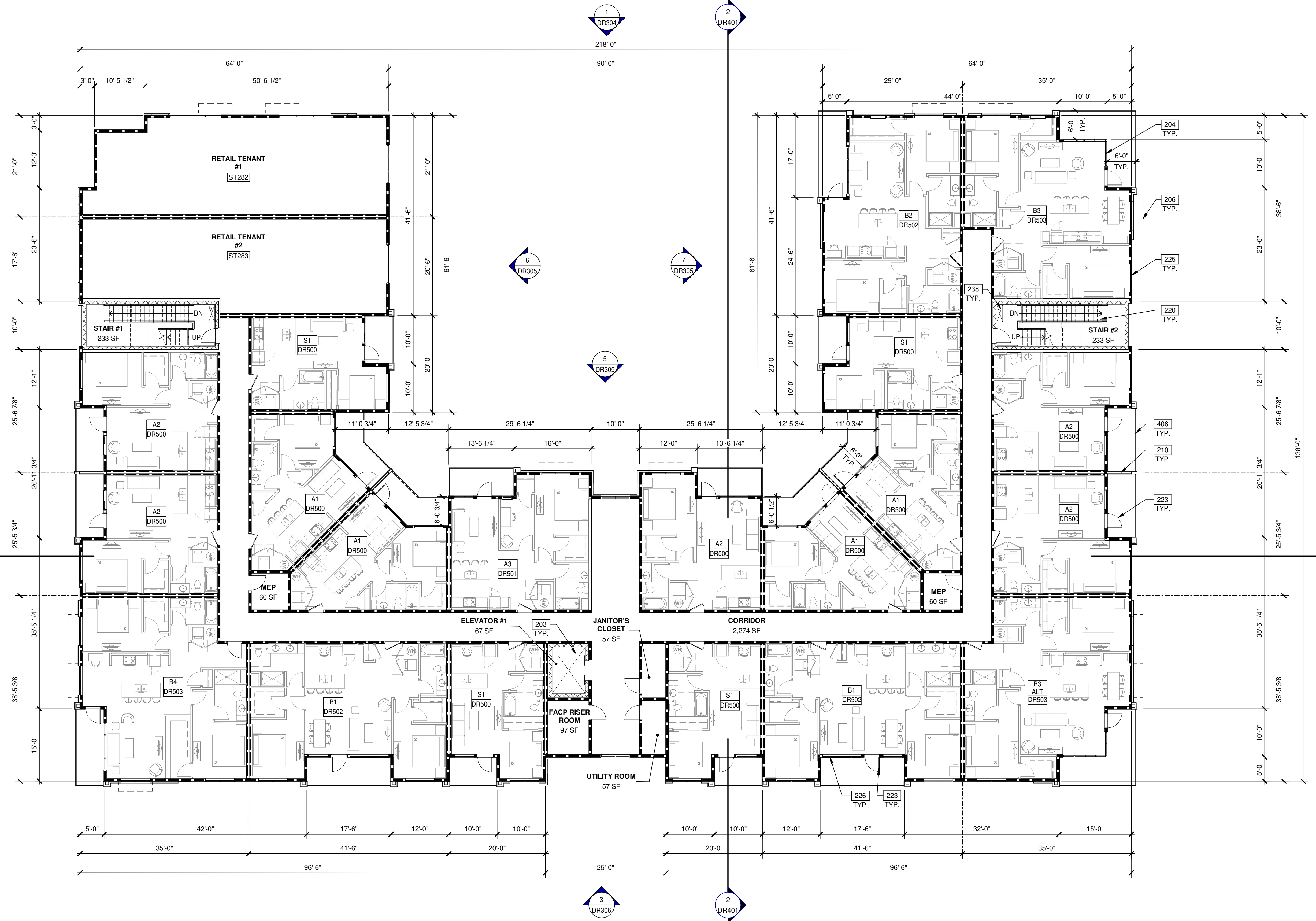
**KEYNOTES:**

- 203 ELEVATOR SHAFT AND PIT.
- 204 ALUMINUM STOREFRONT SYSTEM.
- 205 LINE OF BALCONY ABOVE.
- 206 OUTLINE OF CANOPY ABOVE.
- 210 EXTERIOR UNIT SEPARATION PRIVACY WALL.
- 212 42" HIGH PREFABRICATED GUARDRAIL.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 220 CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
- 221 EXTERIOR STOREFRONT DOOR WITH SIDELIGHT.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 225 VINYL SLIDING OPERABLE WINDOW.
- 226 3 PANEL VINYL SLIDING OPERABLE WINDOW.
- 238 STAND PIPE.

**KEY PLAN**







MIXED USE APARTMENTS - LEVEL 2 - FLOOR PLAN  
SCALE: 3/32" = 1'-0"

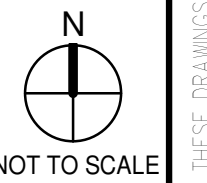
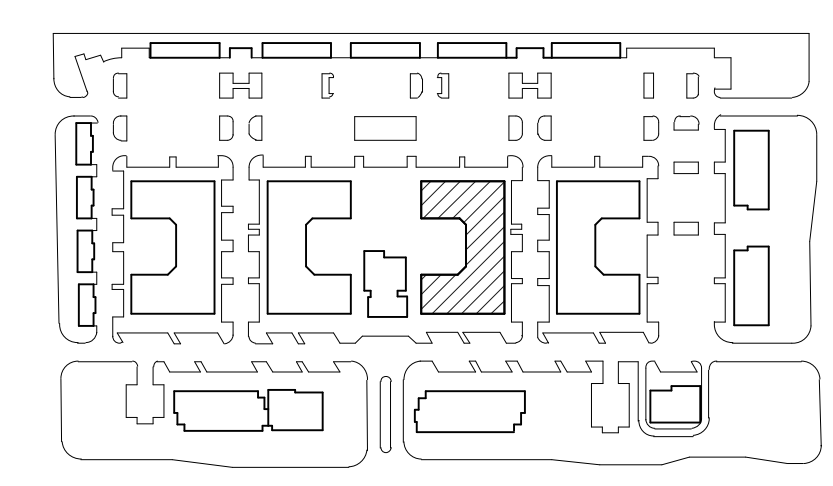
**LEGENDS**

WALL	BASIC DESCRIPTION
	2 HR FIRE-RESISTANCE RATED CONCRETE MASONRY WALL
	1 HR EXTERIOR PANEL OVER WOOD STUD WALL
	1 HR EXTERIOR WALL WITH BRICK WALL FURRING
	NON-RATED INTERIOR PARTITION
	1HR FIRE-RESISTANCE RATED WOOD DOUBLE STUD DEMISING WALL

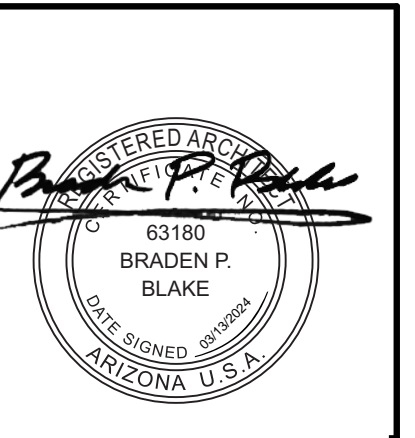
**KEYNOTES:**

203	ELEVATOR SHAFT AND PIT.
204	ALUMINUM STOREFRONT SYSTEM.
210	EXTERIOR UNIT SEPARATION PRIVACY WALL.
220	CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
223	EXTERIOR ALUMINUM FULL LITE DOOR.
225	VINYL SLIDING OPERABLE WINDOW.
226	3 PANEL VINYL SLIDING OPERABLE WINDOW.
238	STAND PIPE.
406	BALCONY WITH 42" METAL GUARDRAIL.

**KEY PLAN**



**WARE MALCOMB**  
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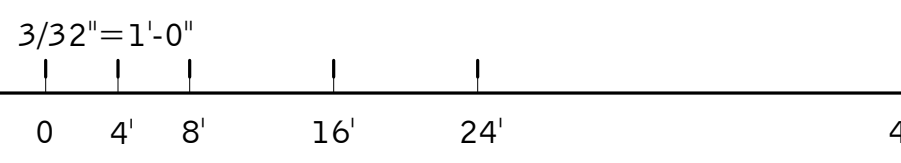
**THE CRAFTSMAN ON ELLIOT**  
8264 EAST ELLIOT ROAD,  
MESA, ARIZONA 85212

**MIXED USE APARTMENTS - LEVEL 2 - FLOOR PLAN**

DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY:	H.A. / E.M.
JOB NO.:	PHX22-0196-00

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**DR103**



MIXED USE APARTMENTS - LEVEL 3 AND 4 - TYPICAL FLOOR PLAN  
SCALE: 3/32" = 1'-0"

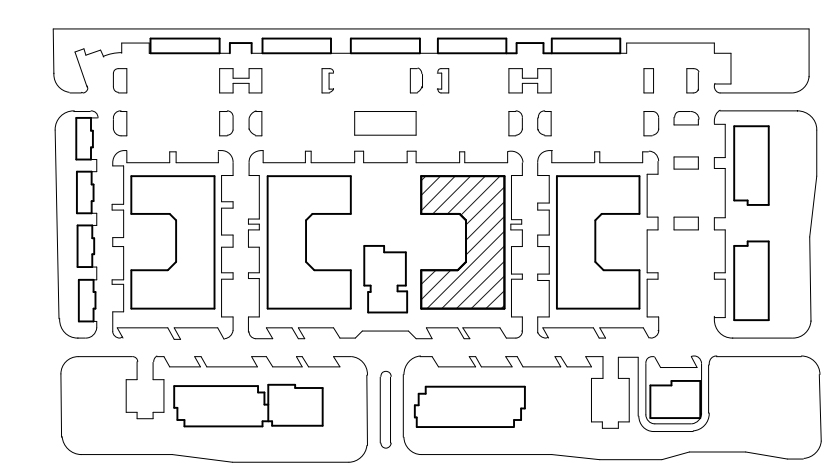
**LEGENDS**

WALL	BASIC DESCRIPTION
	2 HR FIRE-RESISTANCE RATED CONCRETE MASONRY WALL
	1 HR EXTERIOR PANEL OVER WOOD STUD WALL
	1 HR EXTERIOR WALL WITH BRICK WALL FURRING
	NON-RATED INTERIOR PARTITION
	1HR FIRE-RESISTANCE RATED WOOD DOUBLE STUD DEMISING WALL

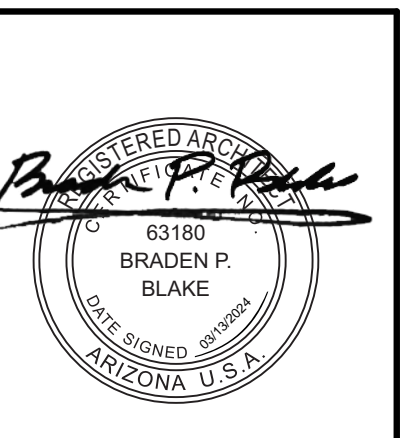
**KEYNOTES:**

- 203 ELEVATOR SHAFT AND PIT.
- 210 EXTERIOR UNIT SEPARATION PRIVACY WALL.
- 220 CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 226 3 PANEL VINYL SLIDING OPERABLE WINDOW.
- 227 18" X 36" FIXED WINDOW.
- 238 STAND PIPE.
- 406 BALCONY WITH 42" METAL GUARDRAIL.

**KEY PLAN**



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PLANNING  
INTERIORS  
CIVIL ENGINEERING  
BRANDING  
BUILDING MEASUREMENT  
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Phoenix, AZ 85016  
P: 480.767.1001



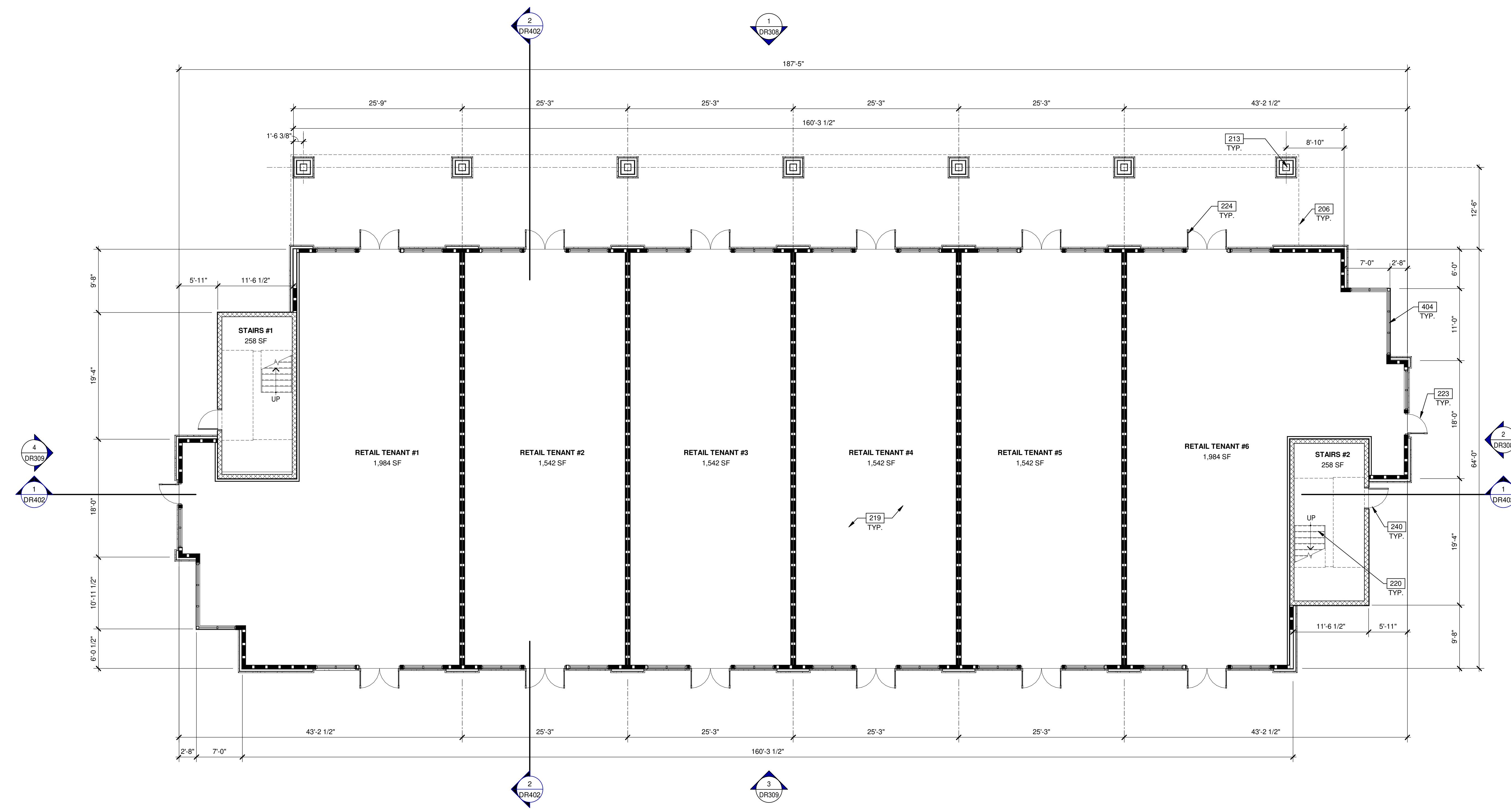
**THE CRAFTSMAN ON ELLIOT**  
8264 EAST ELLIOT ROAD,  
MESA, ARIZONA 85212

**MIXED USE APARTMENTS - LEVEL 3 & LEVEL 4 - TYPICAL FLOOR PLAN**

DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY:	H.A. / E.M.
JOB NO.:	PHX22-0196-00

SHEET  
**DR104**



4  
DR309

1  
DR402

2  
DR402

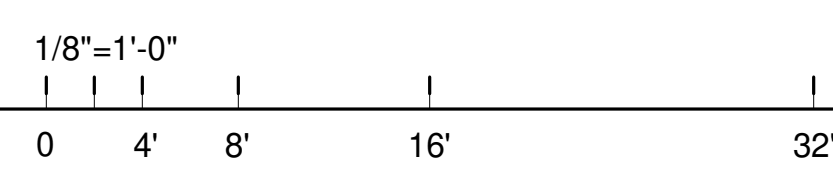
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DR309

2  
DR309

1  
DR402

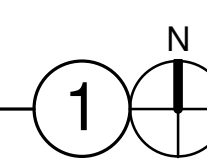
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DR402

3  
DR309



MIXED USE BUILDING - LEVEL 1 - FLOOR PLAN

SCALE: 1/8" = 1'-0"



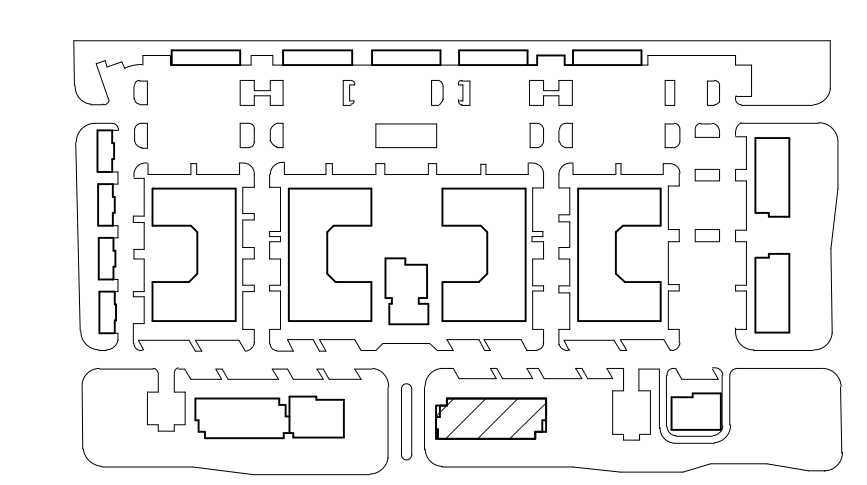
LEGEND

- WALL BASIC DESCRIPTION
- 1HR RATED FULL HEIGHT PARTITION
  - CMU WALL, FULLY GROUTED
  - EXTERIOR WALL, 1 HR RATED

KEYNOTES:

- 206 OUTLINE OF CANOPY ABOVE.
- 213 WRAPPED WOOD COLUMN.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 220 CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 224 EXTERIOR (PAIR) ALUMINUM DOUBLE DOOR.
- 240 EXTERIOR HOLLOW METAL DOOR.
- 404 ALUMINUM STOREFRONT SYSTEM.

KEY PLAN

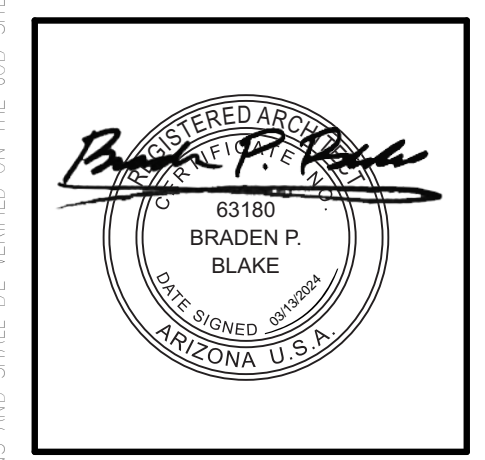


**WARE MALCOMB**

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BUILDING MEASUREMENT

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**THE CRAFTSMAN ON ELLIOT**

8264 EAST ELLIOT ROAD,  
MESA, ARIZONA 85212

MIXED USE BUILDING - LEVEL 1 - FLOOR PLAN

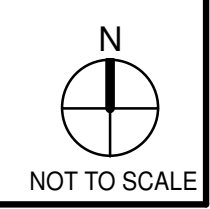
DATE	REMARKS
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03/13/2024	SP / DRB SUBMITTAL #4 REV. 1

PA/PM:	C. BRUCE
DRAWN BY:	E.M. / H.A.
JOB NO.:	PHX22-0196-00

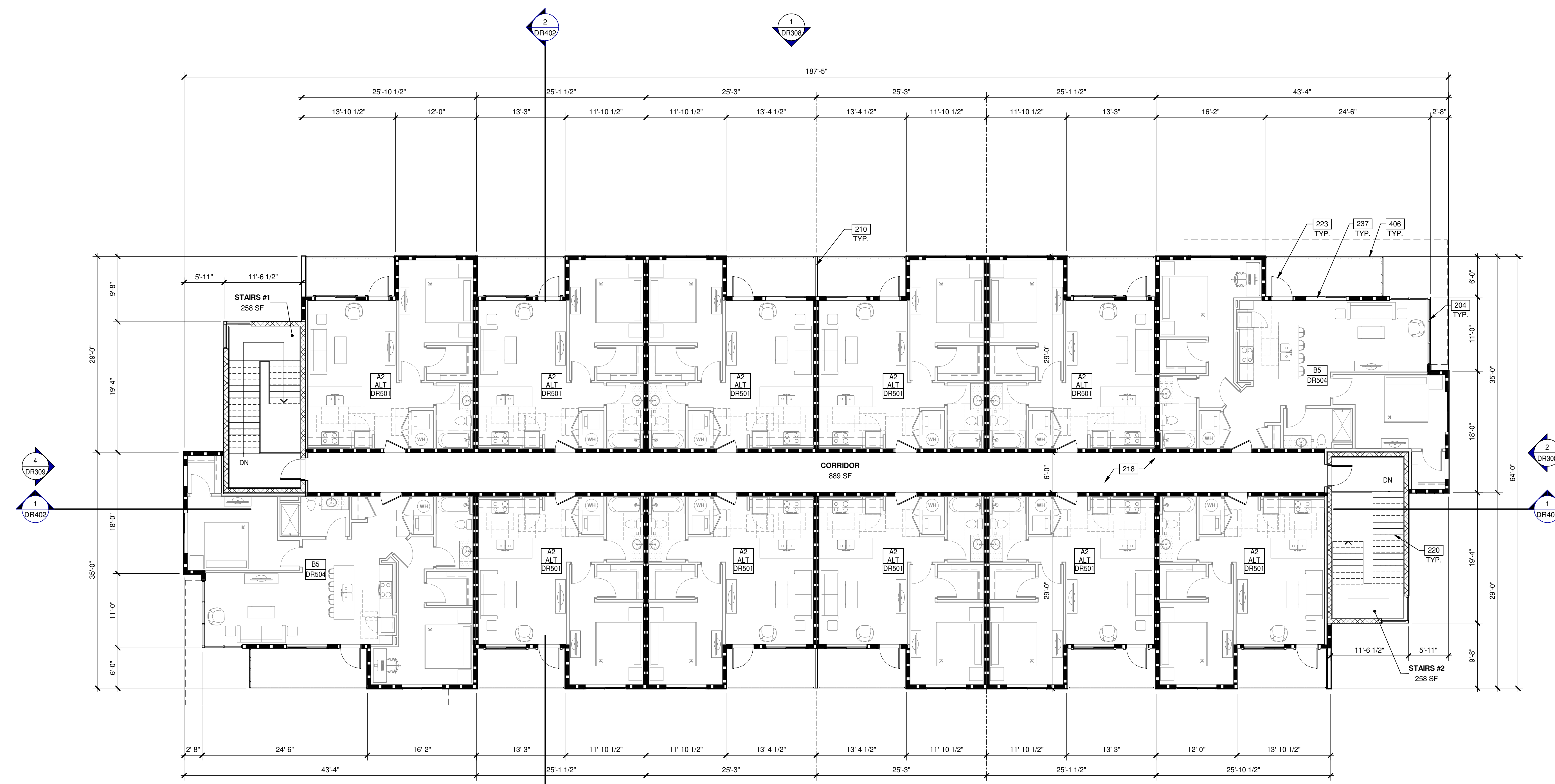
SHEET

**DR105**

10/6/2023 8:50:48 PM



NOT TO SCALE



MIXED USE BUILDING - LEVEL 2 - FLOOR PLAN

SCALE: 1/8" = 1'-0"

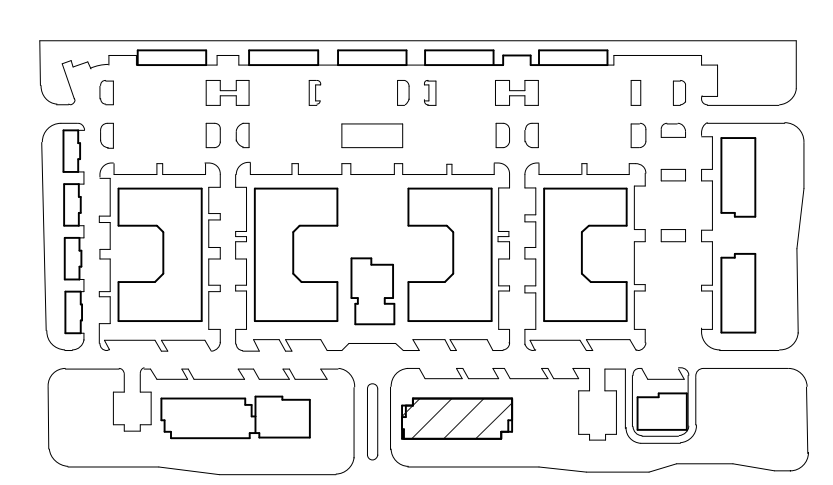
LEGEND

- WALL BASIC DESCRIPTION
- FULL HEIGHT NON-RATED PARTITION TO STRUCTURE
  - 1HR RATED FULL HEIGHT PARTITION
  - CMU WALL, FULLY GROUTED
  - EXTERIOR WALL, 1 HR RATED

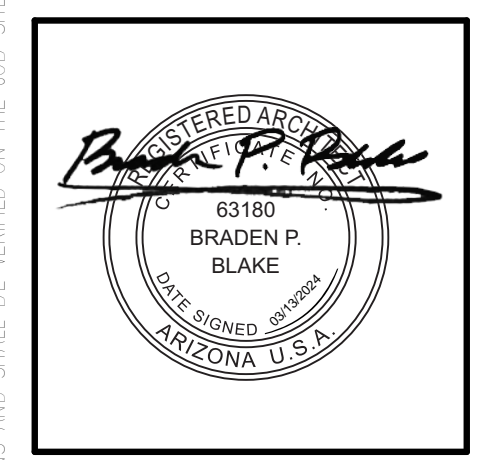
KEYNOTES:

- 204 ALUMINUM STOREFRONT SYSTEM.
- 210 EXTERIOR UNIT SEPARATION PRIVACY WALL.
- 218 WOOD FLOOR ASSEMBLY.
- 220 CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 237 72" X 60" VINYL SLIDING OPERABLE WINDOW.
- 406 BALCONY WITH 42" METAL GUARDRAIL.

KEY PLAN



**WARE MALCOMB**  
 CIVIL ENGINEERING  
 ARCHITECTURE  
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 BUILDING MEASUREMENT  
 2777 E. Camelback Rd. Suite #325  
 Phoenix, AZ 85016  
 P 480.767.1001



**THE CRAFTSMAN ON ELLIOT**  
 8264 EAST ELLIOT ROAD,  
 MESA, ARIZONA 85212

MIXED USE BUILDING - LEVEL 2 - FLOOR PLAN

DATE	REMARKS
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01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

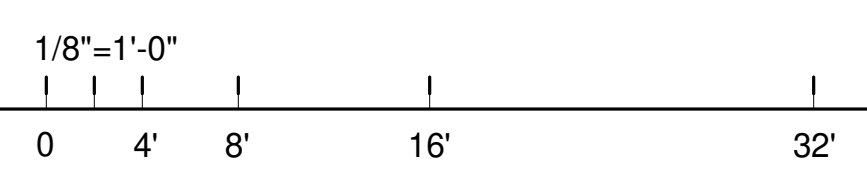
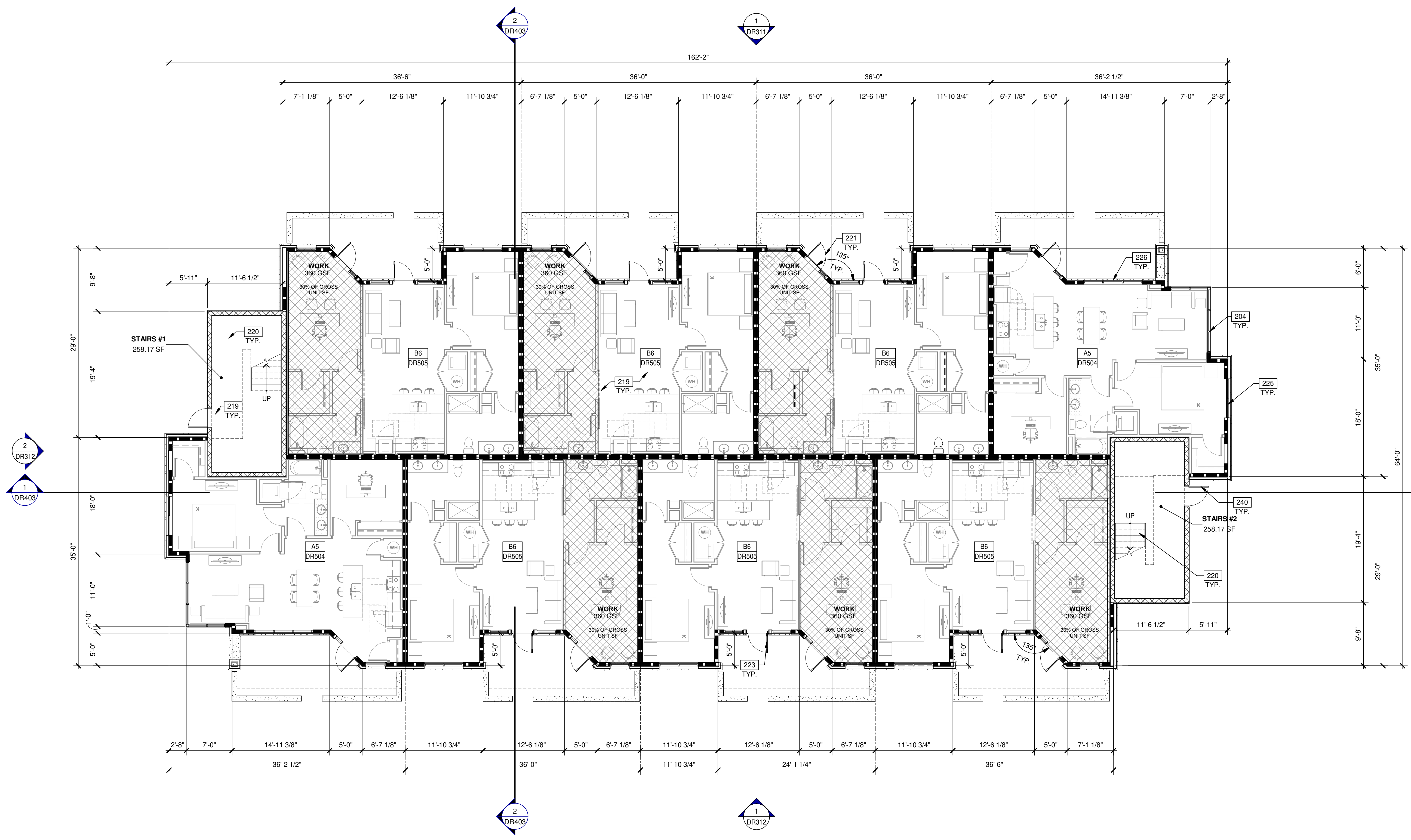
PA/PM:	C. BRUCE
DRAWN BY.:	E.M. / H.A.
JOB NO.:	PHX22-0196-00

SHEET  
**DR106**

Autodesk Docs/PHX22-0196-00\_The Craftsman on Elliot - Mixed Use/0196\_AU\_ARCH.rvt



**THE CRAFTSMAN ON ELLIOT**  
8264 EAST ELLIOT ROAD,  
MESA, ARIZONA 85212



LIVE/WORK BUILDING - LEVEL 1 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"

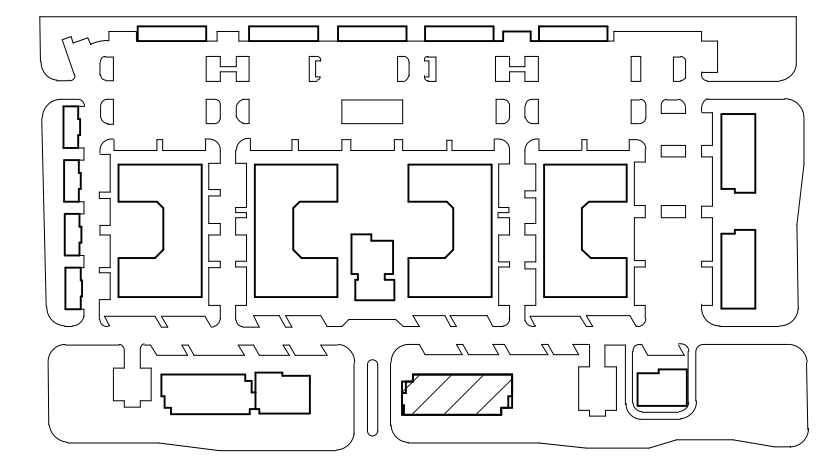
**LEGEND**

WALL	BASIC DESCRIPTION
—	FULL HEIGHT NON-RATED PARTITION TO STRUCTURE
—	1HR RATED FULL HEIGHT DEMISING WALL TO STRUCTURE
—	2HR FIRE-RESISTANCE RATED CMU WALL, FULLY GROUTED.
—	1HR RATED EXTERIOR WALL

**KEYNOTES:**

- 204 ALUMINUM STOREFRONT SYSTEM.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 220 CONCRETE-FILLED STEEL PAN TRENDS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
- 221 EXTERIOR STOREFRONT DOOR WITH SIDELIGHT.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 225 VINYL SLIDING OPERABLE WINDOW.
- 226 3 PANEL VINYL SLIDING OPERABLE WINDOW.
- 240 EXTERIOR HOLLOW METAL DOOR.

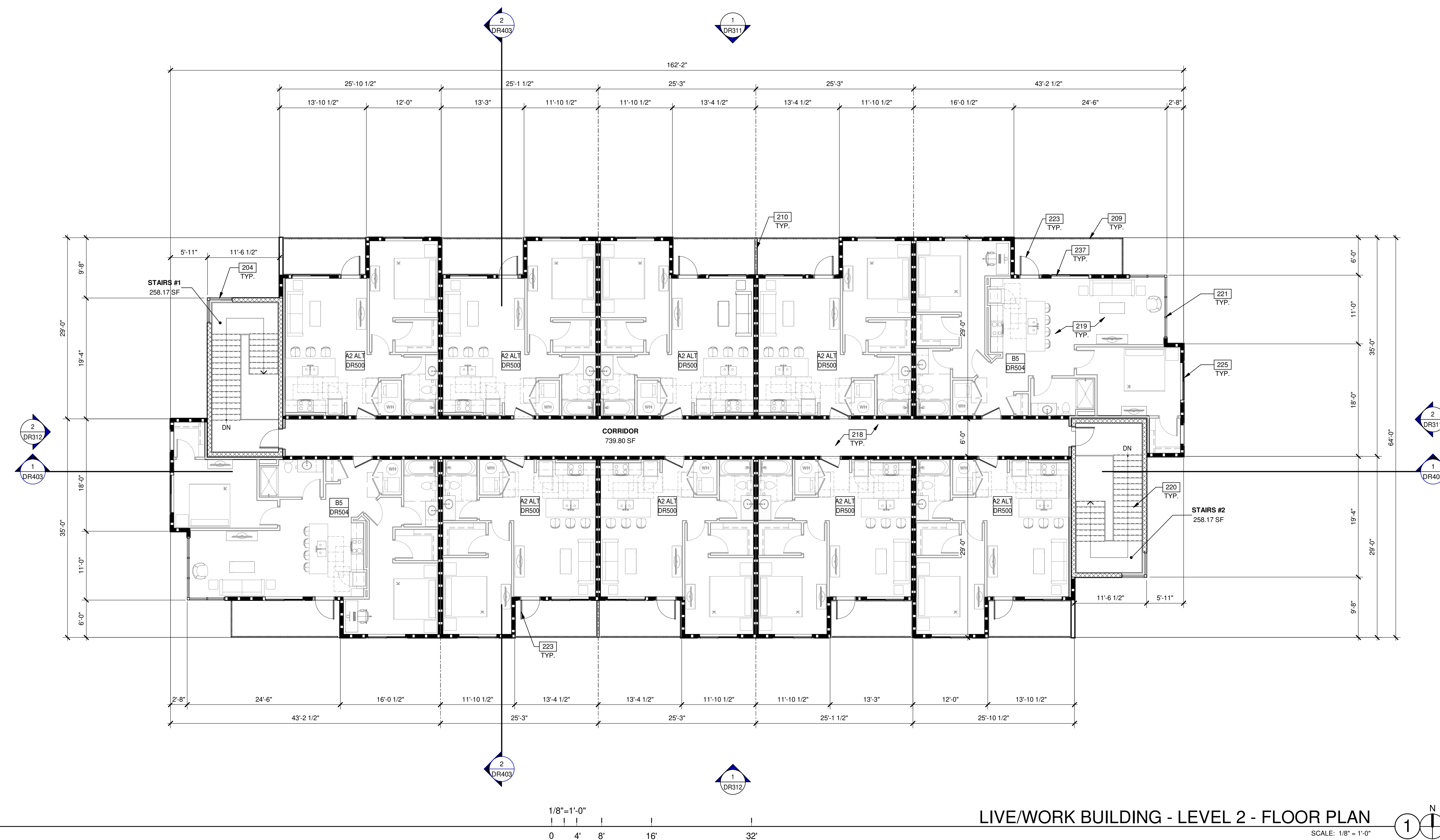
**KEY PLAN**



**LIVE/WORK BUILDING - LEVEL 1 - FLOOR PLAN**

DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
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01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV. 1

PA/PM:	C. BRUCE
DRAWN BY.:	E.M. / H.A.
JOB NO.:	PHX22-0196-00



LIVE/WORK BUILDING - LEVEL 2 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"

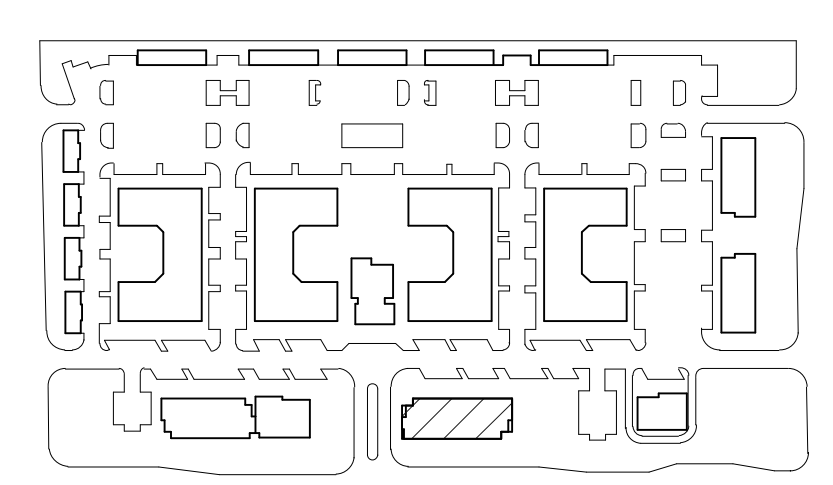
**LEGEND**

WALL	BASIC DESCRIPTION
	FULL HEIGHT NON-RATED PARTITION TO STRUCTURE
	1HR RATED FULL HEIGHT DEMISING WALL TO STRUCTURE
	2HR FIRE-RESISTANCE RATED CMU WALL, FULLY GROUTED.
	1HR RATED EXTERIOR WALL

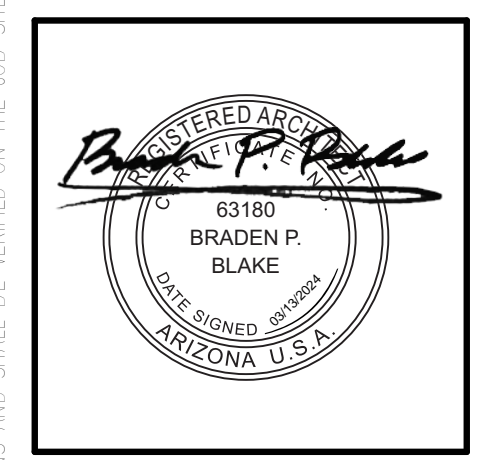
**KEYNOTES:**

- 204 ALUMINUM STOREFRONT SYSTEM.
- 209 DECORATIVE STAINLESS STEEL GUARD, UP TO 42" ABOVE FINISH FLOOR.
- 210 EXTERIOR UNIT SEPARATION PRIVACY WALL.
- 218 WOOD FLOOR ASSEMBLY.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 220 CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
- 221 EXTERIOR STOREFRONT DOOR WITH SIDELIGHT.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 225 VINYL SLIDING OPERABLE WINDOW.
- 237 72" X 60" VINYL SLIDING OPERABLE WINDOW.

**KEY PLAN**



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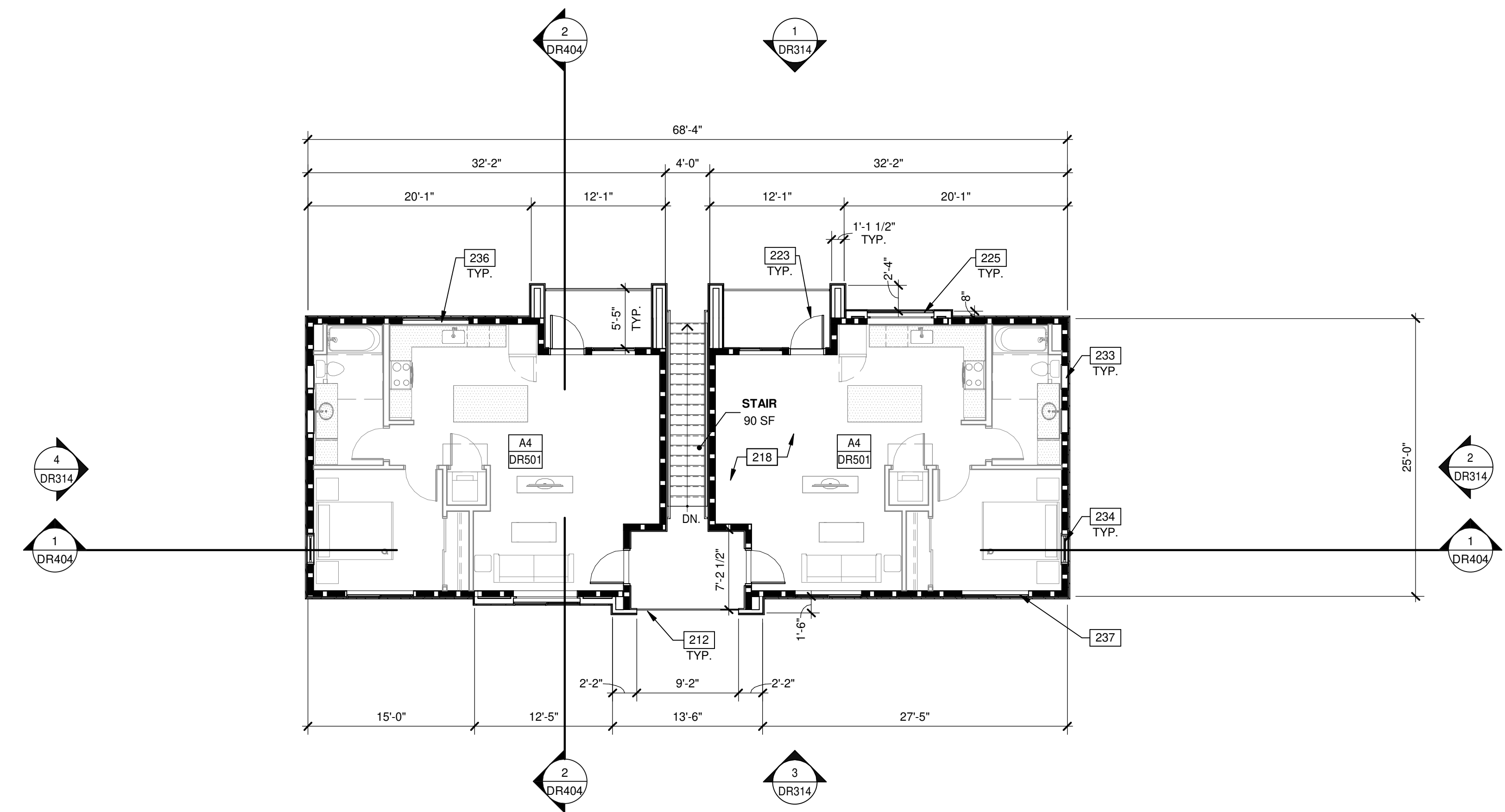
**THE CRAFTSMAN ON ELLIOT**  
 8264 EAST ELLIOT ROAD,  
 MESA, ARIZONA 85212

**LIVE/WORK BUILDING - LEVEL 2 - FLOOR PLAN**

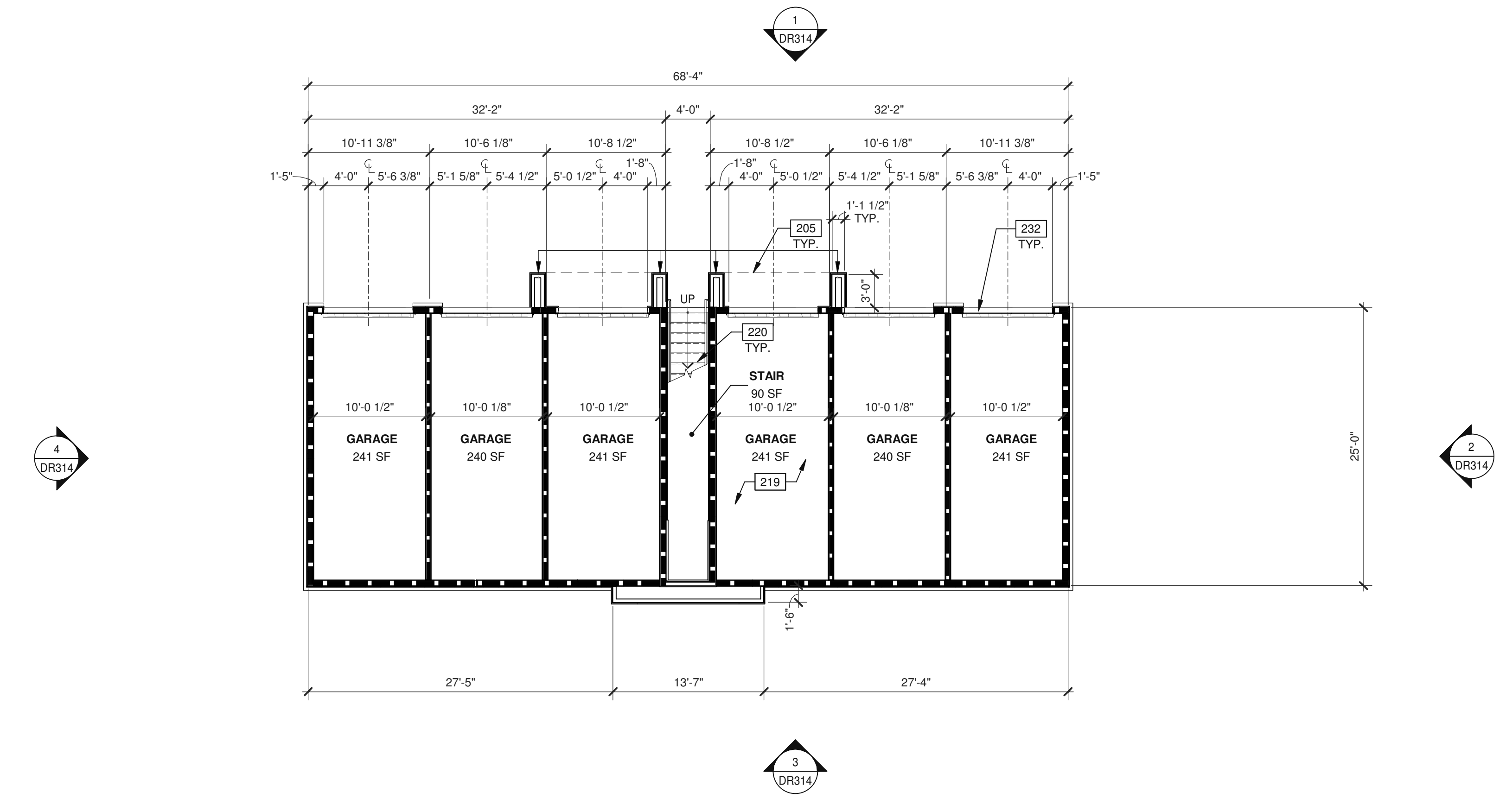
DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	E.M. / H.A.
JOB NO.:	PHX22-0196-00

SHEET  
**DR108**



CARRIAGE HOUSE - SECOND FLOOR PLAN 2  
SCALE: 1/8" = 1'-0"



CARRIAGE HOUSE - FIRST FLOOR PLAN 1  
SCALE: 1/8" = 1'-0"

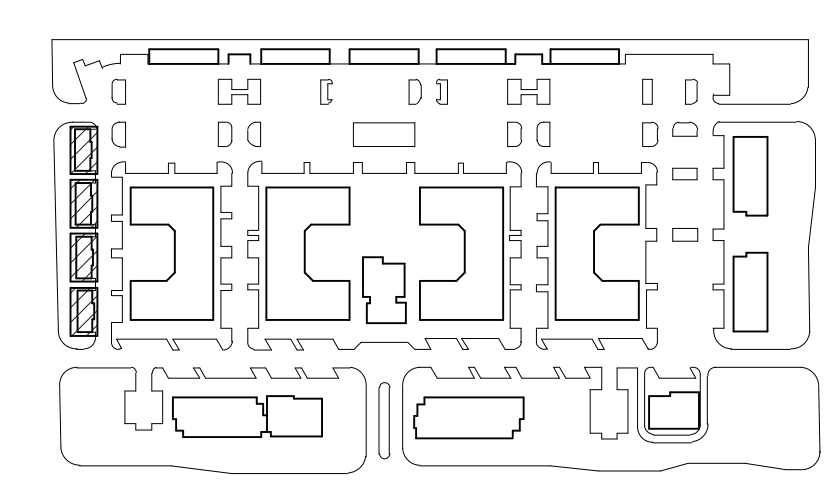
**KEYNOTES:**

- 205 OUTLINE OF FLOOR ABOVE.
- 212 42" HIGH PREFABRICATED GUARDRAIL.
- 218 WOOD FLOOR ASSEMBLY.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 220 CONCRETE-FILLED STEEL PAN TREADS AND LANDINGS WITH FABRICATED STEEL SUPPORT STRINGERS.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 225 VINYL SLIDING OPERABLE WINDOW.
- 232 96" X 96" SECTIONAL ALUMINUM GARAGE DOOR, SINGLE CAR.
- 233 24" X 24" FIXED WINDOW.
- 234 32" X 66" FIXED WINDOW.
- 236 66" X 48" VINYL SLIDING OPERABLE WINDOW.
- 237 72" X 60" VINYL SLIDING OPERABLE WINDOW.

**LEGEND**

WALL	BASIC DESCRIPTION
	EXTERIOR WALL
	1HR FIRE-RESISTANCE RATED

**KEY PLAN**

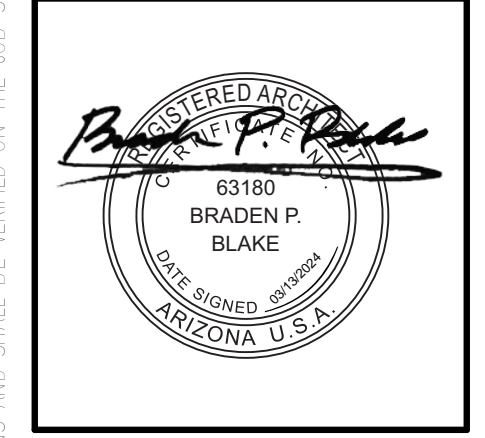


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**THE CRAFTSMAN ON ELLIOT**

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CARRIAGE HOUSE - FLOOR PLANS	
DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

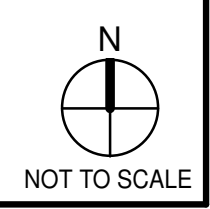
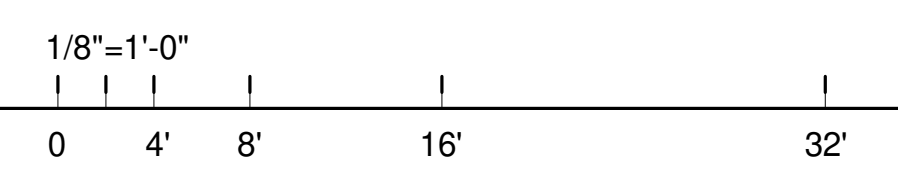
PA/PM:	C. BRUCE
DRAWN BY.:	H.A. / E.M.
JOB NO.:	PHX22-0196-00

SHEET

**DR109**

10/6/2023 8:36:30 PM

Autodesk Docs/PHX22-0196-00\_The Craftsman on Elliot\_Mixed Use0196\_CIP\_ARCH.rvt



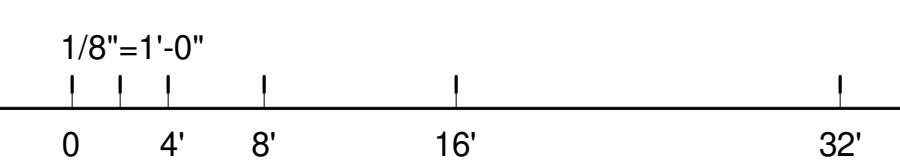
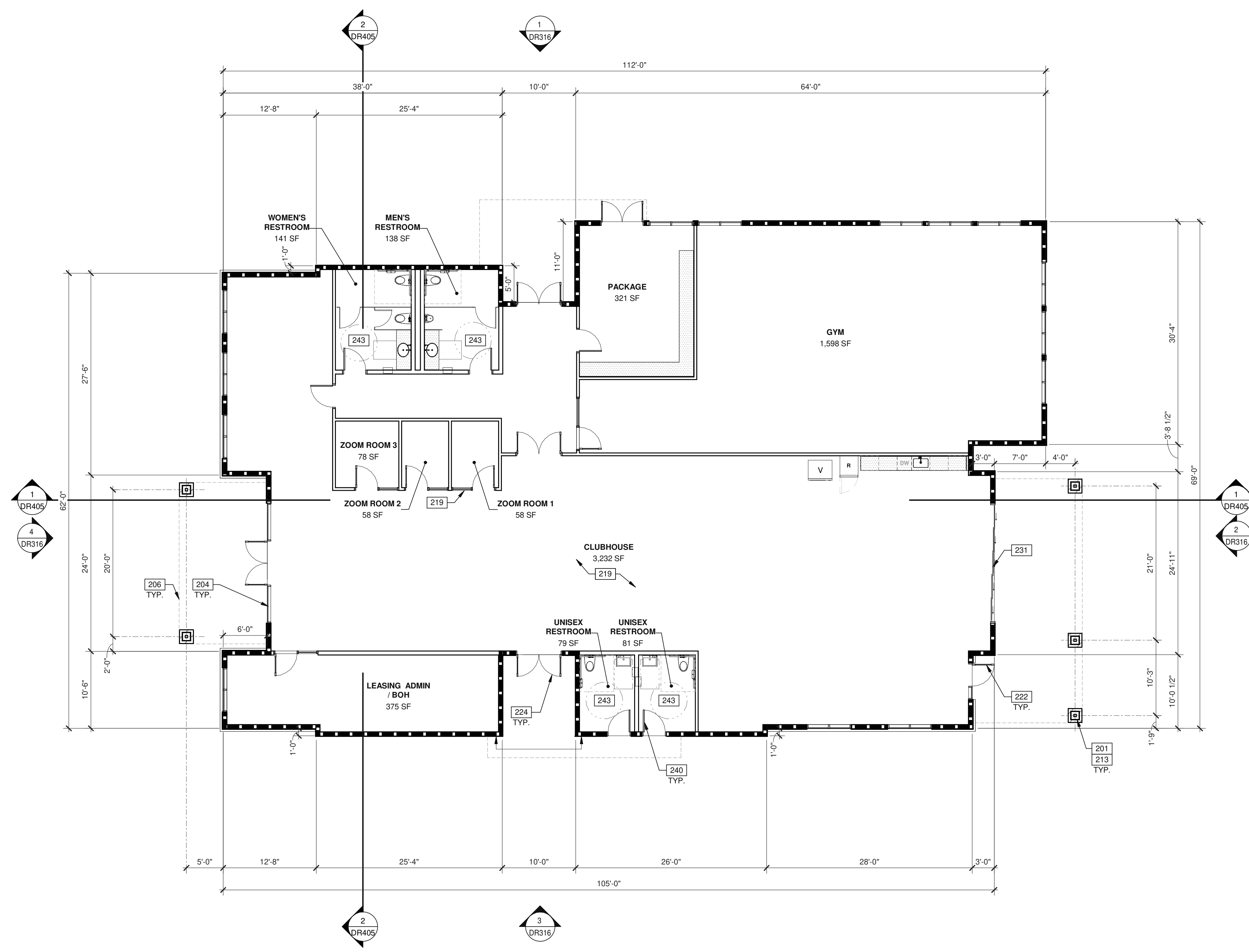
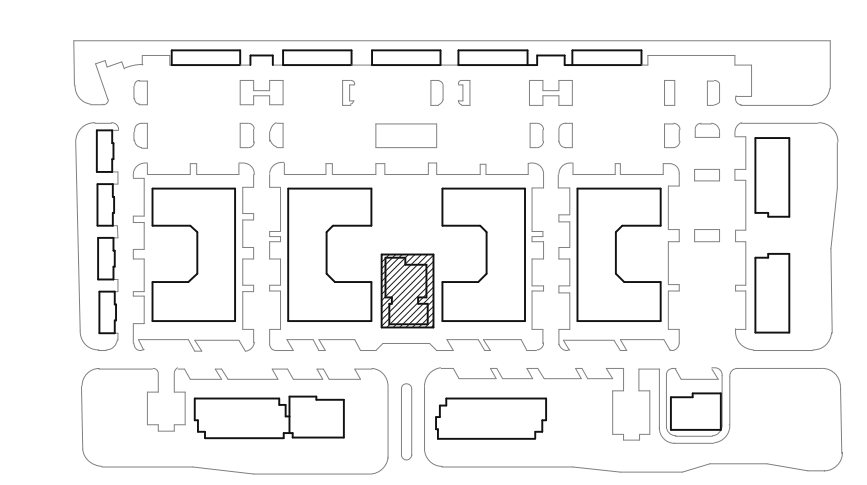
**KEYNOTES:**

- 201 STRUCTURAL COLUMN.
- 204 ALUMINUM STOREFRONT SYSTEM.
- 206 OUTLINE OF CANOPY ABOVE.
- 213 WRAPPED WOOD COLUMN.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 222 EXTERIOR ALUMINUM DOOR WITH SIDELIGHT.
- 224 EXTERIOR (PAIR) ALUMINUM DOUBLE DOOR.
- 231 ALUMINUM AND GLASS FOLDING WALL.
- 240 EXTERIOR HOLLOW METAL DOOR.
- 243 FULLY ACCESSIBLE RESTROOM FACILITY.

**LEGEND**

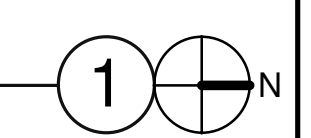
- WALL**      **BASIC DESCRIPTION**
- EXTERIOR 1HR RATED WOOD STUD WALL
  - INTERIOR NON RATED PARTITION

**KEY PLAN**



**CLUBHOUSE & FITNESS - FLOOR PLAN**

SCALE: 1/8" = 1'-0"



NOT TO SCALE

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**THE CRAFTSMAN ON ELLIOT**  
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**CLUBHOUSE & FITNESS - FLOOR PLAN**

DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	H.A./E.M.
JOB NO.:	PHX22-0196-00

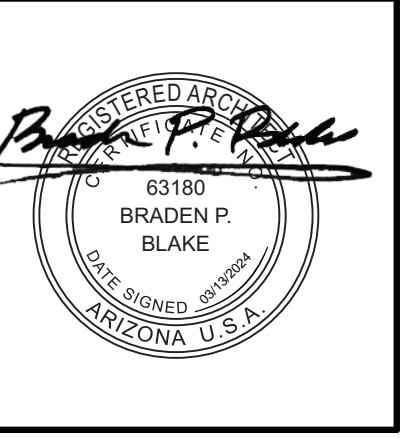
SHEET  
**DR110**



KEYNOTES:

- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 228 ACCESSIBLE GARAGE.
- 232 96" X 96" SECTIONAL ALUMINUM GARAGE DOOR, SINGLE CAR.

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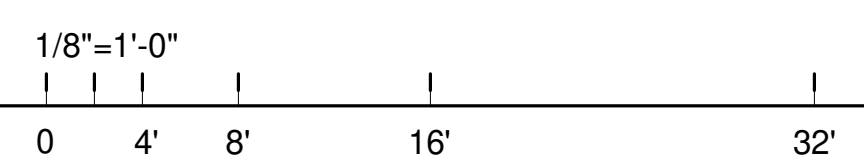
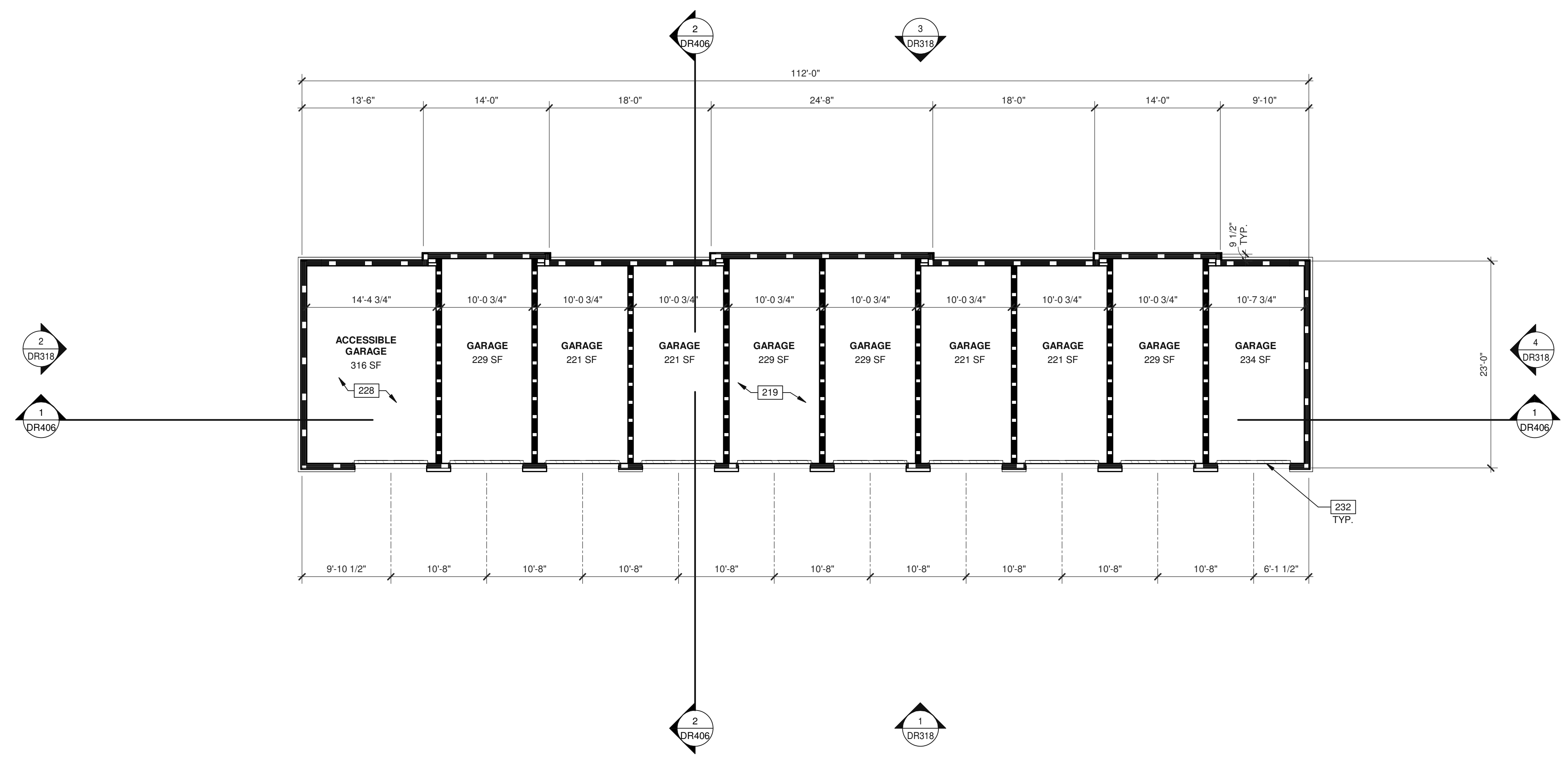
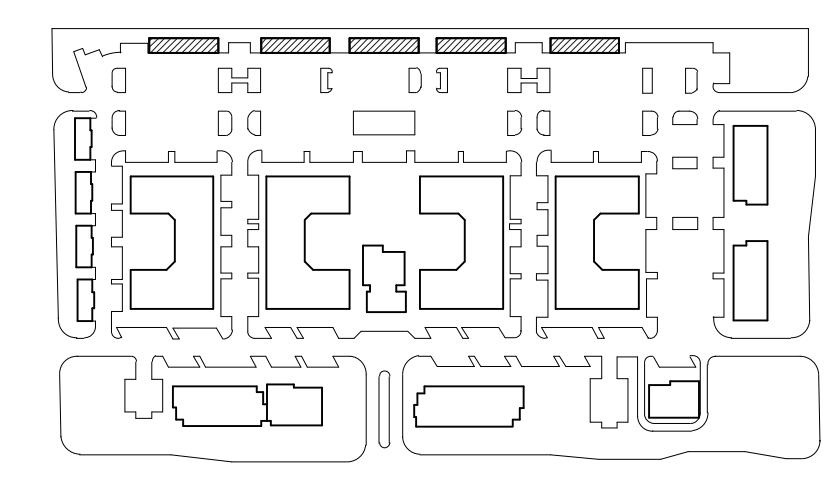


**THE CRAFTSMAN ON ELLIOT**  
 8264 EAST ELLIOT ROAD,  
 MESA, ARIZONA 85212

LEGEND

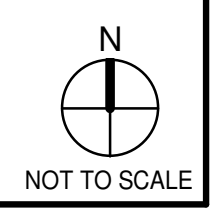
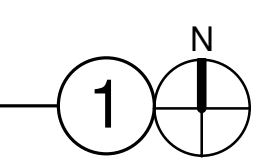
- WALL BASIC DESCRIPTION
- EXTERIOR 1 HR RATED WOOD STUD WALL
  - INTERIOR 1 HR RATED PARTITION

KEY PLAN



DETACHED GARAGE - FLOOR PLAN

SCALE: 1/8" = 1'-0"



DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

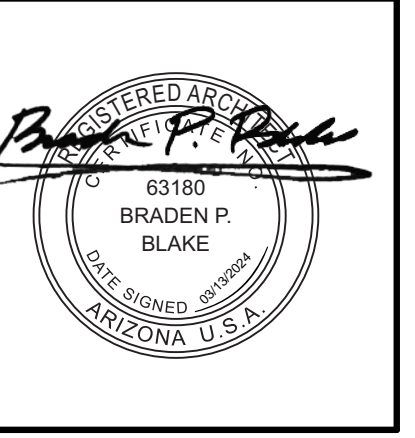
PA/PM:	C. BRUCE
DRAWN BY.:	E.M. / H.A.
JOB NO.:	PHX22-0196-00

SHEET  
**DR111**

KEYNOTES:

- 206 OUTLINE OF CANOPY ABOVE.
- 213 WRAPPED WOOD COLUMN.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 224 EXTERIOR (PAIR) ALUMINUM DOUBLE DOOR.
- 404 ALUMINUM STOREFRONT SYSTEM.

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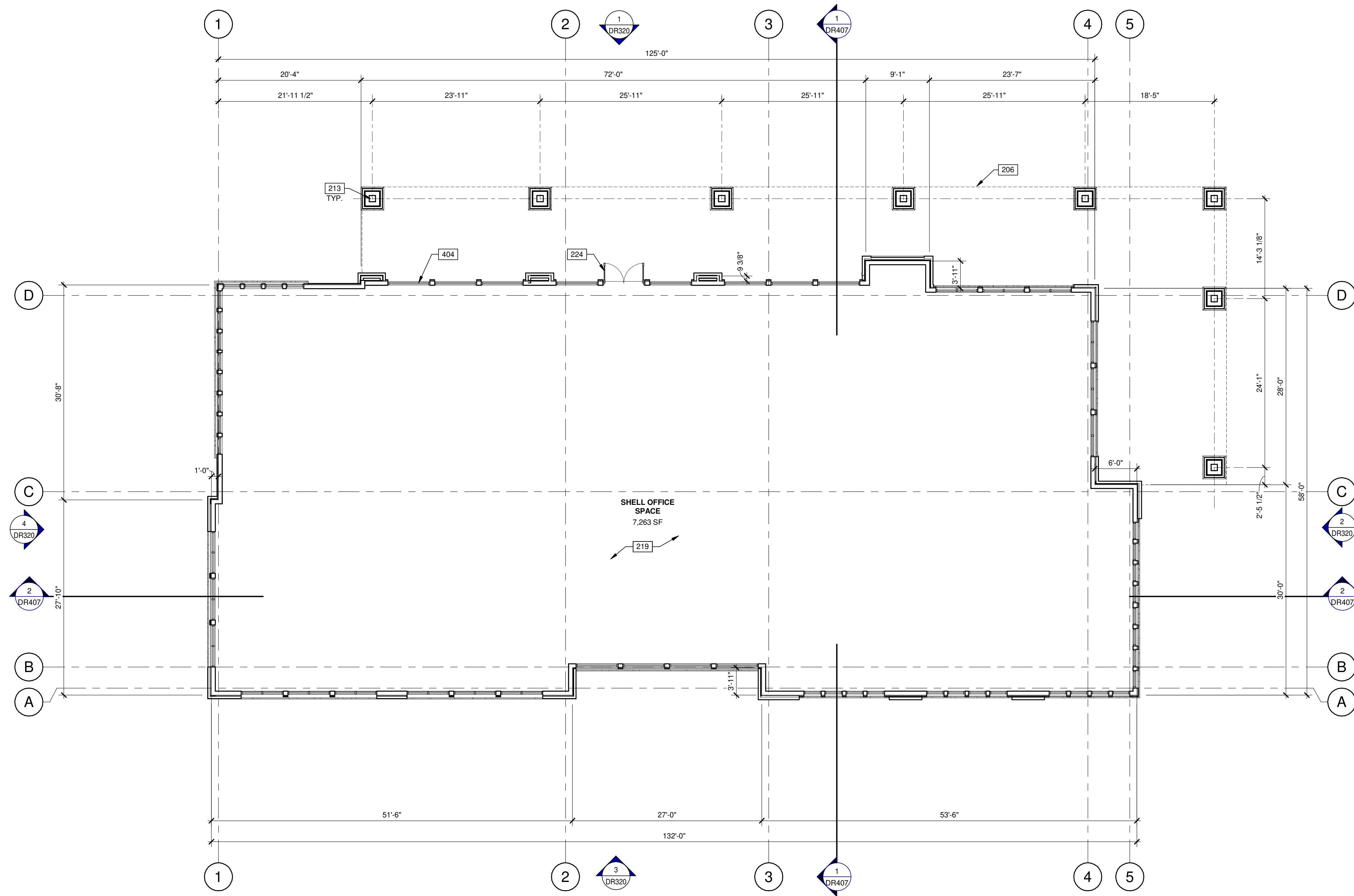
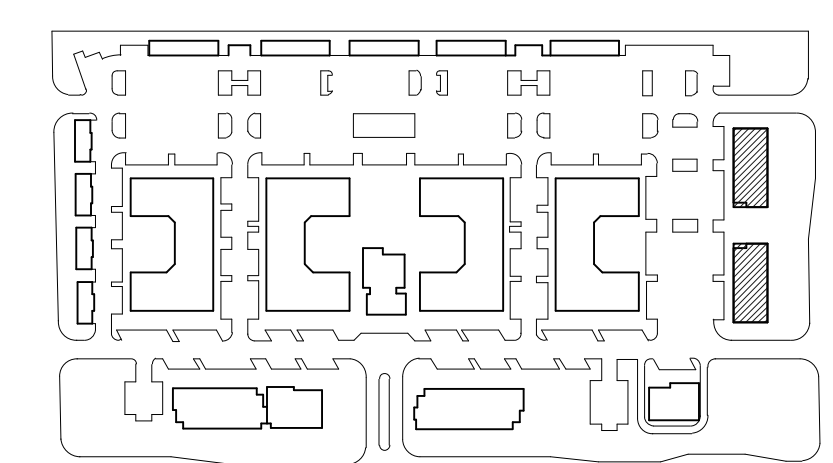


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 8264 EAST ELLIOT ROAD,  
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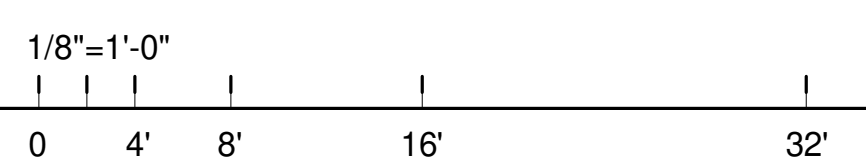
LEGEND

- WALL BASIC DESCRIPTION
- EXTERIOR METAL STUD WALL

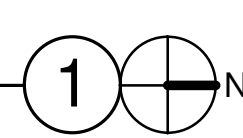
KEY PLAN



SHELL OFFICE SPACE  
 7,263 SF  
 219



**OFFICE BUILDING "A" - FLOOR PLAN**  
 OFFICE BUILDING "B" SIM. MIRRORED HORIZONTALLY SCALE: 1/8" = 1'-0"



OFFICE BUILDING "A" - FLOOR PLAN

DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
02/07/2023	SP / DRB SUBMITTAL #1
06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	H.A./E.M.
JOB NO.:	PHX22-0196-00

SHEET  
**DR112**  
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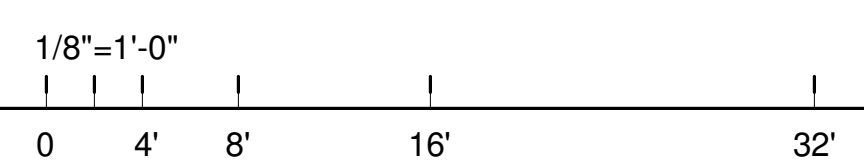
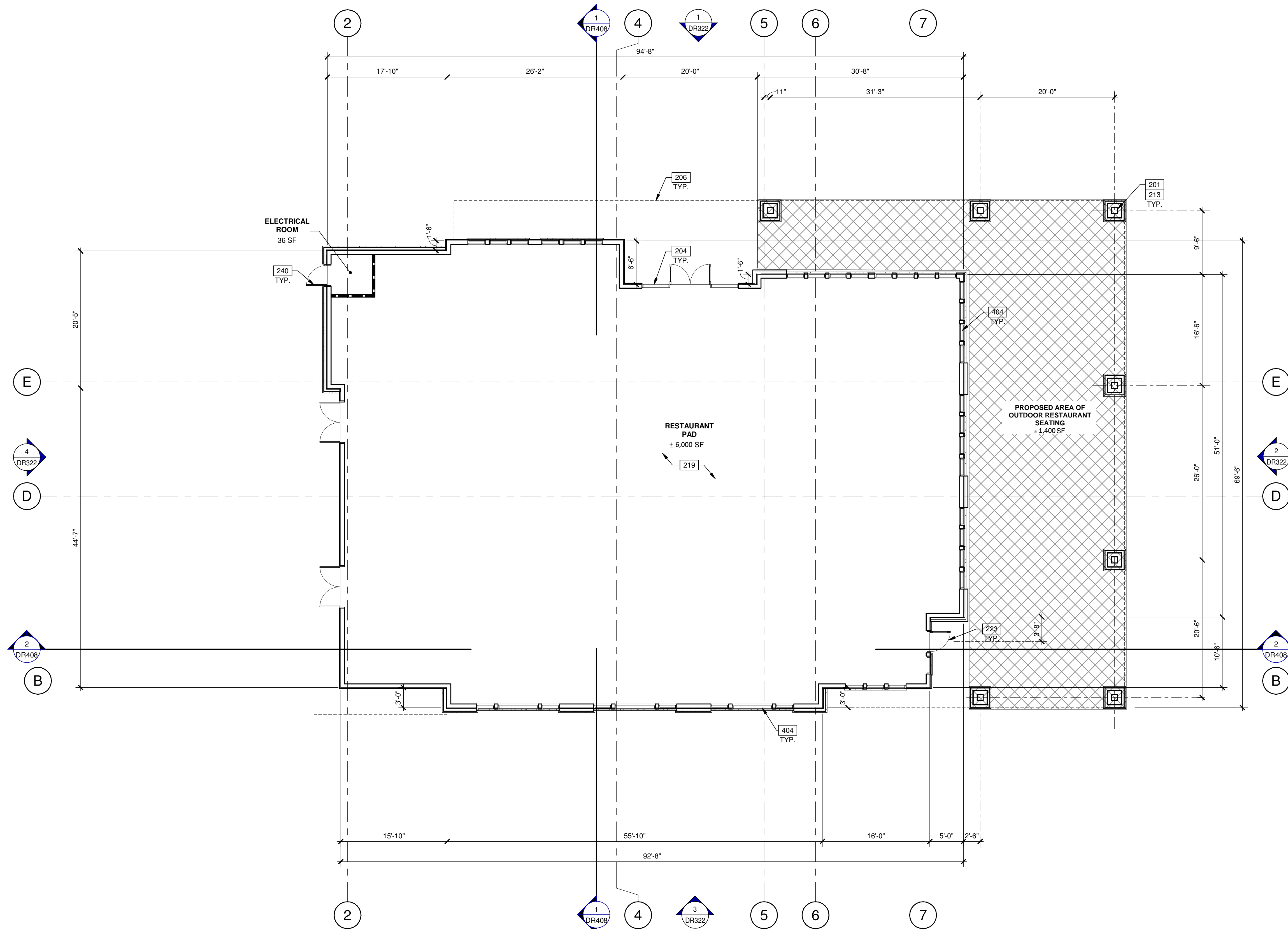
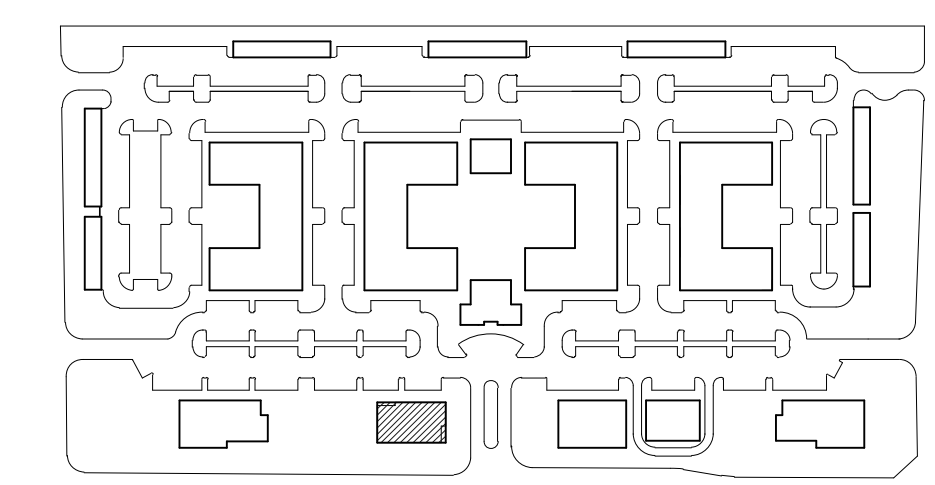
**KEYNOTES:**

- 201 STRUCTURAL COLUMN.
- 204 ALUMINUM STOREFRONT SYSTEM.
- 206 OUTLINE OF CANOPY ABOVE.
- 213 WRAPPED WOOD COLUMN.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 223 EXTERIOR ALUMINUM FULL LITE DOOR.
- 240 EXTERIOR HOLLOW METAL DOOR.
- 404 ALUMINUM STOREFRONT SYSTEM.

**LEGEND**

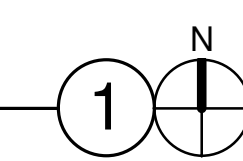
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|-------------|------------------------------|
| <b>WALL</b> | <b>BASIC DESCRIPTION</b>     |
|             | EXTERIOR METAL STUD WALL     |
|             | INTERIOR 1HR RATED PARTITION |

**KEY PLAN**

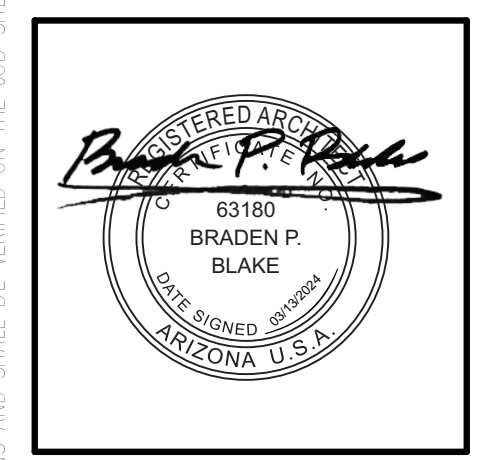


**RESTAURANT BUILDING - FLOOR PLAN**

SCALE: 1/8" = 1'-0"



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RESTAURANT BUILDING - FLOOR PLAN	
DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
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10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	H.A./E.M.
JOB NO.:	PHX22-0196-00

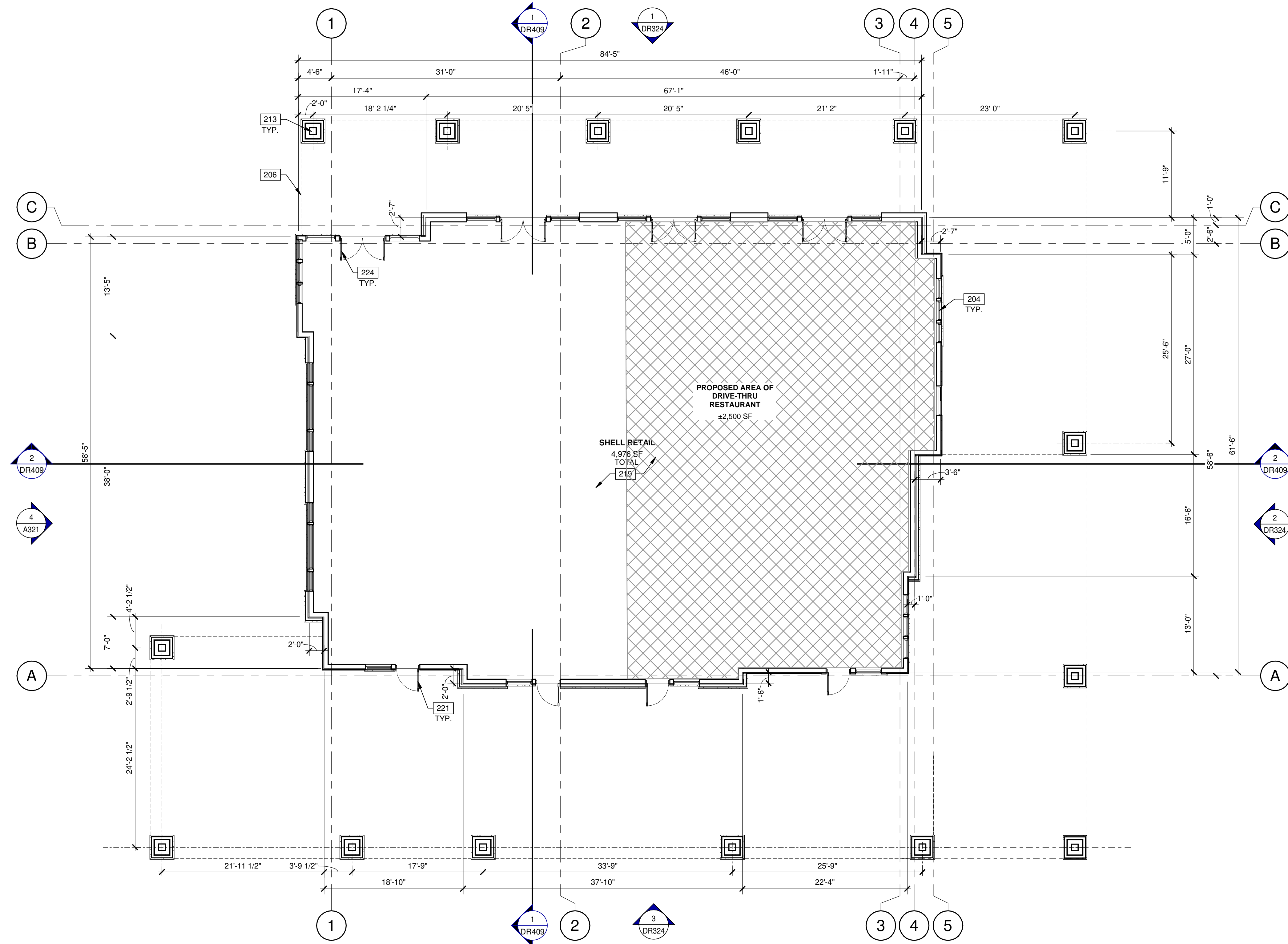
SHEET  
**DR113**

**KEYNOTES:**

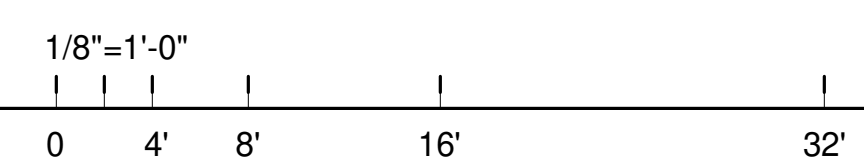
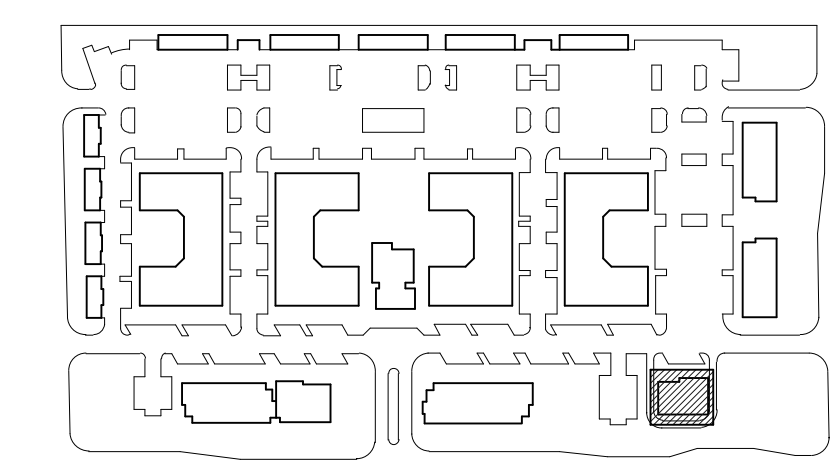
- 204 ALUMINUM STOREFRONT SYSTEM.
- 206 OUTLINE OF CANOPY ABOVE.
- 213 WRAPPED WOOD COLUMN.
- 219 CONCRETE SLAB, PROVIDE VAPOR BARRIER PER SOILS REPORT.
- 221 EXTERIOR STOREFRONT DOOR WITH SIDELIGHT.
- 224 EXTERIOR (PAIR) ALUMINUM DOUBLE DOOR.

**LEGEND**

- WALL BASIC DESCRIPTION
- EXTERIOR METAL STUD WALL
  - NON RATED INTERIOR PARTITION

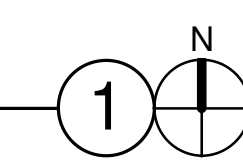


**KEY PLAN**



**RETAIL BUILDING - FLOOR PLAN**

SCALE: 1/8" = 1'-0"



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DATE	REMARKS
02/27/2023	PRE-APPLICATION SUBMITTAL
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06/05/2023	SP / DRB SUBMITTAL #2
10/09/2023	SP / DRB SUBMITTAL #3
01/29/2024	SP / DRB SUBMITTAL #4
03/13/2024	SP / DRB SUBMITTAL #4 REV 1

PA/PM:	C. BRUCE
DRAWN BY.:	H.A./E.M.
JOB NO.:	PHX22-0196-00

SHEET  
**DR114**