

AMERICANA
 OUTDOORS

Americana Outdoors - Bldg 51
 7427 S SIGNAL BUTTE RD, MESA, AZ 85212

REVISIONS		DATE
ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION

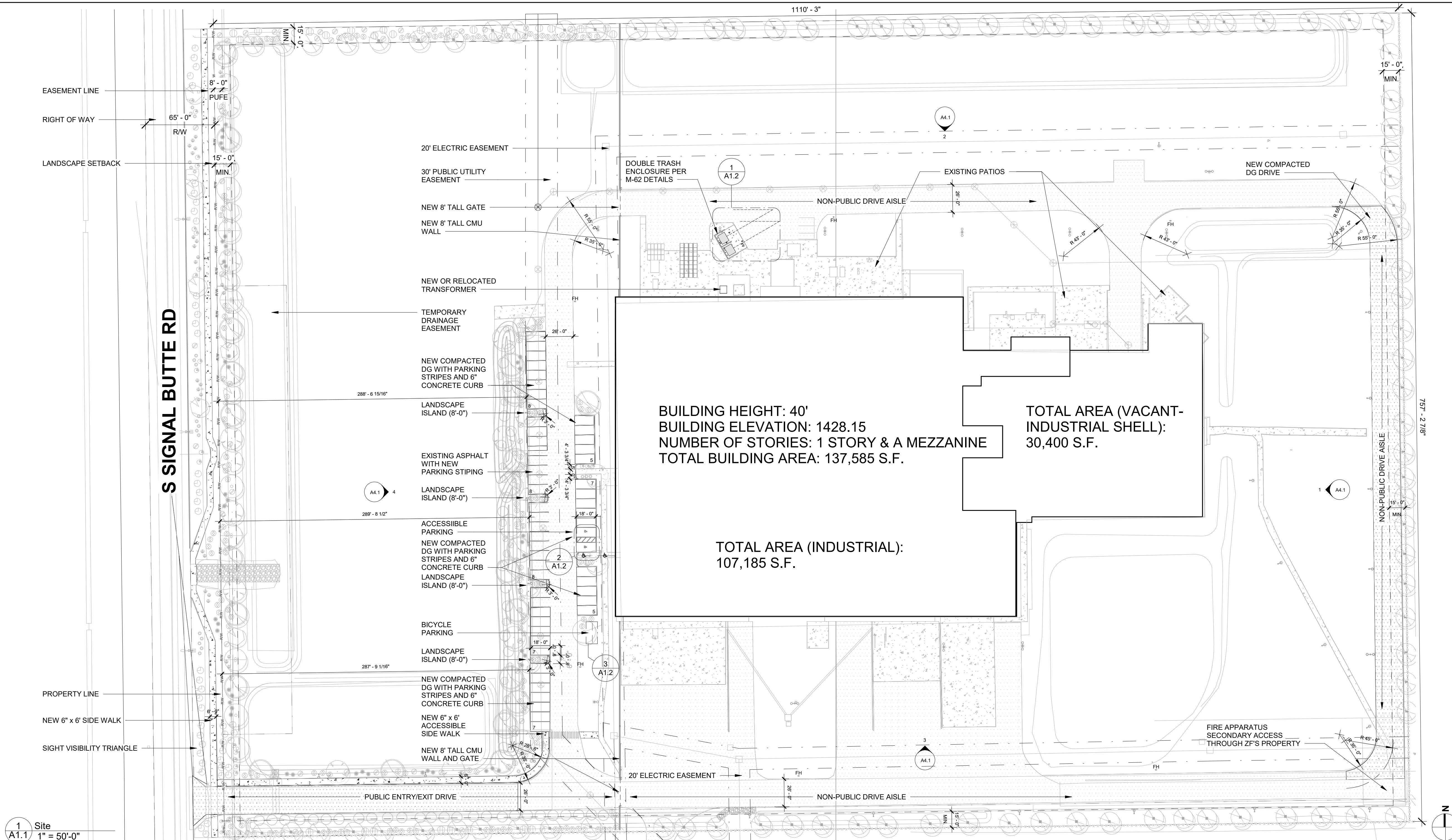
SEAL

PROJECT NUMBER
23-0005845.01
DATE
Issue Date
DRAWN
Author
CHECKED
Checker
SCALE
As indicated
SHEET TITLE
FINAL SITE PLAN

SITE PLAN

SHEET NUMBER

A1.1



PROJECT DATA	LEGAL DESCRIPTION	SITE LEGEND	PROJECT DESCRIPTION						
<p>LOT GROSS AREA: 840795 SF - 19.302 AC</p> <p>LOT NET AREA: 487578 SF - 11.193 AC</p> <p>DISTURBED AREA: 44657 SF - 1 AC</p> <p>ZONING: GI</p> <p>BUILDING SETBACK: 15'</p> <p>TOTAL LANDSCAPED PERIMETER AREA: 83,150 SF</p> <p>TOTAL BLDG AREA (VACANT): 30,400 S.F.</p> <p>TOTAL BLDG AREA (INDUSTRIAL): 107,185 S.F.</p> <p>TOTAL BLDG AREA: 137,585 S.F.</p> <p>PARKING REQUIRED: SEE ATTACHED TRAFFIC ENGINEER STUDY.</p> <p>PARKING PROVIDED:</p> <table border="1"> <tr> <td>EMPLOYEES PARKING:</td> <td>53 SPACES</td> </tr> <tr> <td>ACCESSIBLE:</td> <td>2 SPACES</td> </tr> <tr> <td>BICYCLE PARKING:</td> <td>6 SPACES</td> </tr> </table>	EMPLOYEES PARKING:	53 SPACES	ACCESSIBLE:	2 SPACES	BICYCLE PARKING:	6 SPACES	<p>PARCEL: SEE SUBMITTED PLAT (ZON23-01019)</p> <p>PROPERTY ADDRESS: 7427 S SIGNAL BUTTE MESA, AZ 85212</p> <p>S/T/R: 1 2S 7E</p> <p>A PORTION OF THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 7 EAST, MARICOPA COUNTY, AZ.</p>	<p>EXISTING FENCE LINE</p> <p>ACCESSIBLE ROUTE</p> <p>UTILITY LINE</p> <p>PROPERTY LINE</p> <p>RIGHT OF WAY LINE</p> <p>SETBACK LINE</p> <p>EASEMENT LINE</p> <p>NEW LED LIGHT</p> <p>EXISTING FIRE HYDRANT</p> <p>CONCRETE</p> <p>ASPHALT</p>	<p>Americana will be moving into the existing building at 7426 S Singal Butte (new address from lot split). There will be no changes to the existing building exterior.</p> <p>There is currently a plat submittal filed by Trammell Crow (ZON23-01019) including this new parcel #7 (on plat). The building was originally part of ZF's site so all new utilities will be installed due to the utilities split during ownership changes between ZF and Trammell Crow.</p> <p>The scope of the site plan submittal is, utility connections, onsite retention, parking (see attached parking study), access to Signal Butte Road and updated fire apparatus access.</p>
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