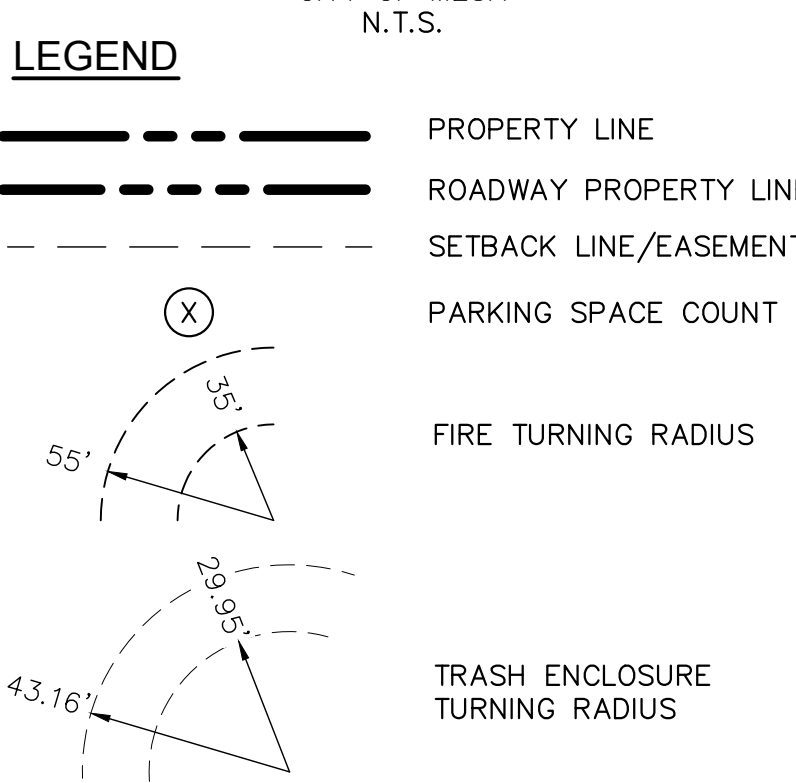
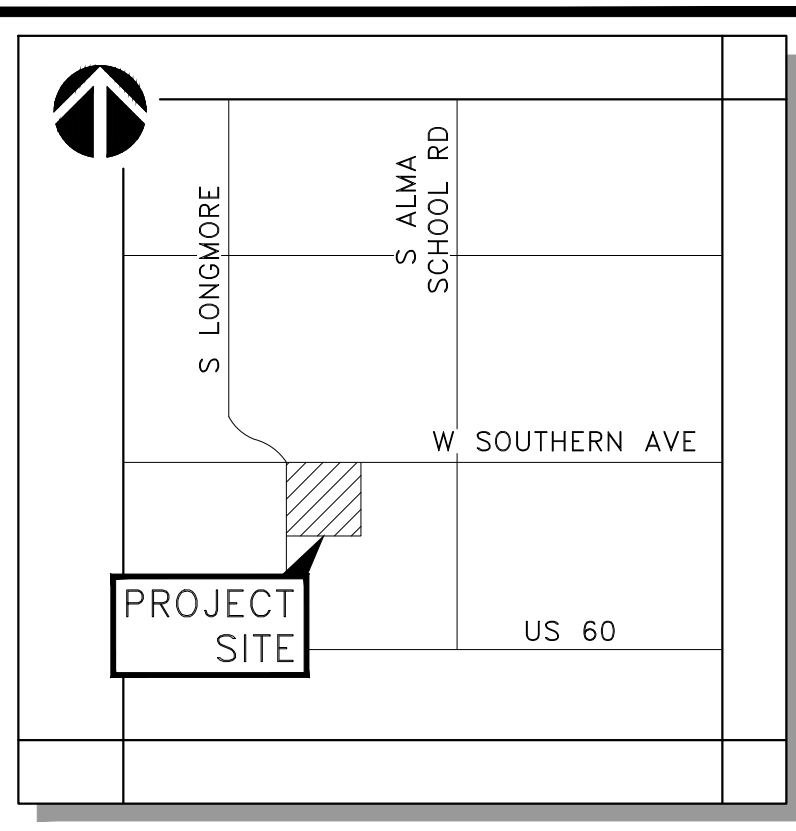
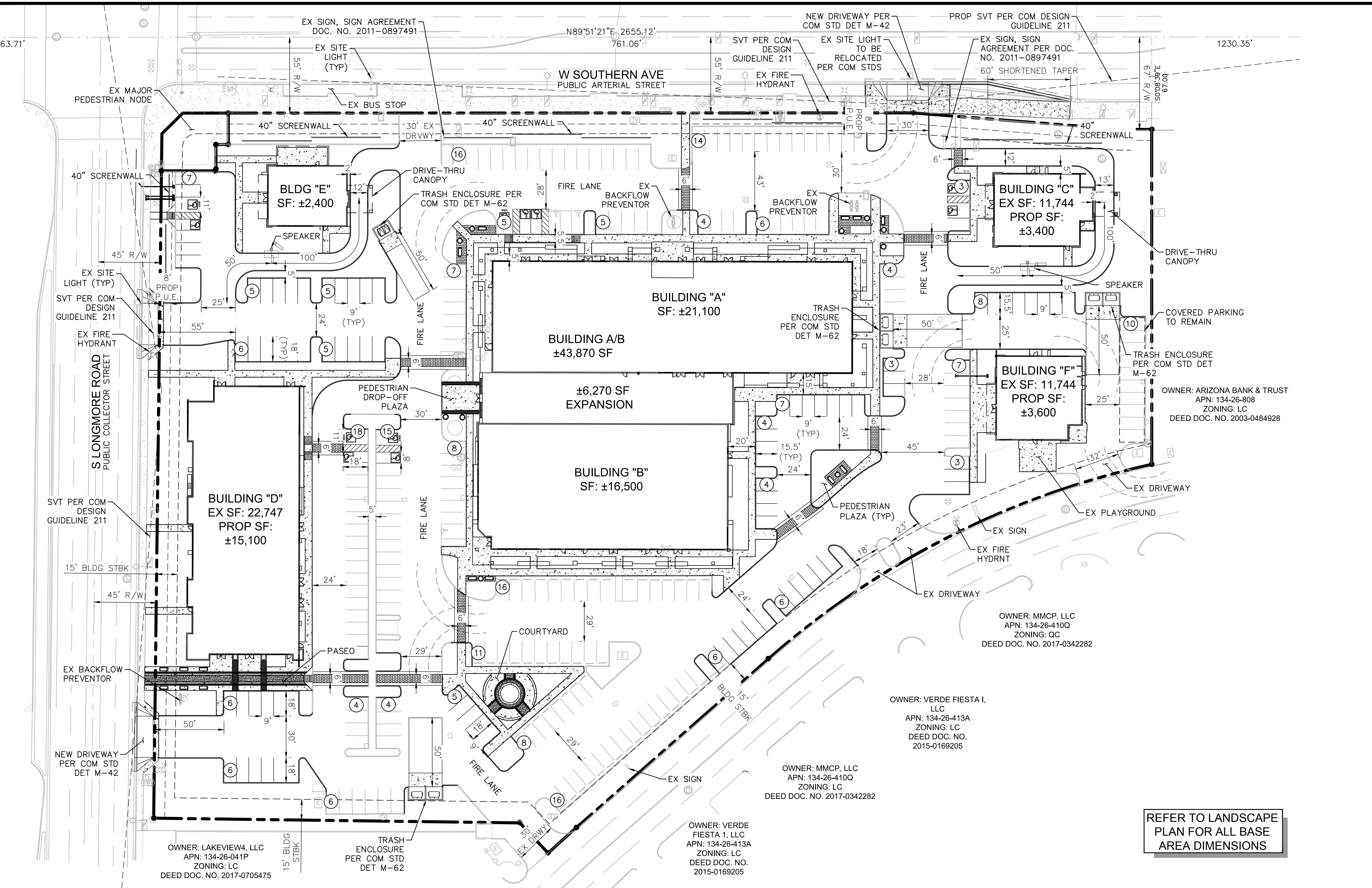


DATE	DESCRIPTION	BY	APP'R
12/16/2019	PRELIMINARY SITE PLAN	PAR	HDR
12/17/2019	REVISED SITE PLAN	PAR	HDR



FLOOD ZONE
ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2265 M, DATED NOVEMBER 4, 2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BASIS OF BEARING
THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 32, SAID LINE BEARS NORTH 89 DEGREES 51 MINUTES 21 SECONDS EAST.

BENCHMARK
FOUND BRASS TAG ON TOP OF CURB AT THE NORTHEAST CORNER OF THE INTERSECTION OF SOUTHERN AVENUE AND DOBSON ROAD.
ELEVATION = 1201.84 (NAVD88, CITY OF MESA)

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1001 W SOUTHERN AVE, SUITE 131
MESA, ARIZONA 85210
TEL: (623) 552-3171
CONTACT: HEATHER ROBERTS, PE

DEVELOPER
LARKSPUR ACQUISITIONS, LLC
10800 BISCAIYNE BLVD
SUITE 735
MIAMI, FL 33161
TEL NO. (786) 540-4130
CONTACT: DAVID BERNSTEIN
EMAIL: DAVID.BERNSTEIN@LARKSPURPROP.COM

REFER TO LANDSCAPE PLAN FOR ALL BASE AREA DIMENSIONS

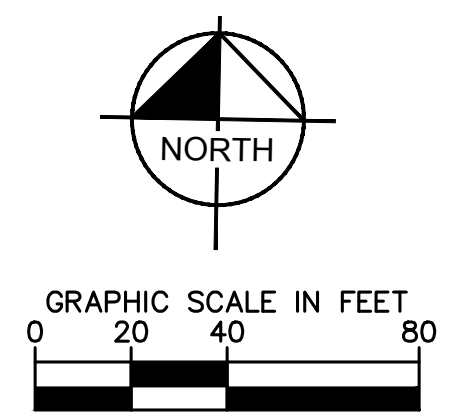
NOTES
1. ALL PEDESTRIAN WALKWAYS THAT CROSS VEHICLE LANES MUST BE RAISED 3-INCHES AND MADE DISTINCT BY THE USE OF TEXTURED PAVING.

SITE DATA TABLE

SITE ADDRESS	1457 WEST SOUTHERN AVE, MESA, AZ 85202
PARCEL NUMBER	134-26-810
SITE AREA	6.94 ACRES OVERALL
EXISTING ZONING	LC
PROPOSED ZONING	LC
FLOOD ZONE	"X" PER 04013C2265M
PROPOSED USE	MESA FIESTA MERCADO RETAIL AND SHOPPING CENTER
BUILDING SF (EXISTING)	72,103 SF
BUILDING SF (PROPOSED)	68,570 SF
REQUIRED SETBACK	15 FEET
MAX BUILDING HEIGHT	30 FEET
PARKING REQUIRED	269 SPACES (SEE CALCULATION)
PARKING ALLOWED (125%)	336 SPACES
PARKING PROVIDED	273 SPACES (4.0 SP/1,000 SF)
ACCESSIBLE REQUIRED	8 SPACES
ACCESSIBLE PROVIDED	14 SPACES

PARKING CALCULATION

Building	Type	SF	Required Parking Ratio	Required Spaces	125% of Required Spaces
A/B	General Office	43,870	(1 SP/375 SF)	117	146
C	OSR	3,400	(1 SP / 100 SF)	34	43
D	Medical Office	15,100	(1 SP / 200 SF)	76	95
E	OSR	2,400	(1 SP / 100 SF)	24	30
F	Medical Office	3,600	(1 SP/200 SF)	18	23
			Total	269	336



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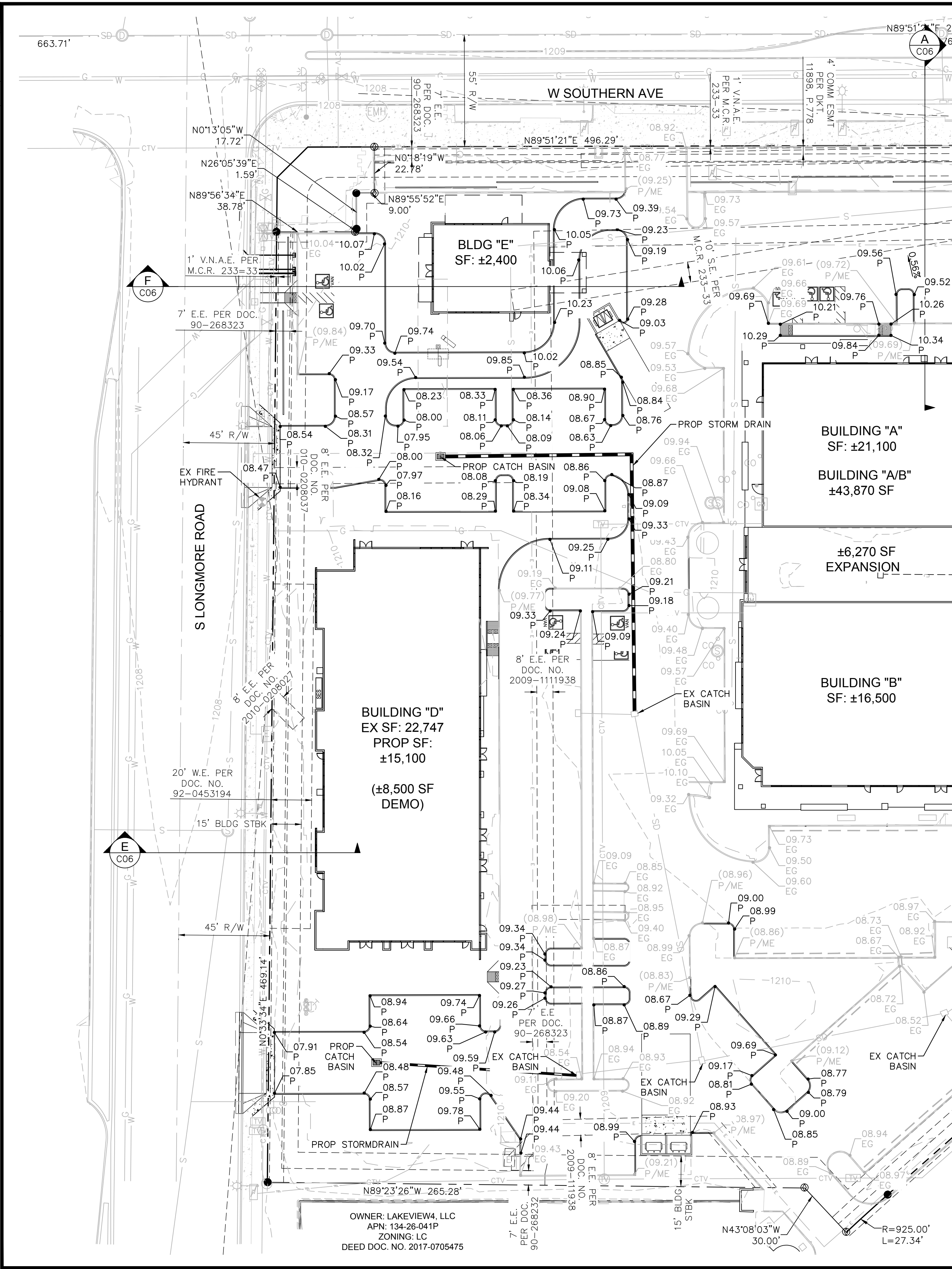
MESA MERCADO FIESTA CENTER
PRELIMINARY SITE PLAN
1457 WEST SOUTHERN AVE
MESA, AZ 85202

PROJECT No. 291359000
SCALE (H): 1"=40'
SCALE (V): ---
DRAWN BY: PAR
DESIGN BY: HDR/DH
CHECK BY: HDR
DATE: 12/16/2019

Registered Professional Engineer (P.E.)
47693
HEATHER ROBERTS
12/16/2019

291359000SP11.dwg
C01
01 OF 06 SHEETS

REV	DESCRIPTION	DATE	BY	APPR



SEE SHEET C03

LEGEND

	PROPOSED CATCH BASIN
	PROPOSED STORMDRAIN MANHOLE
	PROPOSED FIRE LINE
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING CABLE TV LINE
	EXISTING TELECOMM LINE
	EXISTING STORMDRAIN
	CENTER LINE
	PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	PROPOSED STORMDRAIN

- NOTES:**
- SIDEWALKS AND ADA CROSSWALKS TO HAVE A MINIMUM CROSS SLOPE OF 2% AND A 5% MAXIMUM LONGITUDINAL SLOPE PER ADA CODE.
 - NO STORMWATER RETENTION IS PROPOSED FOR THIS SITE. ALL DRAINAGE WILL TIE INTO THE EXISTING STORMWATER CONVEYANCE SYSTEM WITHIN THE MALL LOOP ROAD.

DRAINAGE NARRATIVE:

THE EXISTING SITE IS FULLY DEVELOPED WITH STORMWATER MANAGEMENT PROVIDED BY MEANS OF EXISTING CATCH BASINS AND STORM DRAINS WHICH OUTFALL TO THE EXISTING STORM DRAIN SYSTEM WITHIN THE FIESTA MALL LOOP ROAD TO THE SOUTH. THE ULTIMATE OUTFALL IS TO AN EXISTING PRIVATE RETENTION BASIN LOCATED AT THE SWC OF THE MALL. VARIOUS MODIFICATIONS WILL BE MADE TO THE ONSITE STORM DRAIN SYSTEM, INCLUDING THE ADDITION OF INLETS AND PIPE WHERE NEEDED TO PROVIDE FOR ADEQUATE DRAINAGE DESIGN INTO THE EXISTING SYSTEM FOR THE FIESTA MALL. THE PROPOSED STORM DRAINS AND CATCH BASINS WILL BE DESIGNED TO ACCOMMODATE THE 100-YEAR STORM PER CITY OF MESA DRAINAGE DESIGN GUIDELINES.

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2265 M, DATED NOVEMBER 4, 2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

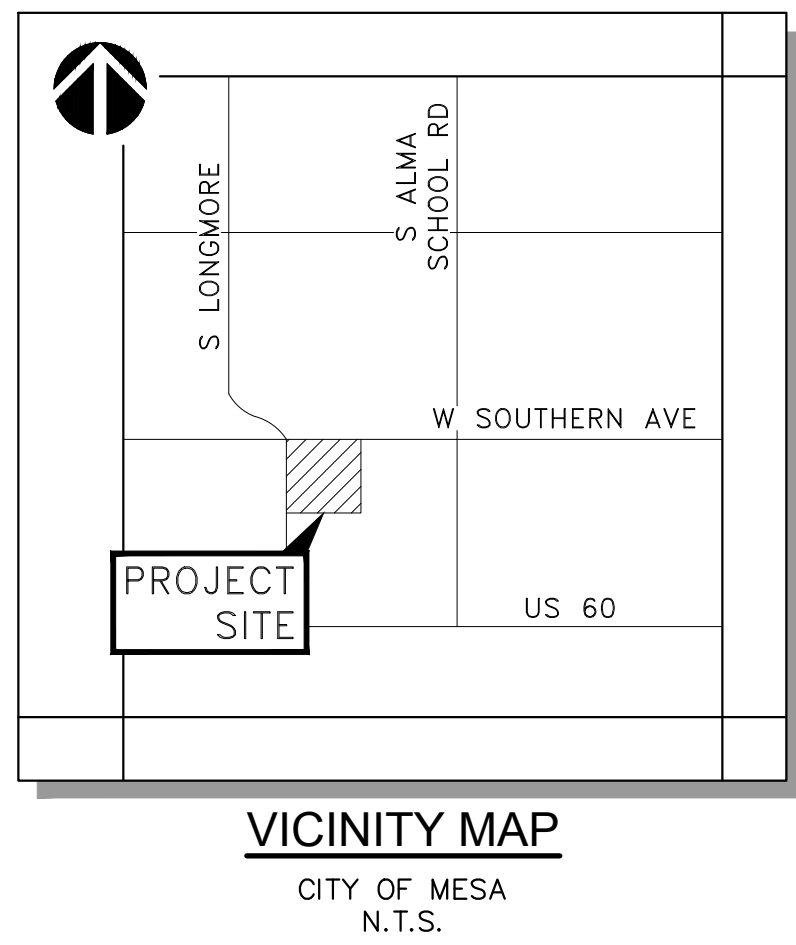
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BENCHMARK

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ELEVATION = 1201.84 (NAVD88, CITY OF MESA)



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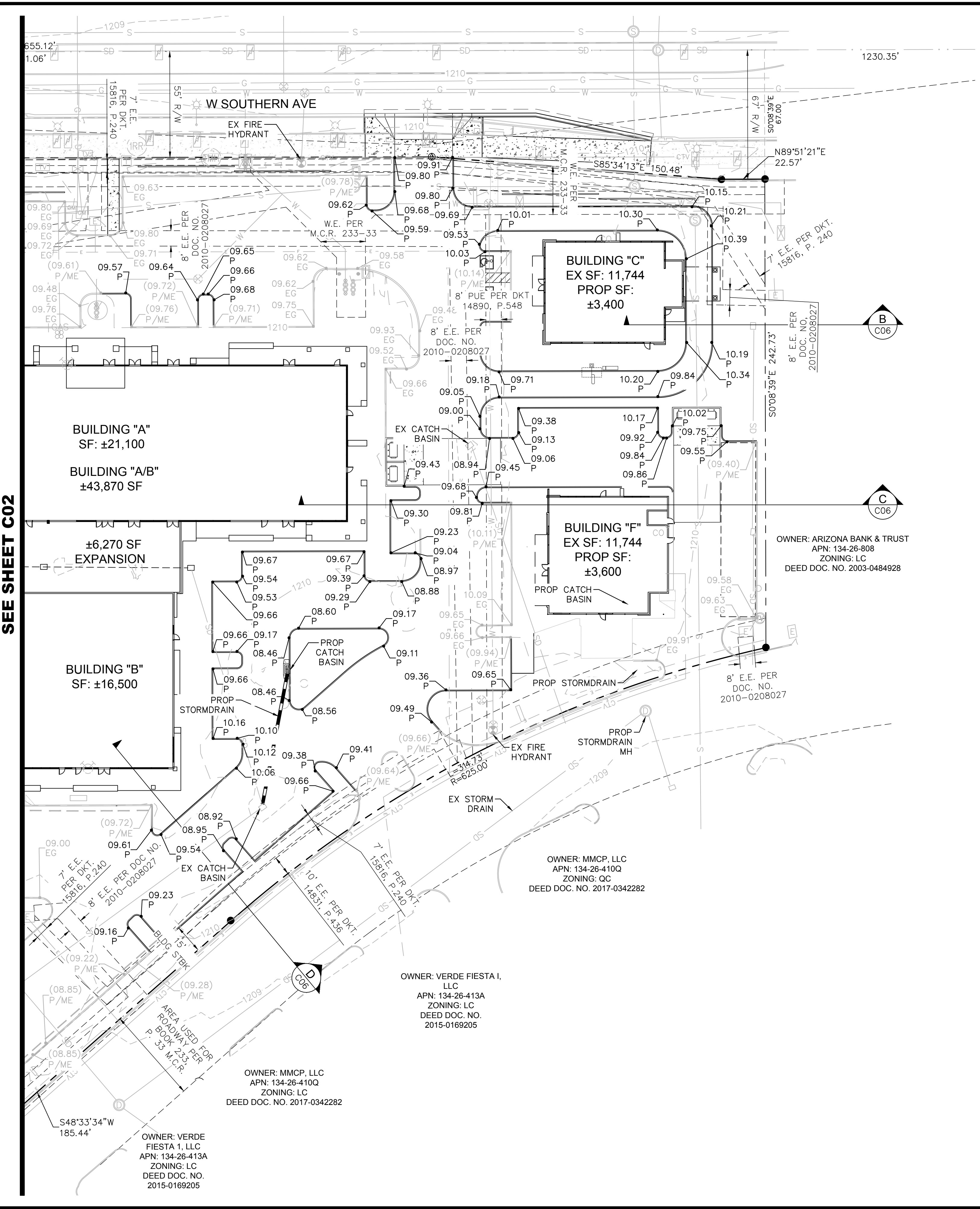
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MESA MERCADO FIESTA CENTER
PRELIMINARY GRADING & DRAINAGE PLAN
1457 WEST SOUTHERN AVE
MESA, AZ 85202

PROJECT No. 291359000
SCALE (H): 1"=40'
SCALE (V): ---
DRAWN BY: PAR
DESIGN BY: HDR/DH
CHECK BY: HDR
DATE: 12/16/2019

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DATE: APRR
 BY: [REDACTED]
 DESCRIPTION: SEE SHEET C02
 REV: [REDACTED]



LEGEND

[Symbol]	PROPOSED CATCH BASIN
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	PROPOSED STORMDRAIN MANHOLE
[Symbol]	PROPOSED FIRE LINE
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	PROPOSED WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING CABLE TV LINE
[Symbol]	EXISTING TELECOMM LINE
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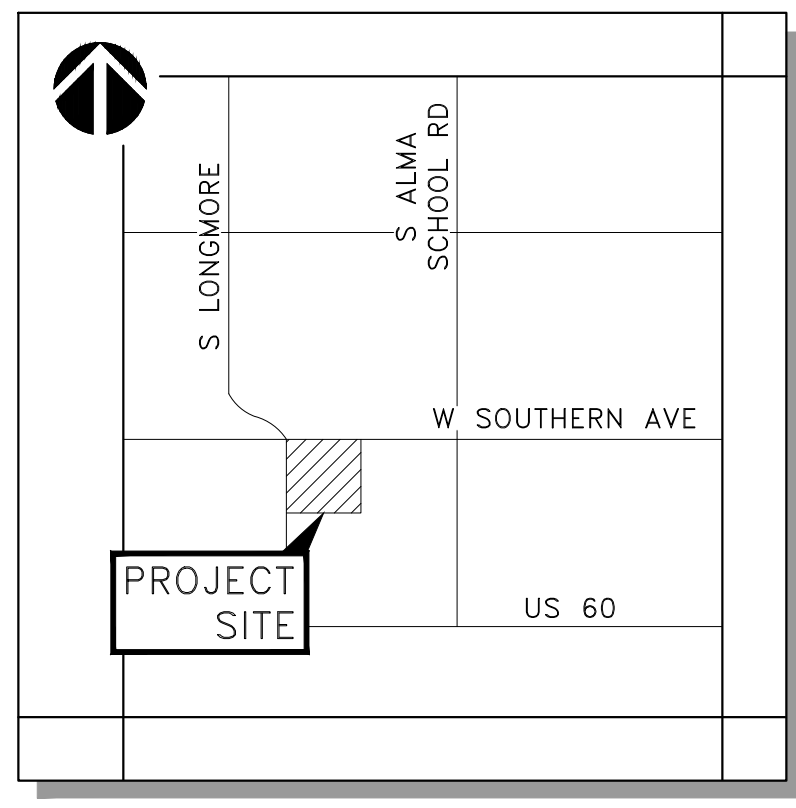
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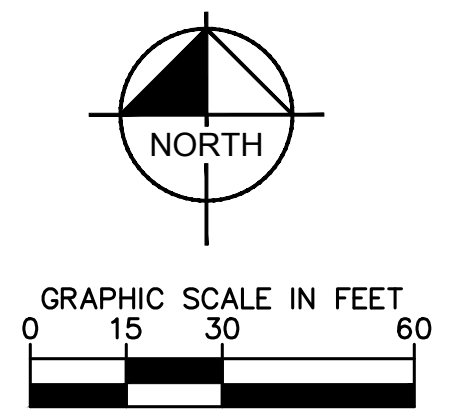
ELEVATION = 1201.84 (NAVD88, CITY OF MESA)



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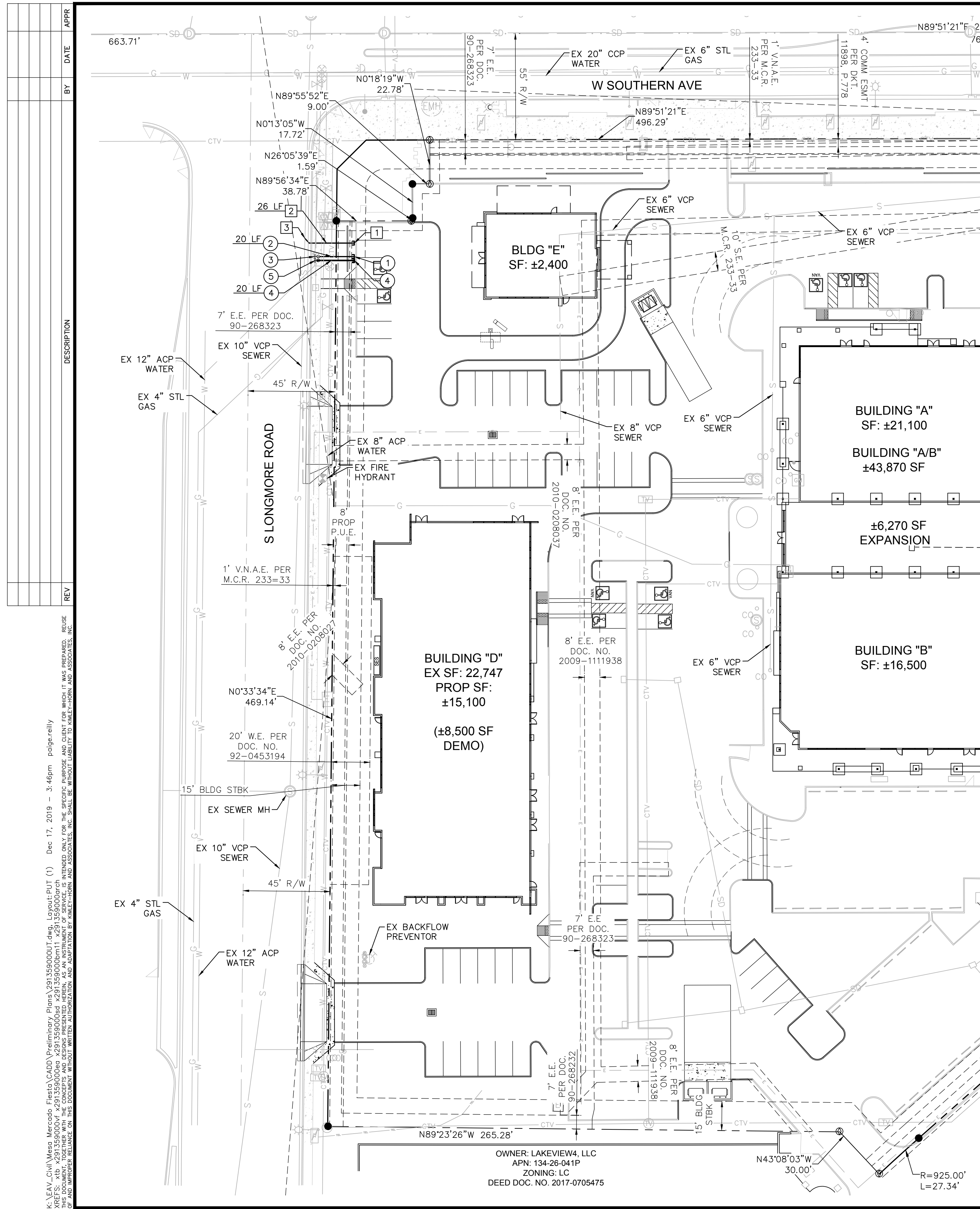
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DESIGN BY:	HDR/DH
CHECK BY:	HDR
DATE:	12/16/2019



PROJECT No. 291359000
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 DATE: 12/16/2019

Registered Professional Engineer (P.E.)
 CERTIFICATE NO. 47693
 HEATHER ROBERTS
 State of Arizona
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SEE SHEET C05

LEGEND

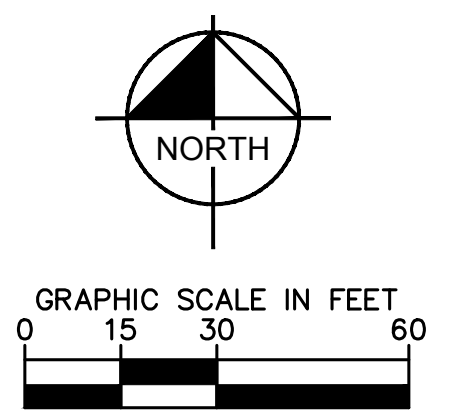
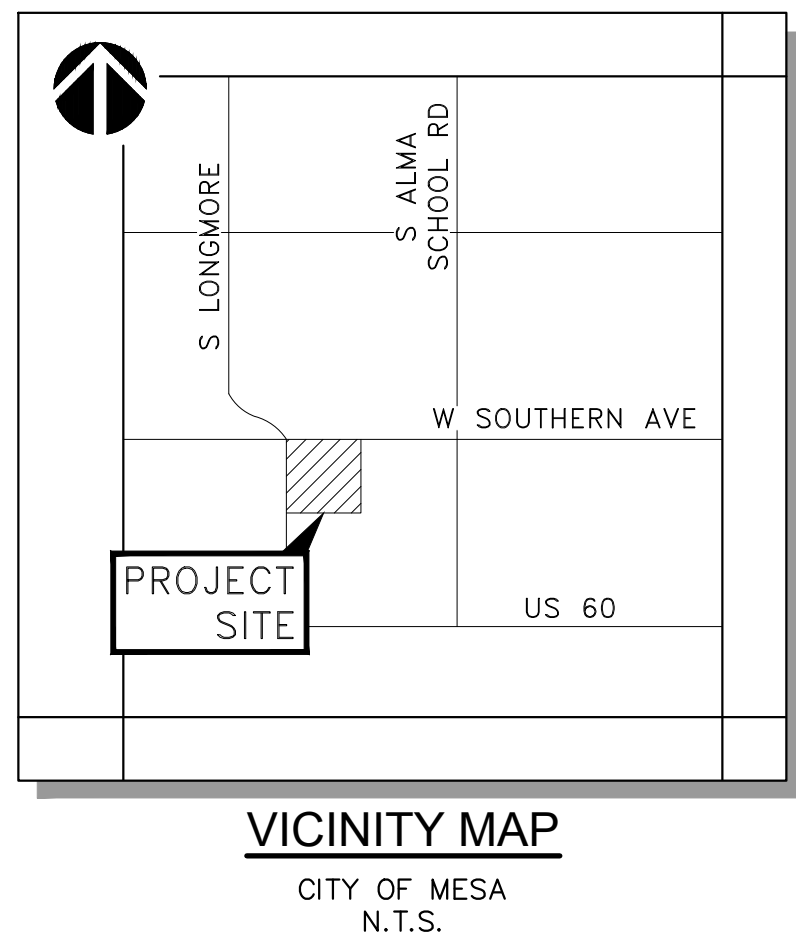
	PROPOSED CATCH BASIN
	PROPOSED STORMDRAIN MANHOLE
	PROPOSED FIRE LINE
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING CABLE TV LINE
	EXISTING TELECOMM LINE
	EXISTING STORMDRAIN
	CENTER LINE
	PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE

- NOTES**
1. ADD 1200' TO ALL PROPOSED ELEVATIONS.
 2. PAVEMENT MARKINGS ARE NOT SHOWN FOR CLARITY.
 3. SURVEY AND TOPOGRAPHIC DATA ARE REFERENCED FROM THE "ALTA/NSPS LAND TITLE SURVEY" PREPARED BY SURVEY INNOVATION GROUP DATED 07/01/19.
 4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 5. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 6. MINIMUM SEPARATION (2' HORIZONTAL & 1' VERTICAL) MUST BE MAINTAINED BETWEEN PUBLIC UTILITIES AND COMMUNICATIONS CONDUITS.
 7. REFER TO PAVING AND GRADING PLANS FOR FINISH GRADES. ADJUST ALL COVERS TO FINISH GRADE.
 8. VALVES SHALL BE FLANGED TO ADJACENT TEE OR BEND.

- FIRE CODE NOTES**
1. REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE AND SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (74,000 LBS./24,000LBS PER AXLE) WHEN ROADS ARE WET. FOR EXAMPLE, A MINIMUM OF SIX (6) INCHES OF ABC COMPACTED TO 90% OVER AN APPROVED BASE WOULD MEET THE REQUIREMENT. THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOBSITE WHERE ANY PERSON(S) SHALL BE WORKING FOR A MINIMUM OF FOUR (4) CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS", IN RED LETTERS, SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD. ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY."
 2. "WATER SUPPLY FOR FIRE PROTECTION. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1,500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS. IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS ALWAYS AVAILABLE. WHEN THE WORK IS COMPLETE, DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE, AND THE VALVES ARE OPEN."
 3. "COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND; IFC CHAPTER 33 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION."

- WATER CONSTRUCTION NOTES**
- 1 DOMESTIC/IRRIGATION CONNECTION TO BUILDING, REF TO PLUMBING PLANS.
 - 2 DOMESTIC/IRRIGATION WATER LINE. LENGTH PER PLAN.
 - 3 DOMESTIC/IRRIGATION WATER SERVICE CONNECTION.
 - 4 FIRELINE CONNECTION TO BUILDING, REF TO PLUMBING PLANS.
 - 5 FIRELINE. LENGTH PER PLAN.
 - 6 FIRELINE SERVICE CONNECTION.

- SANITARY SEWER CONSTRUCTION NOTES**
- 1 CONNECT TO BUILDING, REF TO PLUMBING PLANS
 - 2 SEWER SERVICE LINE. LENGTH PER PLAN.
 - 3 WYE CONNECTION TO EXISTING SANITARY SEWER LINE.



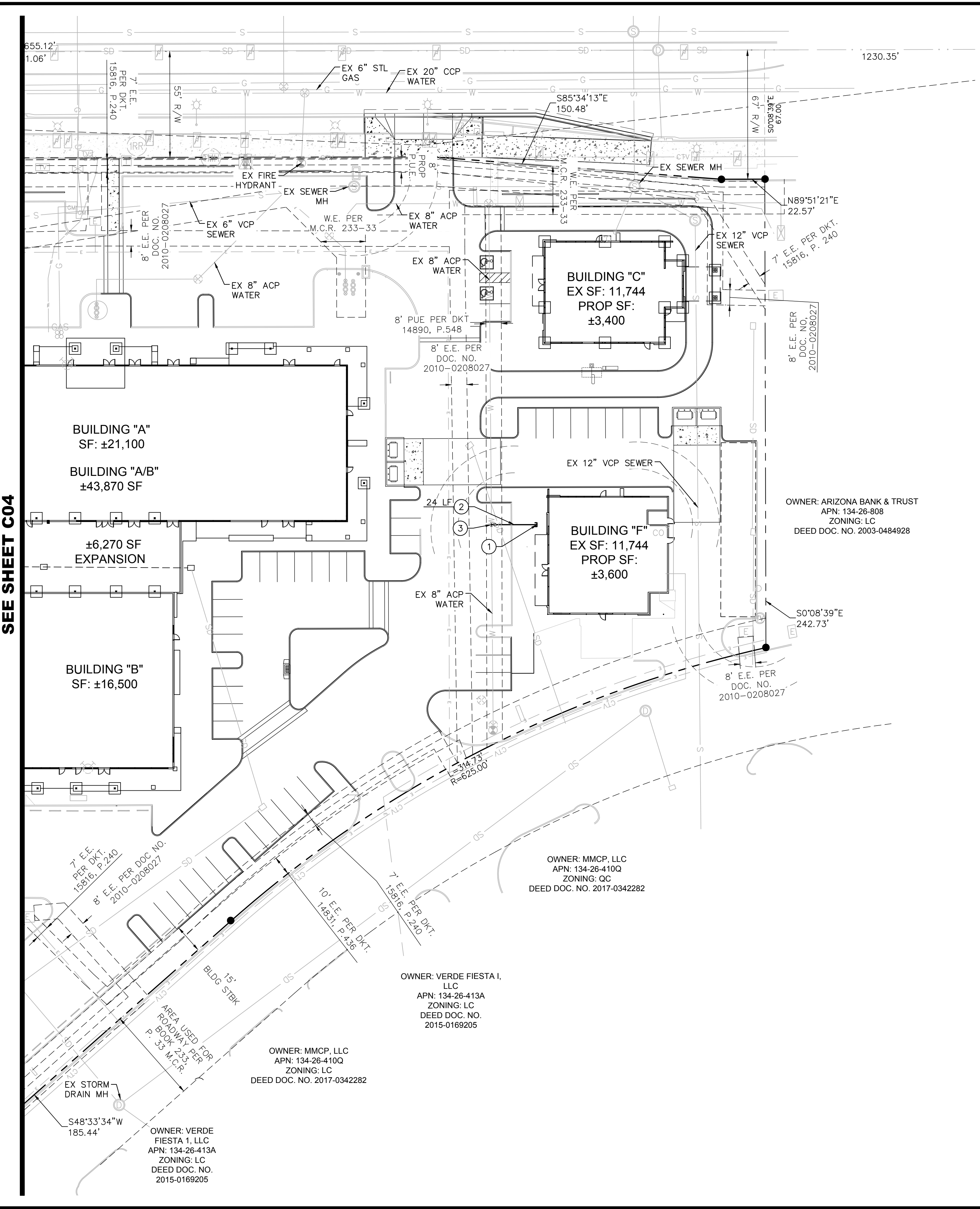
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MESA MERCADO FIESTA CENTER
 PRELIMINARY UTILITY PLAN
 1457 WEST SOUTHERN AVE
 MESA, AZ 85202

PROJECT No. 291359000
 SCALE (H): 1"=40'
 SCALE (V): ---
 DRAWN BY: PAR
 DESIGN BY: HDR/DH
 CHECK BY: HDR
 DATE: 12/16/2019

Registered Professional Engineer (P.E.)
 CERTIFICATE NO. 47693
 HEATHER ROBERTS
 State of Arizona
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 04 OF 06 SHEETS

REV	DESCRIPTION	DATE	BY	APP



LEGEND

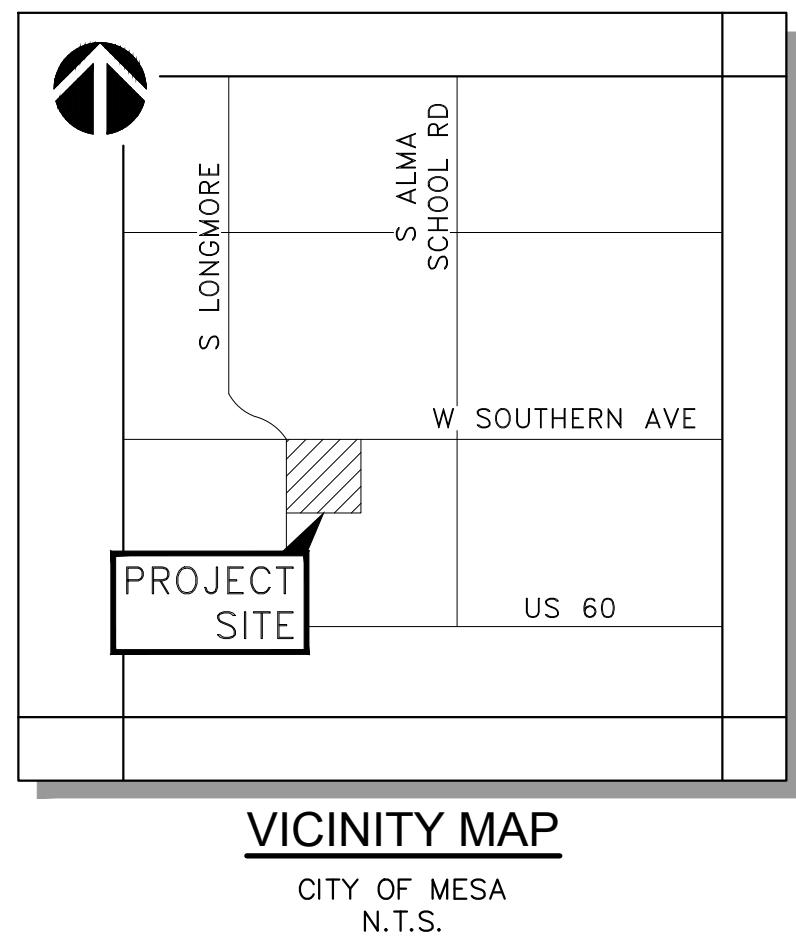
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	PROPOSED WATER LINE
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- NOTES**
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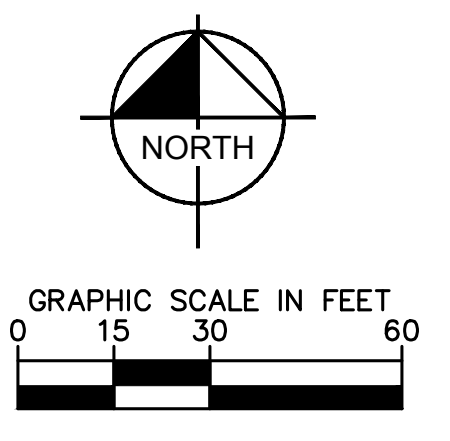
- WATER CONSTRUCTION NOTES**
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 - DOMESTIC/IRRIGATION WATER LINE. LENGTH PER PLAN.
 - DOMESTIC/IRRIGATION WATER SERVICE CONNECTION.
 - FIRELINE CONNECTION TO BUILDING, REF TO PLUMBING PLANS.
 - FIRELINE. LENGTH PER PLAN.
 - FIRELINE SERVICE CONNECTION.

- SANITARY SEWER CONSTRUCTION NOTES**
- CONNECT TO BUILDING, REF TO PLUMBING PLANS
 - SEWER SERVICE LINE. LENGTH PER PLAN.
 - WYE CONNECTION TO EXISTING SANITARY SEWER LINE.



SEE SHEET C04

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PROJECT No. 291359000
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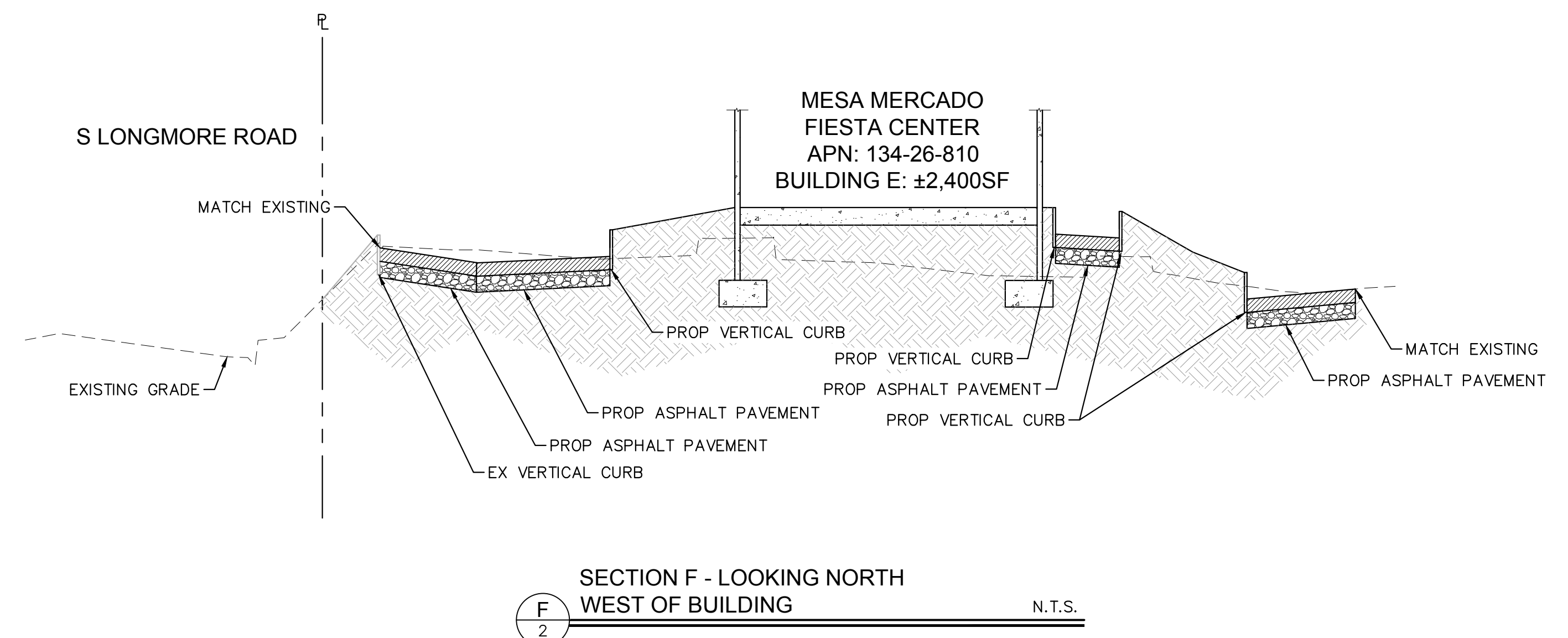
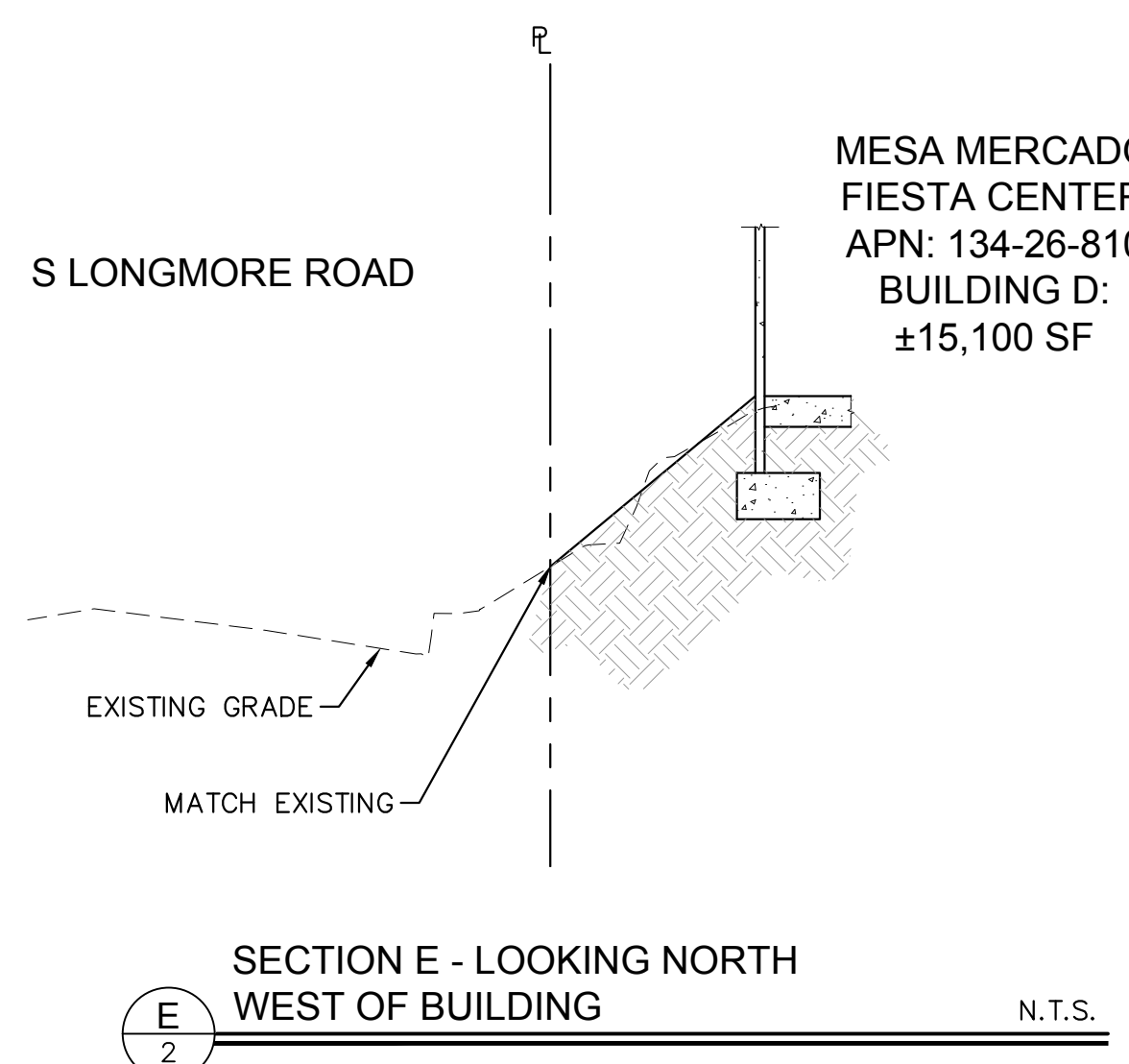
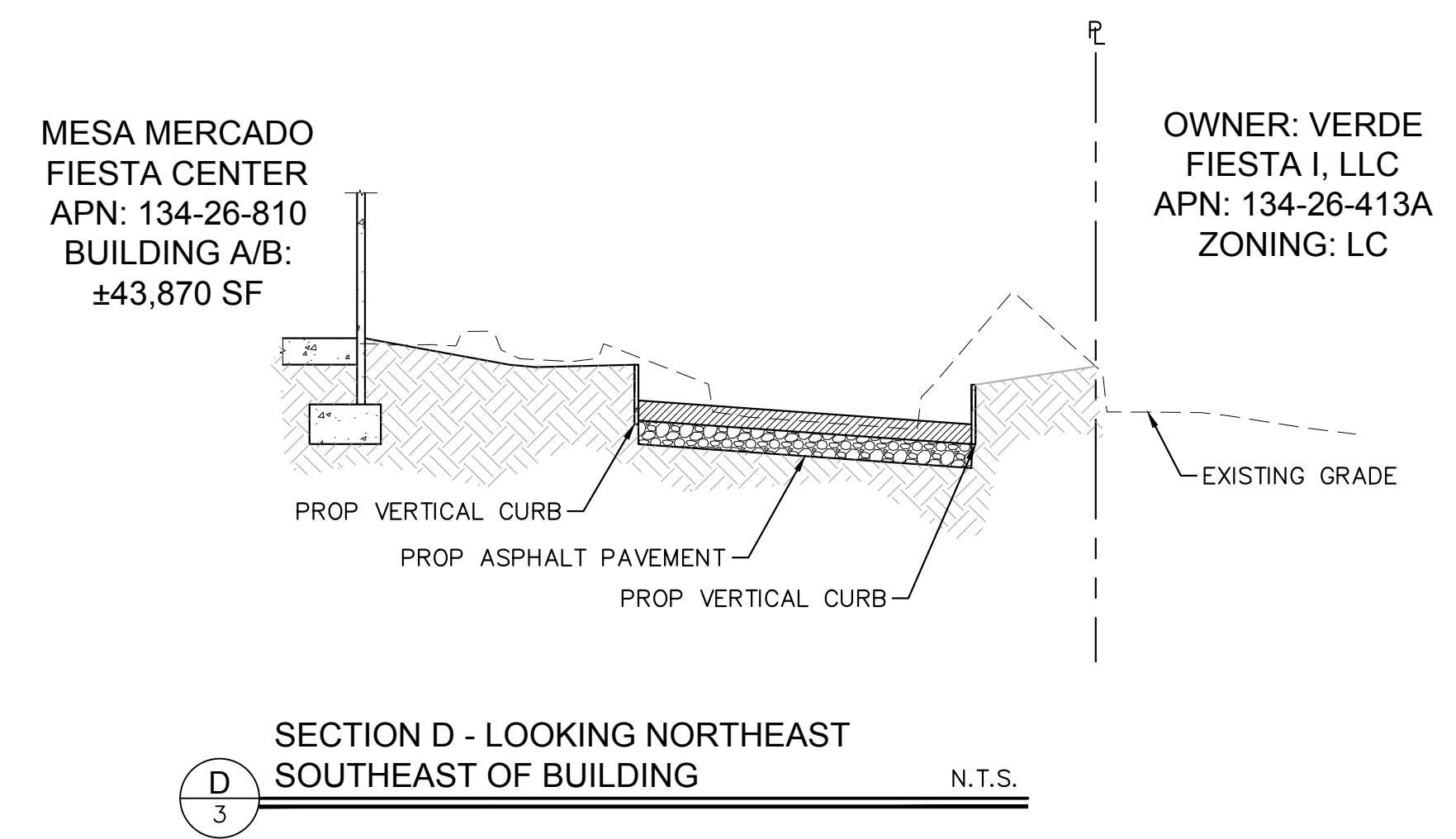
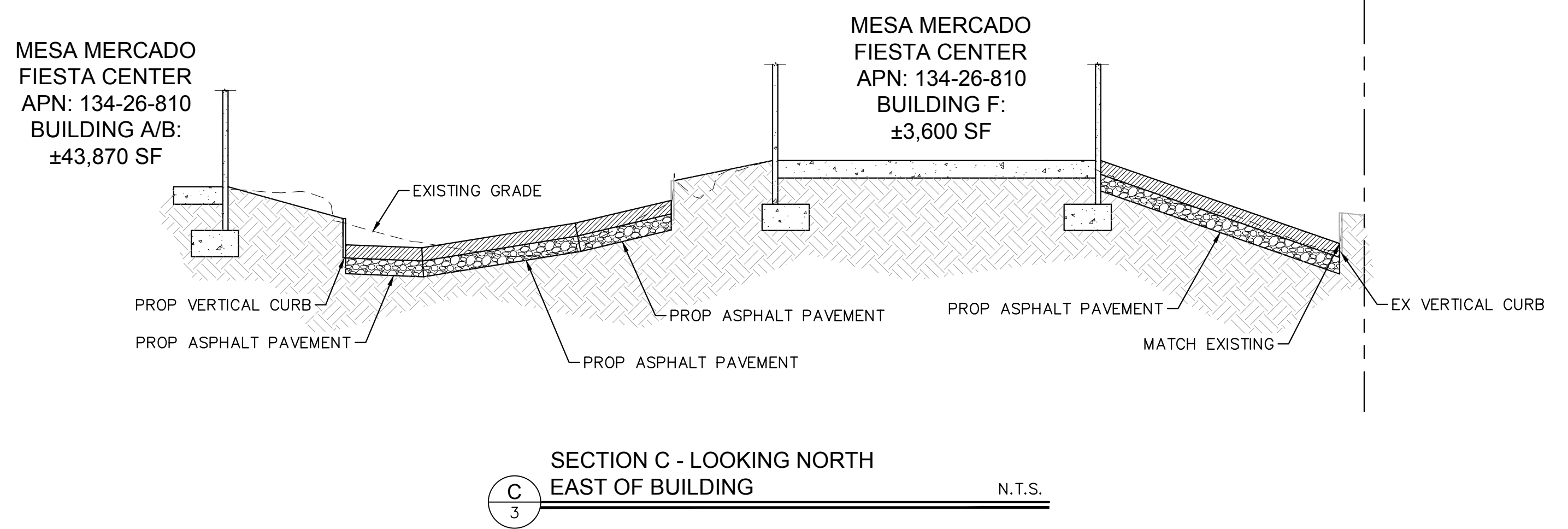
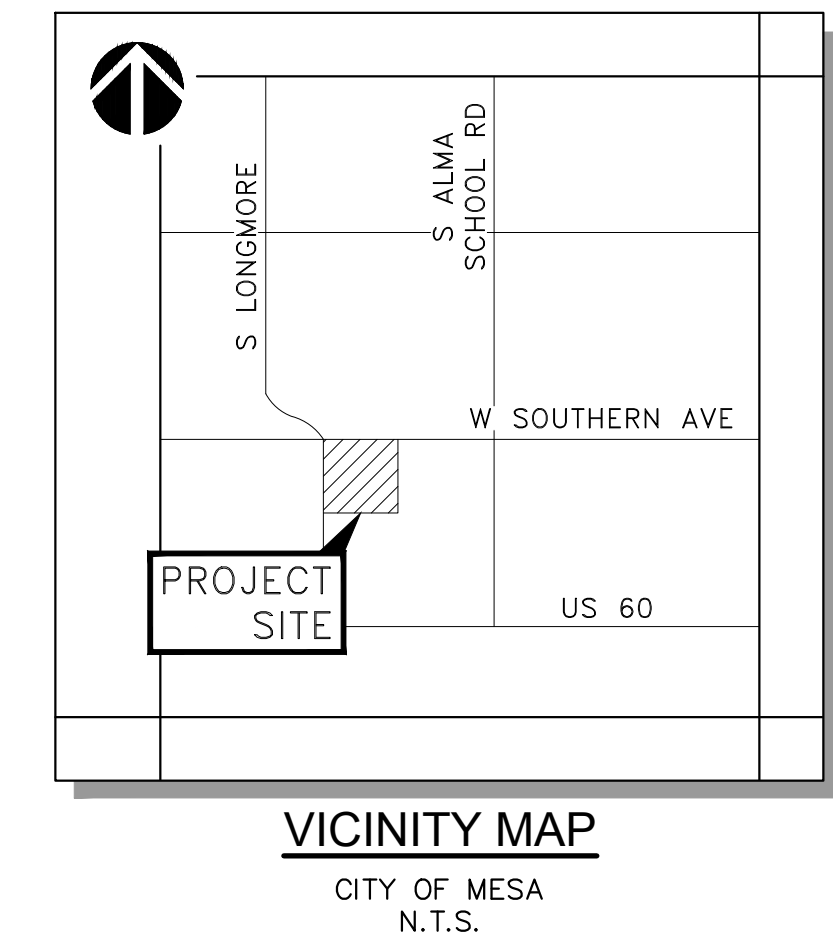
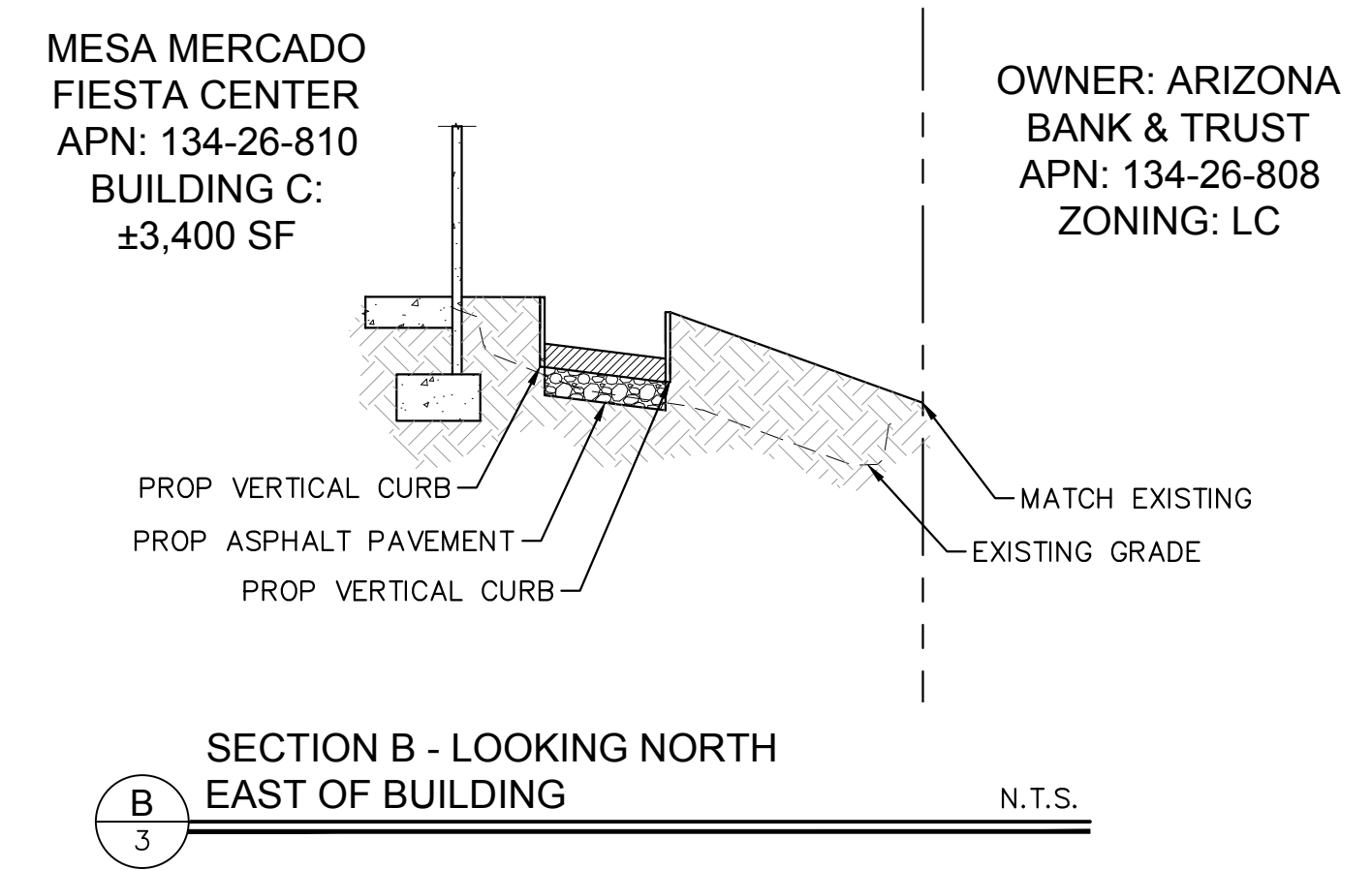
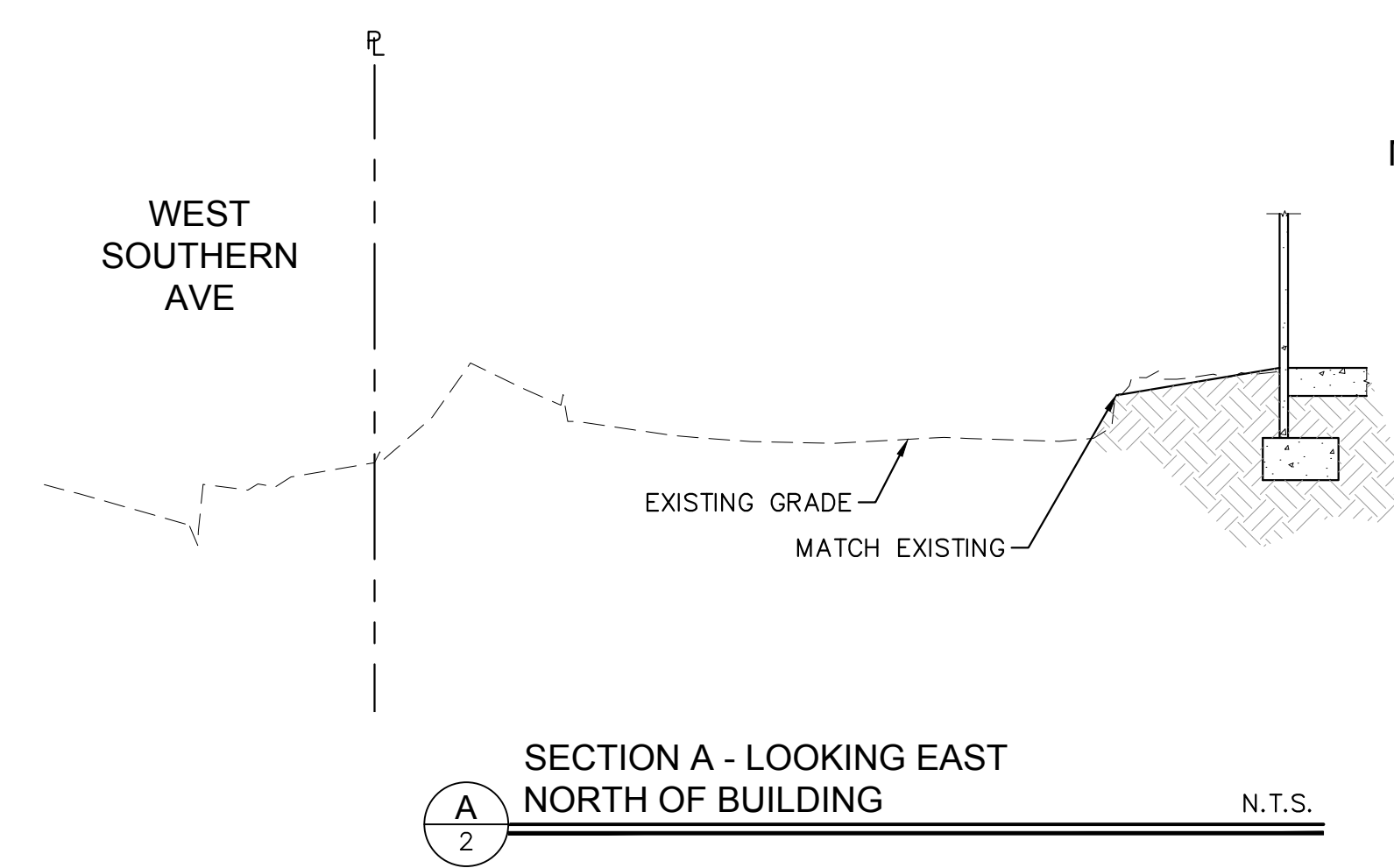
HEATHER ROBERTS
Professional Engineer
No. 47693
State of Arizona

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03/31/20

C05
05 OF 06 SHEETS

REV	DESCRIPTION	BY	DATE	APPR

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MESA MERCADO FIESTA CENTER
 CROSS SECTIONS
 1457 WEST SOUTHERN AVE
 MESA, AZ 85202

PROJECT No.
 291359000
 SCALE (H): 1"=40'
 SCALE (V): ---
 DRAWN BY: PAR
 DESIGN BY: HDR/DH
 CHECK BY: HDR
 DATE: 12/16/2019

